

1345408 B.C. LTD.

**FOURTH AMENDMENT TO DISCLOSURE STATEMENT**

**Pinetree Valley Development – Pinetree Meadows**

**DATE OF DISCLOSURE STATEMENT:** June 30, 2022

**DATE OF ANY PRIOR AMENDMENTS:** July 09, 2022, June 30, 2023, and October 25, 2023

**DATE OF THIS AMENDMENT:** March 15, 2024

**DEVELOPER:** 1345408 B.C. Ltd. (the “Developer”)

**ADDRESS FOR SERVICE:** Box 639, 1309 – 7<sup>th</sup> Ave, Invermere, BC V0A 1K0

**BUSINESS ADDRESS:** 4091 Johnston Road, Invermere, BC V0A 1K4

**REAL ESTATE BROKER:** The Developer intends to use its own employees to market the strata lots. The employees are not licensed under the *Real Estate Services Act* and are not acting on behalf of the purchaser.

**“This Disclosure Statement has been filed with the Superintendent of Real Estate, but neither the Superintendent, nor any other authority of the government of the Province of British Columbia, has determined the merits of any statement contained in the Disclosure Statement, or whether the Disclosure Statement contains a misrepresentation or otherwise fails to comply with the requirements of the Real Estate Development Marketing Act. It is the responsibility of the developer to disclose plainly all material facts, without misrepresentation.”**

**“This Disclosure Statement relates to a development property that is not yet completed. Please refer to section 7.2 for information on the purchase agreement. That information has been drawn to the attention of \_\_\_\_\_ [insert purchaser’s name], who has confirmed that fact by initialing in the space provided here: \_\_\_\_\_ [space for purchaser’s initials].”**

### RIGHT OF RESCISSION

Under section 21 of the *Real Estate Development Marketing Act*, the purchaser or lessee of a development unit may rescind (cancel) the contract of purchase and sale or contract to lease by serving written notice on the developer or the developer's brokerage, within 7 days after the later of the date the contract was entered into or the date the purchaser or lessee received a copy of this Disclosure Statement.

A purchaser may serve a notice of rescission by delivering a signed copy of the notice in person or by registered mail to

- (a) the developer at the address shown in the disclosure statement received by the purchaser,
- (b) the developer at the address shown in the purchaser's purchase agreement,
- (c) the developer's brokerage, if any, at the address shown in the disclosure statement received by the purchaser, or
- (d) the developer's brokerage, if any, at the address shown in the purchaser's purchase agreement.

The developer must promptly place purchasers' deposits with a brokerage, lawyer or notary public who must place the deposits in a trust account in a savings institution in British Columbia. If a purchaser rescinds their purchase agreement in accordance with the Act and regulations, the developer or the developer's trustee must promptly return the deposit to the purchaser.

### RIGHT OF RESCISSION EARLY MARKETING – DEVELOPMENT APPROVAL POLICY STATEMENT 5

#### PHASE 5 AND PHASE 6 ONLY

- (a) the estimated date, as disclosed in the disclosure statement, for the issuance of a building permit, is 12 months or less from the date the developer filed the disclosure statement with the superintendent;
- (b) the developer markets the proposed development units under the disclosure statement for a period of no more than 12 months from the date the disclosure statement was filed with the superintendent, unless an amendment to the disclosure statement that sets out particulars of the issued building permit is filed with the superintendent during that period. The developer must also either:

- (i) prior to the expiry of the 12-month period, file with the superintendent an amendment to the disclosure statement that sets out particulars of the issued building permit; or**
- (ii) upon the expiry of the 12-month period, immediately cease marketing the development and confirm in a written undertaking to the superintendent that all marketing of the development has ceased and will not resume until after the necessary amendment has been filed, failing which a cease marketing or other order may be issued by the superintendent to the developer without further notice.**

**Additionally, the developer must provide written notice without delay to the superintendent if, during the 12-month period, all units in the development property being marketed under this Policy Statement are sold or the developer has decided not to proceed with the development;**

- (c) any purchase agreement used by the developer, with respect to any development unit offered for sale or lease before the purchaser's receipt of an amendment to the disclosure statement that sets out particulars of the issued building permit, contains the following provisions:**
  - (i) the purchaser may cancel the purchase agreement for a period of seven days after receipt of an amendment to the disclosure statement that sets out particulars of the issued building permit if the layout or size of the applicable development unit, the construction of a major common facility, including a recreation centre or clubhouse, or the general layout of the development, is materially changed by the issuance of the building permit;**
  - (ii) if an amendment to the disclosure statement that sets out particulars of an issued building permit is not received by the purchaser within 12 months after the initial disclosure statement was filed, the purchaser may at his or her option cancel the purchase agreement at any time after the end of that 12- month period until the required amendment is received by the purchaser, at which time the purchaser may cancel the purchase agreement for a period of seven days after receipt of that amendment only if the layout or size of the applicable development unit, the construction of a major common facility, including a recreation centre or clubhouse, or the general layout of the development, is materially changed by the issuance of the building permit;**
  - (iii) the amount of the deposit to be paid by a purchaser who has not yet received an amendment to the disclosure statement that sets out particulars of an issued building permit is no more than 10% of the purchase price; and**
  - (iv) all deposits paid by a purchaser, including interest earned if applicable, will be returned promptly to the purchaser upon notice of cancellation from the purchaser.**

**OVERVIEW OF THIS AMENDMENT**

The following disclosure statements have been filed by the Developer in respect of the project known as “Pinetree Valley Development – Pinetree Meadows” (the “Development”):

- Disclosure Statement dated June 30, 2022 (the “Original Disclosure Statement”);
- First Amendment to Disclosure Statement dated July 09, 2022 (the “First Amendment”);
- Second Amendment to Disclosure Statement dated June 30, 2023 (the “Second Amendment”);  
and
- Third Amendment to Disclosure Statement dated October 25, 2023 (the “Third Amendment”).

This Fourth Amendment to Disclosure Statement, dated March 15, 2024 (the “Fourth Amendment”) amends the Original Disclosure Statement, the First Amendment, the Second Amendment, and the Third Amendment (collectively, the “Disclosure Statement”) as follows:

**Overview of Exhibits:** All references to Exhibits attached to the Disclosure Statement are amended as set out in this Fourth Amendment, such that, wherever an amended Exhibit is shown to be attached to a more recent amendment to disclosure statement, the previous version of the same Exhibit is deleted from the Disclosure Statement in its entirety and replaced with the most recent amended version of the Exhibit.

A summary of the amendments to the Exhibits is set out in the below schedule.

**LISTS OF AMENDED EXHIBITS ATTACHED TO THIS FOURTH AMENDMENT**

<b>Original Disclosure Statement Exhibits</b>	<b>First Amendment Exhibits</b>	<b>Second Amendment Exhibits</b>	<b>Third Amendment Exhibits</b>	<b>Fourth Amendment Exhibits</b>
A – Proposed Strata Phasing Plan	A1 – Proposed Strata Phasing Plan	A2 – Proposed Strata Phasing Plan		
B – Proposed Phase 1 Strata Plan	B1 – Proposed Phase 1 – 4 Strata Plans	B2 – Proposed Phase 1 – 4 Strata Plans	B3 – Strata Plan EPS8541* Phase 1 and Proposed Phases 1-8 Strata Plans	B4 – Strata Plan EPS8541 Phase 1 and Phase 2; and Proposed Phases 1-8 Strata Plans
C – Architectural Designs for the Proposed Phase 1 Strata Lots	C1 – Architectural Designs for the Proposed Phase 1 – 4 Strata Lots	C2 – Architectural Designs for the Proposed Phase 1 – 4 Strata Lots	C3 – Architectural Designs for the Proposed Phase 1 – 4 Strata Lots	C4 – Architectural Designs for Phases 1 – 2; and Architectural Designs for Proposed Phases 3-6

D – Form P – Draft Phased Strata Plan Declaration	D1 – Form P – Draft Phased Strata Plan Declaration	D2 – Form P – Draft Phased Strata Plan Declaration	D3 – Filed Form P – Phased Strata Plan Declaration	
E – Form V – Schedule of Unit Entitlement	E1 – Form V – Schedule of Unit Entitlement	E2 – Form V – Schedule of Unit Entitlement	E3 – Filed Form V – Schedule of Unit Entitlement Phase 1 and draft Form V – Schedule of Unit Entitlement Phases 1-8	E4 – Filed Form V – Schedule of Unit Entitlement Phase 1 and 2; and draft Form V – Schedule of Unit Entitlement Phases 1-8
F – Strata Corporation Proposed Bylaws			F1 – Filed Strata Corporation Bylaws	
G – Estimated Operating Budget	G1 – Estimated Operating Budget	G2 – Estimated Operating Budget	G3 – Estimated Operating Budget	G4 – Estimated Operating Budget and estimated Monthly Strata Fee Assessment
H – Covenant in Favour of the District of Invermere				
I - Development Permit No.22.01				
J – Purchase Agreement	J1 – Purchase Agreement	J2 – Purchase Agreement	J3 – Purchase Agreement for Pre-Title and Post-Title strata lots	J4 – Purchase Agreement for Pre-Title and Post-Title strata lots
		K – Encumbrances	K1 – Encumbrances	
		L – Phases 1-4 Building Permits		
			M - Storm Drainage Plan	

				N - Strata Management Contract and the Assignment of the Strata Management Contract
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*\*In the Third Amendment, EPS8541 was mislabelled in the “List of Amended Exhibits Attached to this Third Amendment”. However, the correct Strata Plan EPS8541 Phase 1 and Proposed Phases 1-8 Strata Plans strata plan for EPS8541 was attached as Exhibit B3 to the Third Amendment.*

1. **Section 1.2:** Section 1.2 is deleted in its entirety and replaced with the following:

The Developer was incorporated specifically for the purpose of developing the strata lots and has assets other than the development property itself.

2. **Section 2.1 – General Description of the Development:** Section 2.1 is deleted in its entirety and replaced with the following:

The Development is located in the District of Invermere. The parent parcel of the Development is described as Lot A District Lot 1092 Kootenay District Plan EPP120443, PID: 032-005-121 (the “Parent Parcel”). The civic address of the Development is 2128 15<sup>th</sup> Ave., Invermere, B.C. VOA 1K4. Upon completion, the Development will consist of 8 phases with 4 strata lots in each phase, for a total of 32 strata lots. In each phase, the Developer will construct one building comprised of 4 condos.

The Developer registered Phase 1 of the strata plan on October 06, 2023, creating Strata Lots 1 to 4 and Strata Corporation EPS8541. The Developer registered Phase 2 of the strata plan on February 12, 2024, creating Strata Lots 5 to 8. A copy of the registered Phase 1 and Phase 2 strata plan under Strata Plan EPS8541 is attached as part of **Exhibit B4**.

The Developer proposes to construct Phases 3 to 8 of the Development, being Strata Lots 9 to 32. A draft proposed strata plan for Phases 1 to 8 is attached as part of **Exhibit B4**. The draft strata plan and dimensions shown are approximates only and there may be minor changes or alterations made during the construction of the Development. The architectural designs for the Phase 1 and Phase 2 strata lots and the proposed architectural designs for the Phases 3, 4, 5, and 6 strata lots are attached as **Exhibit C4** to the Disclosure Statement.

Under this Disclosure Statement, the Developer is offering for sale the strata lots in Phases 1, 2, 3, 4, 5, and 6.

As of the date of this Disclosure Statement, the Developer has completed the construction of Phase 1 of the Development. The Developer has commenced construction of Phases 2, 3, and 4 of the Development.

The Developer owns the lands adjacent to the Development and intends to develop an additional 68 strata lots as affordable housing. The Development is to be part of a community

that will be called Pine Tree Valley. Upon completion, the Pine Tree Valley community will have 32 strata lots and 68 affordable housing strata lots.

The Development is accessible from the public road, Pinetree Road, and will also be accessible by way of a reciprocal access easements over the lands adjacent to the Development. The roadways between the strata lots in the Development will be strata common property to be used by the strata lot owners for access and servicing. The Developer will complete the construction of the access roads throughout the course of the Development.

3. **Section 2.3 – Phasing:** Paragraph 3 of section 2.3 is deleted in its entirety and replaced with the following:

Under this Disclosure Statement, the Developer is currently marketing strata lots in Phases 1, 2, 3, 4, 5, and 6.

4. **Section 3.1 – Unit Entitlement:** Section 3.1 is deleted in its entirety and replaced with the following:

Unit entitlement is a number that is used to determine a strata lot's proportionate share of the common property and common assets, and its contribution to the common expenses and liabilities of the strata corporation. The unit entitlement of each strata lot is the habitable area in square meters, rounded to the nearest whole number.

A copy of the Form V – Schedule of Unit Entitlement for Strata Lots 1 to 4 filed at the Land Title Office under CB936756, and a copy of the Form V – Schedule of Unit Entitlement for Strata Lots 5 to 8 filed at the Land Title Office under CB1159388, is attached to this Disclosure Statement as part of **Exhibit E4**. A draft of the proposed Form V – Schedule for Unit Entitlement for all strata lots in the Development is attached as part of **Exhibit E4**.

The Developer draws attention to the fact that under the filed Form V – Schedule for Unit Entitlement, the unit entitlement for Strata Lots 1, 3, 5, and 7 has been modified from the draft Form V - Schedule for Unit Entitlement found in former Exhibits E2 and E3.

5. **Section 3.3 – Common Property and Facilities:** Section 3.3 is deleted in its entirety and replaced with the following:

The roadways, exterior grounds and surfaces, mechanical areas, and garbage facilities in the Development as shown on Strata Plan EPS8541 Phase 1 and Phase 2 and Proposed Phases 1 to 8 Strata Plans attached as **Exhibit B4** are common property of the Development.

The Developer has constructed a storm water drainage system on the Parent Parcel. It is intended that a storm water drainage system as shown on the Storm Drainage Plan attached as **Exhibit M** will be part of the common property of the Development. The strata corporation and strata lot owners will be responsible for the maintenance and repair of the storm water drainage system pursuant to the section 219 Covenant registered in the Land Title office under CB924745.

6. **Section 3.4 – Limited Common Property:** Section 3.4 is deleted in its entirety and replaced with the following:

Limited Common Property is an area within the common property that may be used exclusively by one or more strata lot owners and any additional maintenance expense created thereby will be paid by that owner.

Each strata lot will have:

- one uncovered parking stall designated as limited common property for the sole use of the strata lot owner; and
- a patio and shed attached to the strata lot as limited common property for the sole use of the strata lot owner.

Strata Lots 5 to 8 also have a balcony attached to the strata lot as limited common property for the sole use of the strata lot owner.

The limited common property areas for Phase 1 and Phase 2 are set out as limited common property in Strata Plan EPS8541 Phase 1 and Phase 2 as part of **Exhibit B4**.

The proposed limited common property areas for Phases 3 to 8 are set out in the Proposed Phases 1 to 8 Strata Plans as part of **Exhibit B4**.

The Developer may add a balcony to the strata lots in Phases 3 to 8. If the Developer decides to add balconies to the strata lots in Phases 3 to 8, then each balcony will be designated as limited common property for the sole use of that strata lot owner.

7. **Section 3.6 – Parking:** Section 3.6 is deleted in its entirety and replaced with the following:

Phase 1 and Phase 2 – each strata lot will have one uncovered parking stall in the location indicated on Strata Plan EPS8541 Phase 1 and Phase 2 attached as part of **Exhibit B4**.

Phases 3 to 8 – each strata lot will have one uncovered parking stall in the location indicated on the Proposed Phases 1 to 8 Strata Plans attached as part of **Exhibit B4**.

8. **Section 3.8 – Budget:** Paragraph 3 of section 3.8 is deleted in its entirety and replaced with the following:

The Developer has amended the estimated operating budget and schedule showing how the budget will be allocated amongst the individual strata lot owners. A copy of the estimated operating budget and schedule are attached as **Exhibit G4**.

9. **Section 3.10 – Strata Management Contracts:** Section 3.10 is deleted in its entirety and replaced with the following:

The Developer entered into a Strata Management Contract with East Kootenay Realty Ltd. on May 31, 2022. On January 02, 2024, East Kootenay Realty Ltd. assigned the Strata Management Contract to Royal LePage Rockies West Realty.



Royal LePage Rockies West Realty will assist in the management of the affairs of the strata corporation and perform services such as receiving strata fees, assisting the strata council with budgeting, and enforcing the strata bylaws. A copy of the Strata Management Contract and the Assignment of the Strata Management Contract is attached as **Exhibit N**.

10. **Section 4.1 – Legal Description:** Section 4.1 is deleted in its entirety and replaced with the following:

The Developer registered Phase 1 of the strata plan, and created 4 new strata lots from the parcel of lands having the following legal description:

PID: 032-005-121

Legal: Lot A District Lot 1092 Kootenay District Plan EPP120443

Following the registration of the Phase 1 strata plan, Strata Lots 1 to 4 were created with the following legal description:

PID: [ ... ]

Legal: Strata Lot [1-4] District Lot 1092 Kootenay District Strata Plan EPS8541 together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V

Following the registration of the phase 2 strata plan, the remainder of the lands over which Phases 2 to 8 were to be registered had the following legal description:

PID: 032-005-121

Legal: Lot A District Lot 1092 Kootenay District Plan EPP120443 except Phase 1 Strata Plan EPS8541

The Developer registered Phase 2 of the strata plan, and created 4 new strata with the following legal description:

PID: [ ... ]

Legal: Strata Lot [5-8] District Lot 1092 Kootenay District Strata Plan EPS8541 together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V

Following the registration of the Phase 2 strata plan, the remainder of the lands over which Phases 3 to 8 will be registered has the following legal description:

PID: 032-005-121

Legal: Lot A District Lot 1092 Kootenay District Plan EPP120443 except Phase 1-2 Strata Plan EPS8541

(the "Remainder Lot")

11. **Section 4.2 – Ownership:** Section 4.2 is deleted in its entirety and replaced with the following:

The registered owner of the development property is 1345408 B.C. Ltd., Inc. No. 1345408.

12. **Section 4.3 – Existing Encumbrances and Legal Notations:** Section 4.3 is deleted in its entirety and replaced with the following:

As of the date of the Fourth Amendment, titles to:

- Strata Lot 2;
- Strata Lot 6;
- the Strata Common Property; and
- the Remainder Lot;

show the following Charges, Liens and Interests, that are all “Permitted Encumbrances” for the purposes of the contract of purchase and sale attached as **Exhibit J4**.

Please note that Strata Lot 2 and Strata Lot 6 are representatives of the strata lots in each of Phase 1 and Phase 2 respectively.

Strata Lots for Phases 3 to 8 will be created from the Remainder Lot. Strata Lot titles for Phases 3 to 8 can expect to have the Charges, Liens and Interests marked below with an “X” against title to the Remainder Lot as Permitted Encumbrances.

The descriptions of the Charges, Liens, and Interests below are summaries only. Purchasers are recommended to obtain a title search and review title and satisfy themselves as to the charges registered against the strata lot.

An “X” beside each legal notation or charge denotes whether that legal notation or charge is registered against title for the Strata Common Property, Strata Lot 2, Strata Lot 6, or the Remainder Lot.

<b>Legal Notation</b>	<b>Strata Common Property</b>	<b>Strata Lot 2</b>	<b>Strata Lot 6</b>	<b>Remainder Lot</b>
Easement CB924742	X	X	X	X
Phased Strata Plan Declaration (Form P) CB936755	X	X	X	X
Easement CB979726			X	X

Charges, Liens, and Interests	Strata Common Property	Strata Lot 2	Strata Lot 6	Remainder Lot
Covenant CA1641649	X	X	X	X
Statutory Right of Way CB155429	X	X	X	X
Statutory Right of Way CB155430	X	X	X	X
Easement CB924743	X	X	X	X
Covenant CB924745	X	X	X	X
Easement CB979726	X			

Legal Notations:

- (a) *Easement CB924742*: This reciprocal access easement, registered on September 29, 2023, grants the non-exclusive, full, free and uninterrupted right, license, liberty, privilege, easement, and right of way at all times for the owners of the strata lots in Phase 1 and Phase 2, the Strata Common Property, and the Remainder Lot to enter upon, go across, pass over and repossess over, within, upon and along the access road and walkways on Lot B District Lot 1092 Kootenay District Plan EPP120443. The owners of the strata lots in Phase 1 and Phase 2, the Strata Common Property, and the Remainder Lot owner may, at their own expense, conduct reasonable repairs and maintenance of the access road and walkways on Lot B District Lot 1092 Kootenay District Plan EPP120443.
- (b) *Phased Strata Plan Declaration (Form P) CB936755*: Filed October 06, 2023.
- (c) *Easement CB979726*: This reciprocal access easement, registered on October 23, 2023, grants to the owner of the Remainder Lot and the owners of the strata lots in Phase 2, the non-exclusive, full, free and uninterrupted right, license, liberty, privilege, easement, and right of way at all times to enter upon, go across, pass over and repossess over, within,

upon and along the access road and walkways on the Strata Common Property to access any part of the Remainder Lot through the Strata Common Property. The rights of passage are restricted to the access road and walkways on the Strata Common Property. The owner of the Remainder Lot may, at its own expense, conduct reasonable repairs and maintenance of the roads and walkways on the Strata Common Property.

Charges, Liens and Interests:

- (a) *Covenant CA1641649*: This Covenant, registered on July 05, 2010, is in favour of the District of Invermere and establishes that no building shall be constructed on the Lands with a height exceeding 7.5 metres.
- (b) *Statutory Right of Way CB155429*: This Statutory Right of Way, registered on August 16, 2022, is in favour of British Columbia Hydro and Power Authority and establishes a right of way that enables British Columbia Hydro and Power Authority to construct, operate, and maintain the infrastructure required for the distribution of electricity.
- (c) *Statutory Right of Way CB155430*: This Statutory Right of Way, registered on August 16, 2022, is in favour of Telus Communications Inc. and establishes a right of way that enables Telus Communications Inc. to construct, operate, and maintain the infrastructure required for telecommunications and data transmission.
- (d) *Easement CB924743*: This reciprocal access easement, registered on September 29, 2023, grants the non-exclusive, full, free and uninterrupted right, license, liberty, privilege, easement, and right of way at all times for the owner of Lot B District Lot 1092 Kootenay District Plan EPP120443 to enter upon, go across, pass over and repass over, within, upon and along the access road and walkways on the strata lots in Phase 1 and Phase 2, the Strata Common Property, and the Remainder Lot. The owner of Lot B District Lot 1092 Kootenay District Plan EPP120443 may, at its own expense, conduct reasonable repairs and maintenance of the access road and walkways on the strata lots in Phase 1 and Phase 2, the Strata Common Property, and the Remainder Lot.
- (e) *Covenant CB924745*: This section 219 Covenant, registered on September 29, 2023, is in favour of the District of Invermere and requires that the owners of the strata lots in Phase 1 and Phase 2, the Strata Common Property, and the Remainder Lot to build and maintain a storm water drainage system on Lot A District Lot 1092 Kootenay District Plan EPP120443 (the Parent Parcel), to carry out any reconstruction and repair of the storm water drainage system, and to carry out all inspections, maintenance, repairs, renewals, and replacement of the storm water drainage system in a good and workmanlike manner.
- (f) *Easement CB979726*: This reciprocal access easement, registered on October 23, 2023, grants to the owner of the Remainder Lot and the owners of the strata lots in Phase 2, the non-exclusive, full, free and uninterrupted right, license, liberty, privilege, easement, and right of way at all times to enter upon, go across, pass over and repass over, within, upon and along the access road and walkways on the Strata Common Property to access any part of the Remainder Lot through the Strata Common Property. The rights of

passage are restricted to the access road and walkways on the Strata Common Property. The owner of the Remainder Lot may, at its own expense, conduct reasonable repairs and maintenance of the roads and walkways on the Strata Common Property.

Copies of the encumbrances registered at the Land Title Office are attached to as **Exhibit K1**.

13. **Section 4.4 – Proposed Encumbrances:** Section 4.4 is deleted in its entirety and replaced with the following:

The Developer may register further easements, covenants or rights of way as are necessary to meet the requirements of local government authorities or utility service providers. Any such encumbrance (in addition to the encumbrances described above in section 4.3) shall be a Permitted Encumbrance for the purposes of the contract of purchase and sale attached as **Exhibit J4** and purchasers shall take title to the strata lot subject to such encumbrance.

14. **Section 5.1 – Construction Dates:** Section 5.1 is deleted in its entirety and replaced with the following:

For the purposes of this section:

“commencement of construction” means the date of commencement of excavation in respect of construction of an improvement that will become part of a development unit within the development property, and where there is no excavation it means the date of commencement of construction of an improvement that will become part of a development unit within the development property;

“completion of construction” means the first date that a development unit within the development property may be lawfully occupied, even if such occupancy has been authorized on a provisional or conditional basis; and

“estimated date range” means a date range, not exceeding three months, for the commencement of construction or the completion of construction.

The Developer intends to construct Phases 1 to 8 in the following order: Phase 1, Phase 2, Phase 4, Phase 3, Phase 5, Phase 6, Phase 7, and Phase 8.

More generally, the estimated date ranges are as follows:

- (a) Phase 1: the Developer has completed construction.
- (b) Phase 2: the Developer has commenced construction, and the estimated date range to complete construction is between April 01, 2024, and June 30, 2024.
- (c) Phase 4: the Developer has commenced construction, and the estimated date range to complete construction is between November 30, 2024, and February 29, 2025.

- (d) Phase 3: the Developer has commenced construction, and the estimated date range to complete construction is between April 01, 2025, and July 01, 2025.
- (e) Phase 5: the estimated date range to commence construction is between October 31, 2024, and January 31, 2025, and the estimated date range to complete construction is between October 31, 2025, and January 31, 2026.
- (f) Phase 6: the estimated date range to commence construction is between October 31, 2024, and January 31, 2025, and the estimated date range to complete construction is between October 31, 2025, and January 31, 2026.
- (g) Phase 7: the estimated date range to commence construction is between April 30, 2025, and July 31, 2025, and the estimated date range to complete construction is between April 30, 2026, and July 31, 2026.
- (h) Phase 8: the estimated date range to commence construction is between April 30, 2025, and July 31, 2025, and the estimated date range to complete construction is between April 30, 2026, and July 31, 2026.

15. **Section 5.2 - Warranties:** Section 5.2 is deleted in its entirety and is replaced with the following:

The Development will be registered under the *Home Owner Protection Act* New Home Warranty Program. Home warranty insurance will be provided by a third-party insurer which will meet the 2-5-10 insurance requirements for new construction. Essentially, insurance will include the following:

- (a) warranty against material or labour (with some limitations) – 2 years;
- (b) warranty against defects to the building envelope (foundation, exterior walls, rood, windows, and doors) – 5 years; and
- (c) warranty against structural defects – 10 years.

Further information concerning new home warranty insurance may be obtained from the Homeowner Protection Office, whose website is [www.bchousing.org/licensing-consumer-services/new-homes/home-warranty-insurance-new-homes](http://www.bchousing.org/licensing-consumer-services/new-homes/home-warranty-insurance-new-homes). The Developer will provide a copy of the warranty insurance policy to the strata corporation at the time of the first annual general meeting.

Any manufacturers' warranties for appliances or equipment will be passed on to strata lot owners or the Strata Corporation, as the case may be, by the Developer, if and to the extent permitted by such warranties.

16. **Section 6.1 - Development Approval:** Section 6.1 is deleted in its entirety and is replaced with the following:

Development Permit No.22.01 approving the development in principle for Phases 1 to 8 was issued by the District of Invermere on June 17, 2022, a copy of which is attached as **Exhibit I**.

The Approving Officer approved the Form P – Phased Strata Plan Declaration on September 28, 2023, which was filed at the Land Title Office on October 06, 2023, under CB936755.

The Developer has obtained building permits issued by the District of Invermere for Phases 1 to 4. The building permits for Phase 1, Phase 2, Phase 3, and Phase 4 are attached as **Exhibit L**.

The Developer anticipates being issued the building permits for Phase 5 and Phase 6 of the Development within 12 months of the Fourth Amendment. The Developer will file an amendment to the Disclosure Statement exhibiting the Phase 5 and Phase 6 building permits once available and will deliver a copy of such amendment to each purchaser who is entitled to receive such amendment.

Purchasers are notified that the Fourth Amendment is filed under the BC Financial Services Authority *Real Estate Development Marketing Act* Policy Statement 5. Policy Statement 5 is set out in bold on page 2 and 3 of the Fourth Amendment. Policy Statement 5 gives purchasers of a Strata Lot in Phase 5 and Phase 6 of the Development certain rescission rights in circumstances where the Phase 5 and Phase 6 building permits are not issued to the Developer. Purchasers are recommended to carefully read page 2 and 3 of the Fourth Amendment.

17. **Section 6.2 - Construction Financing:** Section 6.2 is deleted in its entirety and is replaced with the following:

The Developer has its own sufficient funds to finance the construction and completion of Phases 1 to 6, including the installation of all utilities and other services associated with such Phases 1 to 6.

18. **Section 7.2 – Purchase Agreement:** Section 7.2 is deleted in its entirety and replaced with the following:

The Developer will use the forms of purchase agreement substantially in the form attached to this Disclosure Statement as **Exhibit J4** (the "Agreement"), subject to any changes agreed to between the Developer and the purchaser.

Exhibit J4 contains the form of purchase agreement to be used for Phases 1 and Phase 2 Post-Title Sales, and Phases 3 to 6 Pre-Title Sales.

Unless otherwise noted, capitalized terms used in this section 7.2 and not otherwise defined, have the same meaning given to such terms as in the Agreement.

#### **Pre-Title Purchase Agreements**

##### 7.2.1 Termination Provisions:

The Agreement provides that the Developer may terminate the Agreement under certain circumstances:

- i. Paragraph 9 of the Agreement provides that the Developer may terminate the Agreement if the purchaser fails to provide the Deposit as required under the Agreement; and
- ii. Paragraph 15 of Schedule A to the Agreement (the "Schedule"), provides that the Developer may terminate the Agreement if the purchaser fails to complete the transaction in accordance with the terms of the Agreement.

The Agreement provides that the Purchaser may terminate the Agreement under paragraph 1(c) of the Schedule. Under paragraph 1(c) the Purchaser may elect to terminate the Agreement if the Completion Date has not occurred within 2 years of the date of the Agreement.

Paragraph 29 of Schedule A provides:

29. Rescission Rights if Building Permit not Yet Issued: If the Purchaser has received a Disclosure Statement for a strata lot that states that a building permit for the strata lot has not yet been issued, then the Purchaser and Vendor agree that:

- a. the purchaser may cancel the purchase agreement for a period of seven days after receipt of an amendment to the disclosure statement that sets out particulars of the issued building permit if the layout or size of the applicable development unit, the construction of a major common facility, including a recreation centre or clubhouse, or the general layout of the development, is materially changed by the issuance of the building permit;
- b. if an amendment to the disclosure statement that sets out particulars of an issued building permit is not received by the purchaser within 12 months after the initial disclosure statement was filed, the purchaser may at his or her option cancel the purchase agreement at any time after the end of that 12- month period until the required amendment is received by the purchaser, at which time the purchaser may cancel the purchase agreement for a period of seven days after receipt of that amendment only if the layout or size of the applicable development unit, the construction of a major common facility, including a recreation centre or clubhouse, or the general layout of the development, is materially changed by the issuance of the building permit;
- c. the amount of the deposit to be paid by a purchaser who has not yet received an amendment to the disclosure statement that sets out particulars of an issued building permit is no more than 10% of the purchase price; and
- d. all deposits paid by a purchaser, including interest earned if applicable, will be returned promptly to the purchaser upon notice of cancellation from the purchaser.

#### 7.2.2 Extension Provisions:

The Schedule provides in subparagraph 1(d) that the Completion Date may be delayed if the strata lot is not yet complete. Paragraph 1(e) allows the Developer to extend the Completion Date on account of construction delays or at the Developer's discretion in the event that the strata lot is not ready to be occupied. The Purchaser has no ability to refuse any such extension.

Pursuant to subparagraph 1(f) of the Schedule, if the Purchaser wishes to extend for any reason, then the Developer may arbitrarily withhold its consent to such an extension.

The Schedule provides in paragraph 26 that if the parties are unable to perform any of their obligations under the Agreement by reason of major events outside of the parties' control, then the parties are relieved from their obligations during the delay and the parties shall complete their obligations within a reasonable period of time after the delay.



### 7.2.3 Assignment Provisions:

As of January 1, 2019, developers are required under the *Real Estate Development Marketing Act* to include in the Disclosure Statement a statutorily prescribed notice to purchasers and a set of contractual terms when the developer permits a purchaser to assign a purchase agreement. Section 7.2.3 of the Disclosure Statement, and the provision from the purchase agreement set out below regarding "Assignment", shall serve as this notice to the purchaser and also provide the terms in the purchase contract for dealing with assignments.

#### 17. Assignment:

- a. The Purchaser shall not directly or indirectly assign its rights under this Agreement without the prior consent of the Vendor, which consent may be withheld at the absolute discretion of the Vendor.
- b. Without the Vendor's prior consent, any assignment of this purchase agreement is prohibited.
- c. An assignment under the *Real Estate Development Marketing Act* is a transfer of some or all of the rights, obligations and benefits under a purchase agreement made in respect of a strata lot in a development property, whether the transfer is made by the purchaser under the purchase agreement to another person or is a subsequent transfer.
- d. Each proposed party to an assignment agreement must provide the developer with the information and records required under the *Real Estate Development Marketing Act*.
- e. Before the developer consents to an assignment of a purchase agreement, the developer will be required to collect information and records under the *Real Estate Development Marketing Act* from each proposed party to an assignment agreement, including personal information, respecting the following:
  - i. the party's identity;
  - ii. the party's contact and business information;
  - iii. the terms of the assignment agreement.
- f. Information and records collected by the developer must be reported by the developer to the administrator designated under the *Property Transfer Tax Act*. The information and records may only be used or disclosed for tax purposes and other purposes authorized by section 20.5 of the *Real Estate Development Marketing Act*, which includes disclosure to the Canada Revenue Agency.

- g. The Vendor will not disclose the assignment information to any party without the written consent of the Assignor and the Assignee, except as prescribed by section 20.5 of the *Real Estate Development and Marketing Act*, namely:
- i. for the purposes of administering or enforcing *the Real Estate Development Marketing Act*, a taxation Act, the *Home Owner Grant Act*, or the *Land Deferment Act*;
  - ii. in court proceedings related to the Acts referred to in subparagraph (i);
  - iii. under an agreement that: is between the government and another government, relates to the administration or enforcement of tax enactments, and provides for the disclosure of information and records to and the exchange of similar information and records with that other government;
  - iv. for the purpose of the compilation of statistical information by the government or the government of Canada; or
  - v. to the British Columbia Assessment Authority.
- h. After the Vendor consents to any assignment of the Purchaser's rights under this Agreement, the Vendor will be required to:
- i. collect a copy of the written and fully executed assignment agreement and keep that copy for 6 years following the date on which the strata plan is deposited;
  - ii. file with the administrator designated by the *Property Transfer Tax Act* (the "Administrator") all of the assignment information; and
  - iii. file any additional information or records requested by the Administrator in order to verify the assignment information; and

the Assignor and Assignee agree that they will provide and deliver any such materials to the Vendor upon its written request.

### 7.2.3 Deposit Interest Provisions

Pursuant to paragraph 8 of the Agreement, no interest on the deposit will be paid or is payable to the purchaser.

### 7.2.4 Other Provisions of the Agreement

Purchasers are referred to the following provisions in paragraphs 8, 9, 14, 18, 21, 25, and 30 of Schedule A:

8. Strata Lot Plans: The Purchaser acknowledges that the Purchaser is purchasing the Strata Lot as shown on the proposed form of strata plan attached as **Exhibit B4** to the Disclosure Statement, and the proposed architectural designs attached as **Exhibit C4** to the Disclosure Statement. The Vendor will construct the Strata Lot substantially in accordance with such plans and architectural designs, however the Vendor may make modifications to the features and design of the Development and to the Strata Lot as are reasonable in the opinion of the Vendor, and may use materials other than as prescribed in the plans, all without compensation to the Purchaser.

9. Variation in Square Footage: The square footage area of the Strata Lot may vary from that set out in the proposed strata plan by 5% without compensation to the Purchaser. If the Strata Lot varies by more than 5% to the disadvantage of the Purchaser, then the Vendor agrees to reduce the price of the Strata Lot by a percentage which is equal to the percentage by which the area of the Strata Lot as shown on the registered strata plan exceeds 5% less than as shown in **Exhibit B4** to the Disclosure Statement. For greater clarity, there will be no adjustment made in respect of the first 5% of square footage variance, but only in respect of that portion of the strata lot which varies to the disadvantage of the Purchaser by more than 5%.

14. Civic Address: The civic address and strata lot numbers relating to the Strata Lot are subject to change at the discretion of the Vendor without compensation to the Purchaser. If the Strata Lot numbering varies from that set out in **Exhibit B4** to the Disclosure Statement, then the Purchaser agrees that the Vendor may amend this Agreement to indicate the correct Strata Lot number.

18. No Resale Prior to Completion: The Purchaser shall not advertise or offer the Strata Lot for sale, nor enter into any agreement for the sale of the Strata Lot prior to the date that is 1 year after the Completion Date without the express written consent of the Vendor, which consent may be arbitrarily withheld by the Vendor.

21. Voting on Certain Resolutions: The Purchaser agrees with the Vendor to vote in favour of any resolutions requested by the Vendor to be placed on an agenda for a special or annual general meeting including, but not limited to, those that deal with amendments to the Form P - Declaration of Phased Strata Plan in respect of the order of the phases, the number of strata lots in each phase, construction schedules, unit entitlement of the strata lots, and the phase boundaries. The Purchaser further agrees, if requested by the Vendor, to deliver to the Vendor in advance of such meeting its written proxy so the Vendor may exercise such votes on the Purchaser's behalf. In the absence of such a proxy, the Vendor may present this Agreement to the meeting as evidence of the Purchaser's proxy in favour of the Vendor and the Vendor's unfettered discretion to exercise the Purchaser's proxy on these matters.

25. Privacy Consent:

(a) The Purchaser consents to the collection, use, and disclosure of personal information contained in this Agreement and otherwise as collected by or on behalf of the Vendor and its agents, affiliates, and service providers for the following purposes:

- i. to complete the transaction contemplated by this Agreement;
- ii. to engage in business transactions included in securing financing for the construction of the development;
- iii. to provide ongoing products and services to the Purchasers;
- iv. to market, sell, provide and inform the Purchasers of the Vendor's products and services, including information about future projects;
- v. as required by law; and
- vi. for additional purposes identified when or before the information is collected.

(b) The Purchaser consents to the collection, use, and disclosure of the information to agents, contractors, and service providers of the Vendor and its affiliates in connection with the above purposes. Subject to legal and contractual requirements, the Purchaser may refuse or withdraw consent to for the collection, use, and disclosure of for the purposes of subsections 25(a)(iii) and 25(a)(iv) at any time by contacting the Vendor at the address set out above.

30. Ongoing Development: The Purchaser acknowledges and accepts that the Strata Lot is part of an ongoing phased development and that further units will be constructed adjacent to the Strata Lot, with attendant construction noise, dust, dirt tracks on roadways, and coming and going of vehicular traffic association with the construction of the Development. The Purchaser also acknowledges and accepts that construction of the strata common facilities, such as the roadways, will be ongoing throughout the course of the construction of the Development, with attendant construction noise, dust, temporary roadway closures or detours, and the coming and going of vehicular traffic associated with the construction of the strata common facilities. The Purchaser hereby waives all claims it may have now or in the future against the Vendor, and its successors and assigns relating to the ongoing development and the inconveniences attendant to it.

### **Post-Title Purchase Agreements**

#### 7.2.1 Termination Provisions:

The Agreement provides that the Developer may terminate the Agreement under certain circumstances:

- i. Paragraph 9 of the Agreement provides that the Developer may terminate the Agreement if the purchaser fails to provide the Deposit as required under the Agreement; and
- ii. Paragraph 15 of Schedule A to the Agreement (the "Schedule"), provides that the Developer may terminate the Agreement if the purchaser fails to complete the transaction in accordance with the terms of the Agreement.

Paragraph 29 of Schedule A provides:

29. Rescission Rights if Building Permit not Yet Issued: If the Purchaser has received a Disclosure Statement for a strata lot that states that a building permit for the strata lot has not yet been issued, then the Purchaser and Vendor agree that:

- a. the purchaser may cancel the purchase agreement for a period of seven days after receipt of an amendment to the disclosure statement that sets out particulars of the issued building permit if the layout or size of the applicable development unit, the construction of a major common facility, including a recreation centre or clubhouse, or the general layout of the development, is materially changed by the issuance of the building permit;
- b. if an amendment to the disclosure statement that sets out particulars of an issued building permit is not received by the purchaser within 12 months after the initial disclosure statement was filed, the purchaser may at his or her option cancel the purchase agreement at any time after the end of that 12- month period until the required amendment is received by the purchaser, at which time the purchaser may cancel the purchase agreement for a period of seven days after receipt of that amendment only if the layout or size of the applicable development unit, the construction of a major common facility, including a recreation centre or clubhouse, or the general layout of the development, is materially changed by the issuance of the building permit;
- c. the amount of the deposit to be paid by a purchaser who has not yet received an amendment to the disclosure statement that sets out particulars of an issued building permit is no more than 10% of the purchase price; and
- d. all deposits paid by a purchaser, including interest earned if applicable, will be returned promptly to the purchaser upon notice of cancellation from the purchaser.

#### 7.2.2 Extension Provisions:

The Schedule provides in subparagraph 1(c) that the Completion Date may be delayed if the strata lot is not yet complete. Paragraphs 1(d) and 1(e) allows the Developer to extend the Completion Date on account of construction delays or at the Developer's discretion in the event that the strata lot is not ready to be occupied for reasons beyond the Developer's control. The Purchaser has no ability to refuse any such extension. Pursuant to subparagraph 1(f) of the Schedule, if the Purchaser wishes to extend for any reason, then the Developer shall not be required to consent to such an extension.

#### 7.2.3 Assignment Provisions:

As of January 1, 2019, developers are required under the *Real Estate Development Marketing Act* to include in the Disclosure Statement a statutorily prescribed notice to

purchasers and a set of contractual terms when the developer permits a purchaser to assign a purchase agreement. Section 7.2.3 of the Disclosure Statement, and the provision from the purchase agreement set out below regarding "Assignment", shall serve as this notice to the purchaser and also provide the terms in the purchase contract for dealing with assignments.

17. Assignment:

- a. The Purchaser shall not directly or indirectly assign its rights under this Agreement without the prior consent of the Vendor, which consent may be withheld at the absolute discretion of the Vendor.
- b. Without the Vendor's prior consent, any assignment of this purchase agreement is prohibited.
- c. An assignment under the *Real Estate Development Marketing Act* is a transfer of some or all of the rights, obligations and benefits under a purchase agreement made in respect of a strata lot in a development property, whether the transfer is made by the purchaser under the purchase agreement to another person or is a subsequent transfer.
- d. Each proposed party to an assignment agreement must provide the developer with the information and records required under the *Real Estate Development Marketing Act*.
- e. Before the developer consents to an assignment of a purchase agreement, the developer will be required to collect information and records under the *Real Estate Development Marketing Act* from each proposed party to an assignment agreement, including personal information, respecting the following:
  - i. the party's identity;
  - ii. the party's contact and business information;
  - iii. the terms of the assignment agreement.
- f. Information and records collected by the developer must be reported by the developer to the administrator designated under the *Property Transfer Tax Act*. The information and records may only be used or disclosed for tax purposes and other purposes authorized by section 20.5 of the *Real Estate Development Marketing Act*, which includes disclosure to the Canada Revenue Agency.
- g. The Vendor will not disclose the assignment information to any party without the written consent of the Assignor and the Assignee, except as prescribed by section 20.5 of the *Real Estate Development and Marketing Act*, namely:

- i. for the purposes of administering or enforcing *the Real Estate Development Marketing Act*, a taxation Act, the *Home Owner Grant Act*, or the *Land Deferment Act*;
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  - iv. for the purpose of the compilation of statistical information by the government or the government of Canada; or
  - v. to the British Columbia Assessment Authority.
- h. After the Vendor consents to any assignment of the Purchaser's rights under this Agreement, the Vendor will be required to:
- i. collect a copy of the written and fully executed assignment agreement and keep that copy for 6 years following the date on which the strata plan is deposited;
  - ii. file with the administrator designated by the *Property Transfer Tax Act* (the "Administrator") all of the assignment information; and
  - iii. file any additional information or records requested by the Administrator in order to verify the assignment information; and

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Pursuant to paragraph 8 of the Agreement, no interest on the deposit shall be paid or is payable to the Purchaser.

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8. Strata Lot Plans: The Purchaser acknowledges that the Purchaser is purchasing the Strata Lot as shown on the proposed form of strata plan attached as **Exhibit B4** to the Disclosure Statement, and the proposed architectural designs attached as **Exhibit C4** to the Disclosure Statement. The Vendor will construct the Strata Lot substantially in accordance with such plans and architectural designs, however the Vendor may make modifications to the features and design of the Development and to the Strata Lot as

are reasonable in the opinion of the Vendor, and may use materials other than as prescribed in the plans, all without compensation to the Purchaser.

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25. Privacy Consent:

(a) The Purchaser consents to the collection, use and disclosure of personal information contained in this Agreement and otherwise as collected by or on behalf of the Vendor and its agents, affiliates, and service providers for the following purposes:

- i. to complete the transaction contemplated by this Agreement;
- ii. to engage in business transactions included in securing financing for the construction of the development;
- iii. to provide ongoing products and services to the Purchasers;



- iv. to market, sell, provide and inform the Purchasers of the Vendor's products and services, including information about future projects;
- v. as required by law; and
- vi. for additional purposes identified when or before the information is collected.

(b) The Purchaser consents to the collection, use, and disclosure of the information to agents, contractors, and service providers of the Vendor and its affiliates in connection with the above purposes. Subject to legal and contractual requirements, the Purchaser may refuse or withdraw consent to for the collection, use, and disclosure of for the purposes of subsections 25(a)(iii) and 25(a)(iv) at any time by contacting the Vendor at the address set out above.

**30. Ongoing Development:** The Purchaser acknowledges and accepts that the Strata Lot is part of an ongoing phased development and that further units will be constructed adjacent to the Strata Lot, with attendant construction noise, dust, dirt tracks on roadways, and coming and going of vehicular traffic association with the construction of the Development. The Purchaser also acknowledges and accepts that construction of the strata common facilities, such as the roadways, will be ongoing throughout the course of the construction of the Development, with attendant construction noise, dust, temporary roadway closures or detours, and the coming and going of vehicular traffic associated with the construction of the strata common facilities. The Purchaser hereby waives all claims it may have now or in the future against the Vendor, and its successors and assigns relating to the ongoing development and the inconveniences attendant to it.

**Purchasers are recommended to carefully review the entirety of Exhibit J4 in addition to what is outlined above.**

19. **Section 7.4 – Other Material Facts:** Section 7.4 is deleted in its entirety and replaced with the following:

The Developer is holding the first annual general meeting of the strata corporation on March 28, 2024. The Developer will update the Disclosure Statements to include the first annual budget prepared in accordance with section 21 of the *Strata Property Act* after the first annual general meeting.

There are no other facts that affect, or could reasonably be expected to affect, the value, price, or use of a strata lot or the development property.

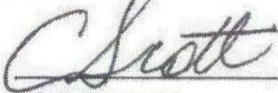
**DEEMED RELIANCE:**

Section 22 of the *Real Estate Development Marketing Act* provides that every purchaser who is entitled to receive this Disclosure Statement is deemed to have relied on any false or misleading statement of a material fact contained in this Disclosure Statement, if any, and any omission to state a material fact. The developer, its directors and any person who has signed or authorized the filing of this Disclosure Statement are liable to compensate the purchaser for any misrepresentation, subject to any defences available under section 22 of the Act.

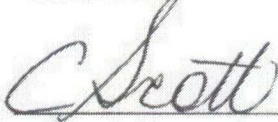
**DECLARATION:**

The foregoing statements disclose, without misrepresentation, all material facts relating to the Development referred to above, as required by the Real Estate Development Marketing Act of British Columbia, as of March 15, 2024.

1345408 B.C. Ltd. by its authorized  
signatory:



Christine Scott



Director: Christine Scott



Director: Max Graham

# Exhibit B4

KAMLOOPS LAND TITLE OFFICE

DECLARATION(S) ATTACHED

APPLICATION TO DEPOSIT PLAN  
AT LAND TITLE OFFICE  
PROVINCE OF BRITISH COLUMBIA

Oct-06-2023 15:53:33.001

CB936751 CB936754

PAGE 1 OF 3 PAGES

Your electronic signature is a representation that  
(a) you are a subscriber under section 168.6 of the *Land Title Act*, RSBC 1996 c.250, and that you are authorized to electronically sign this application by an e-filing direction made under section 168.22(2) of the act, and  
(b) if this application requires an execution copy, that you are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.42(4) of the act, and that an execution copy, or a true copy of that execution copy, is in your possession.

Katelynn Marie O'Neill UG1E2B  
Digitally signed by Katelynn Marie O'Neill UG1E2B  
Date: 2023.09.29 17:46:28 -06'00'

1. APPLICATION: (Name, address, phone number of applicant, applicant's solicitor or agent)

Columbia Valley Law Corporation

Barristers & Solicitors

PO Box 639, 1309 - 7th Ave.

Invermere

BC V0A 1K0

File: 13006

Telephone: 250-342-6904

Document Fees: \$410.87

Deduct LTSA Fees? Yes

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:  
[PID] [LEGAL DESCRIPTION]

032-005-121 LOT A DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN EPP120443

3. APPLICATION FOR DEPOSIT OF:

PLAN TYPE	PLAN NUMBER	CONTROL NUMBER	NUMBER OF NEW LOTS CREATED
Strata (Phased)	EPS8541	169-479-7796	4

4. OWNER(S): (updated owner(s) name(s), occupation(s), postal address and postal code)

1345408 B.C. LTD.

BOX 639

INVERMERE

V0A 1K0

BRITISH COLUMBIA

CANADA

Incorporation No

1345408

5. ADDITIONAL INFORMATION:

FORM\_TOA\_V21

SCHEDULE OF OWNERS AND WITNESSES

PAGE 2 OF 3 PAGES

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PLAN NUMBER:

CONTROL NUMBER:

---

Witness to All Signatures

1345408 B.C. LTD. by its authorized signatory(ies)

---

Katelynn O'Neill  
Lawyer  
Columbia Valley Law Corporation  
PO Box 639, 1309 - 7th Ave.  
Invermere, BC V0A 1K0

---

Christine Scott

FORM\_APPR\_V21

SCHEDULE OF APPROVING OFFICERS AND PROVINCIAL APPROVERS

PAGE 3 OF 3 PAGES

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PLAN NUMBER:

CONTROL NUMBER:

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Form Q, SPA Reg. 14.5(1)

EPS8541 is approved as Phase 1 of a 8 phase strata plan under section 224 of the Strata Property Act.

September 28, 2023  
[date]

---

Approving Officer  
Rory Hromadnik  
Approving Officer for the District of Invermere

Related Document Number: **CB936751**Fee Collected for Document: **\$15.52**

I, Katelynn O'Neill, lawyer, declare that:

1. The plan EPS8541 does not provide access to the portion of the remainder parcel directly south of LCP1 (Parking). An access easement has been submitted to the Land Title Office for registration under registration number CB979726.

2. A Form X was not included to declare the Strata Corporation Mailing Address in Phase 1 of the Strata. The complete Form X has been submitted to the Land Title Office for registration under registration number CB979727.

#### Electronic Signature

Your electronic signature is a representation that

- (a) You are a subscriber under section 168.6 of the *Land Title Act*, RSBC 1996 c.250, and that you are authorized to electronically sign this document by an e-filing direction made under section 168.22(2) of the act, or
- (b) You are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.43(3) of the act, and that the supporting document or a true copy of the supporting document, if a true copy is allowed under an e-filing direction, is in your possession, or
- (c) If the purpose of this declaration is to bring to the attention of the registrar an error, omission or misdescription in a previously submitted document under section 168.55 of the act, you certify that, based on your personal knowledge or reasonable belief, this declaration sets out the material facts accurately.

**Katelynn Marie  
O'Neill EQ3CQF**

Digitally signed by  
Katelynn Marie O'Neill  
EQ3CQF  
Date: 2023-10-23  
10:27:52 -07:00

Note: A Declaration cannot be used to submit a request to the Registrar for the withdrawal of a document.

**PHASED STRATA PLAN OF PART OF LOT A  
DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN  
EPP120443**

EAST KOOTENAY ASSESSMENT AUTHORITY, INVERMERE  
BCGS : 82K.050

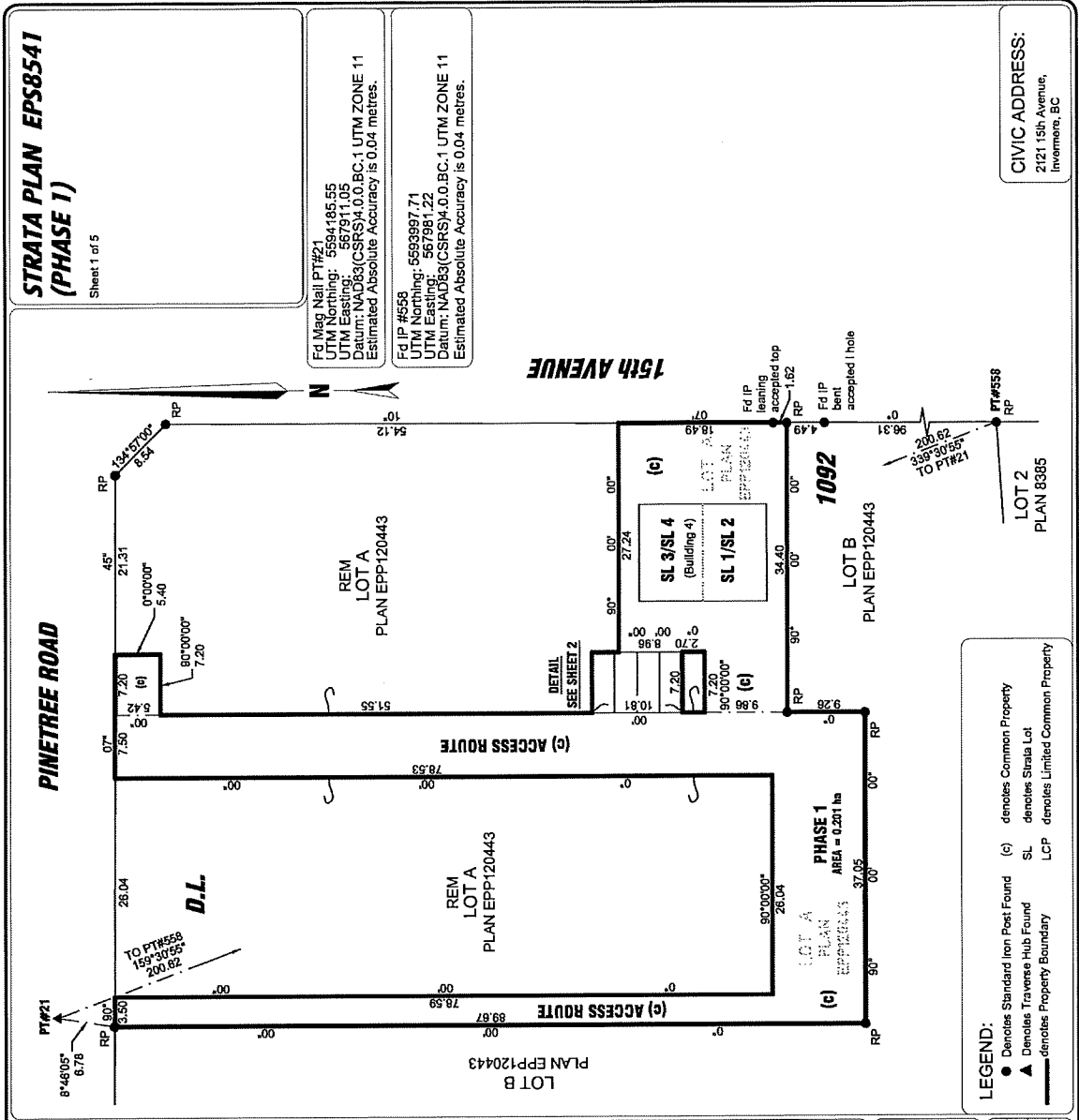
The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:500.

*This plan lies within the Regional District of East Kootenay*  
The Field Survey Represented by this plan was completed on the 30th day of August, 2023  
Adam Brash, BCLS #795

**NOTES:**  
This Plan is Phase 1 of a 6 phase strata plan under the Section 224 of the Strata Plan Property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.  
Distances are in metres and decimals thereof.  
Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.  
The UTM Coordinates and estimated absolute accuracy achieved are derived from GNSS Observations to the published coordinates of the Invermere Active Control Station Geodetic Control Monument 16441B.  
This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 (HT2\_0)).  
LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
Areas of limited common property (patios, storage and parking) do not have a designated upper vertical extent.  
The buildings included in this strata plan have not been previously occupied.  
The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.  
All angles deflected by multiples of 45° or 90° unless otherwise indicated.

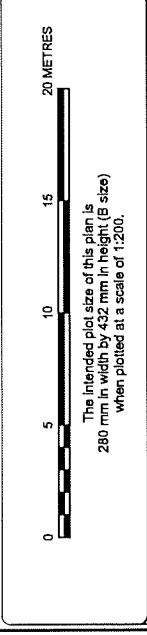
**GLOBAL RAYMAC LAND SURVEYING LTD.**  
1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No.: 221X0025  
CAD FILE: 221X0025\_ST1\_PH1.DWG  
Date: September 12th, 2023  
Surveyed by: DRS  
Drawn: NDW/VBK  
Checked: EGA/B





**BUILDING LOCATION AND LIMITED COMMON PROPERTY (PARKING) (STRATA LOTS 1 TO 4)**  
BCGS : 82K.050



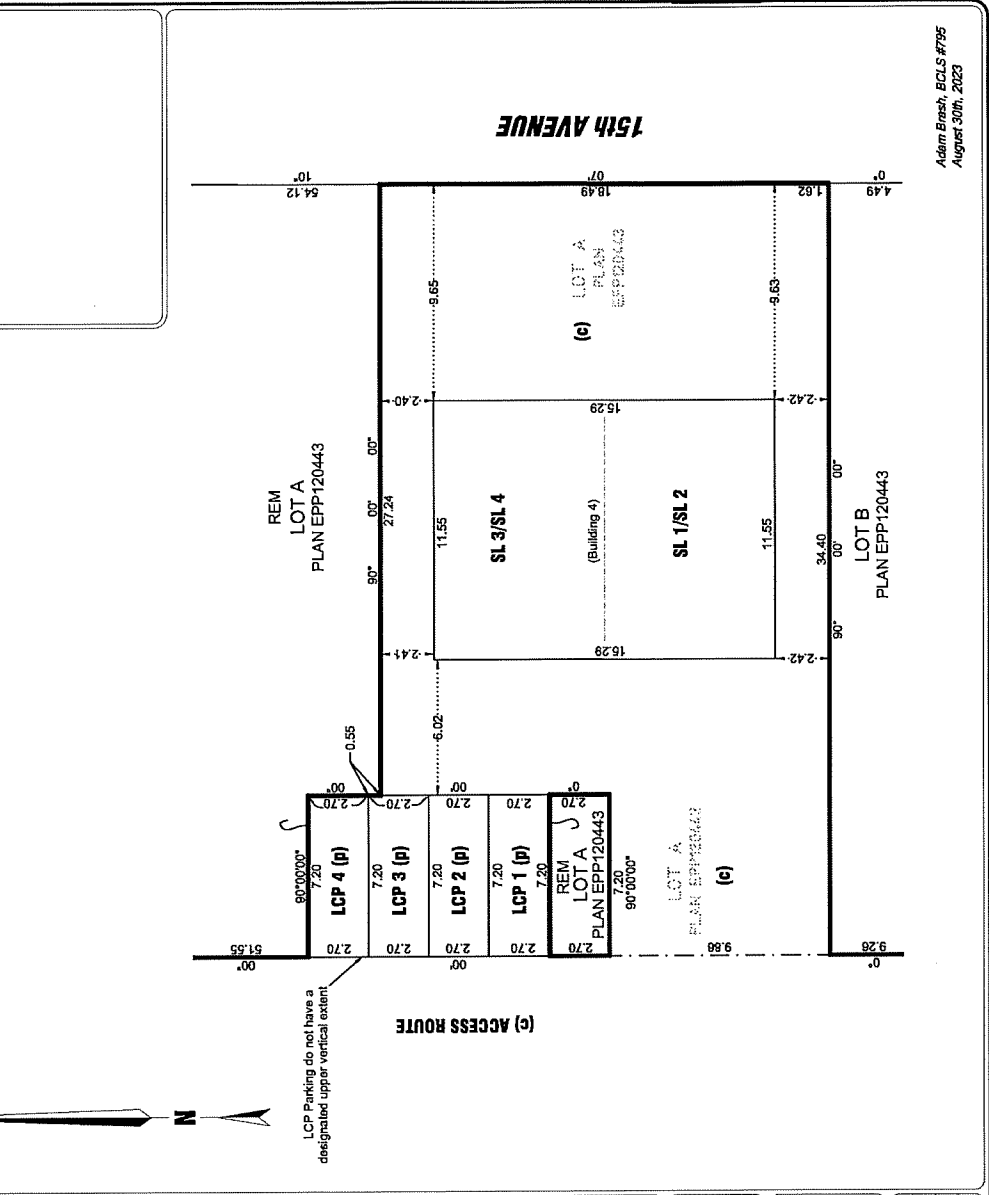
**NOTES:**  
LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
Areas of limited common property (patios, storage and parking) do not have a designated upper vertical extent.  
Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

**LEGEND:**  
denotes Limited Common Property (p) denotes Parking  
LCP for the Exclusive Use of Designated Strata Lot SL denotes Strata Lot  
(c) denotes Common Property

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 220X0025  
CAD FILE : 220X0025\_ST1\_PH1.DWG  
Date : September 12th, 2023  
Surveyed : DRS  
Drawn : NDW/VBK  
Checked: EG/AB

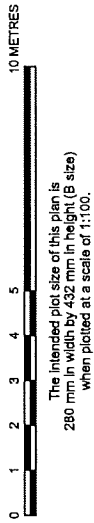
**STRATA PLAN EPS8541 (PHASE 1)**  
Sheet 2 of 5



15th AVENUE  
Adem Ersoy, BCLS #795  
August 30th, 2023

**BUILDING 4  
(STRATA LOTS 2 & 4)  
LOWER LEVEL**

BCGS : 82K.050



**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surdico.  
Areas of limited common property (patios, storage and parking) do not have a designated upper vertical extent.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section View arrows on this plan point in the direction of view.

**LEGEND:**

SL denotes Strata Lot  
SL denotes Limited Common Property  
LCP for the Exclusive Use of Designated Strata Lot

m<sup>2</sup> denotes meters squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 2210X0025

CAD FILE: 2210X0025\_STL\_P01.DWG

Date: September 12th, 2023

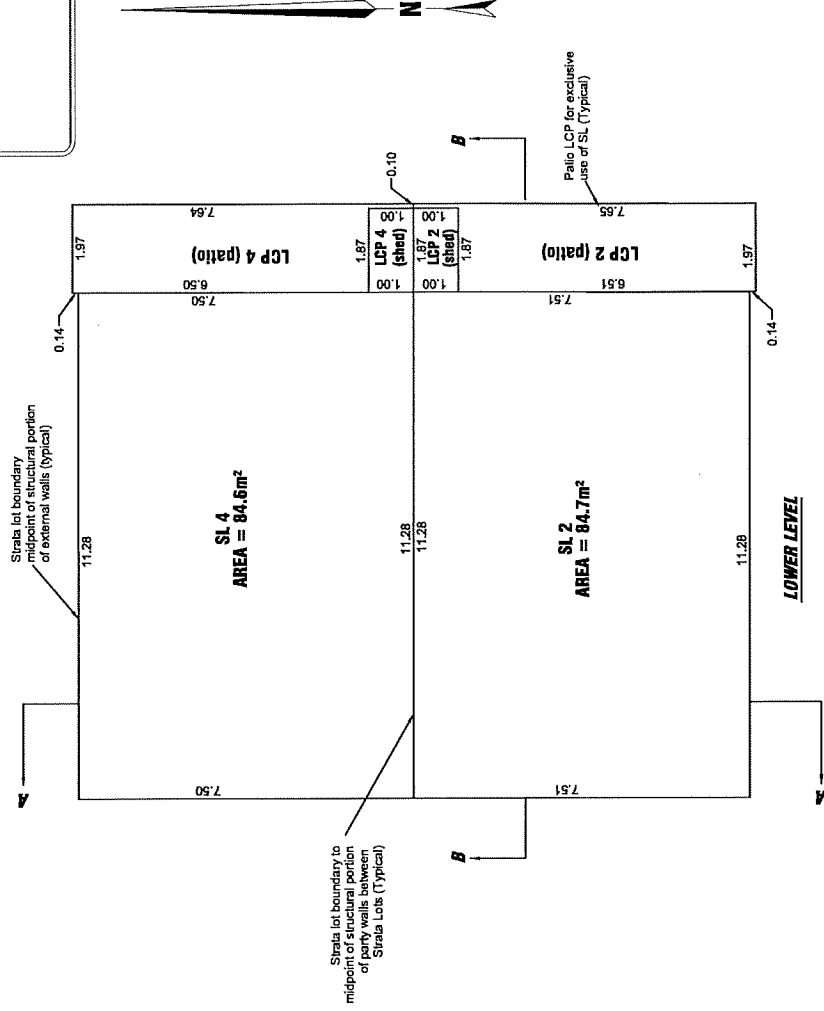
Surveyed : DRS

Drawn: NDHW/VBK

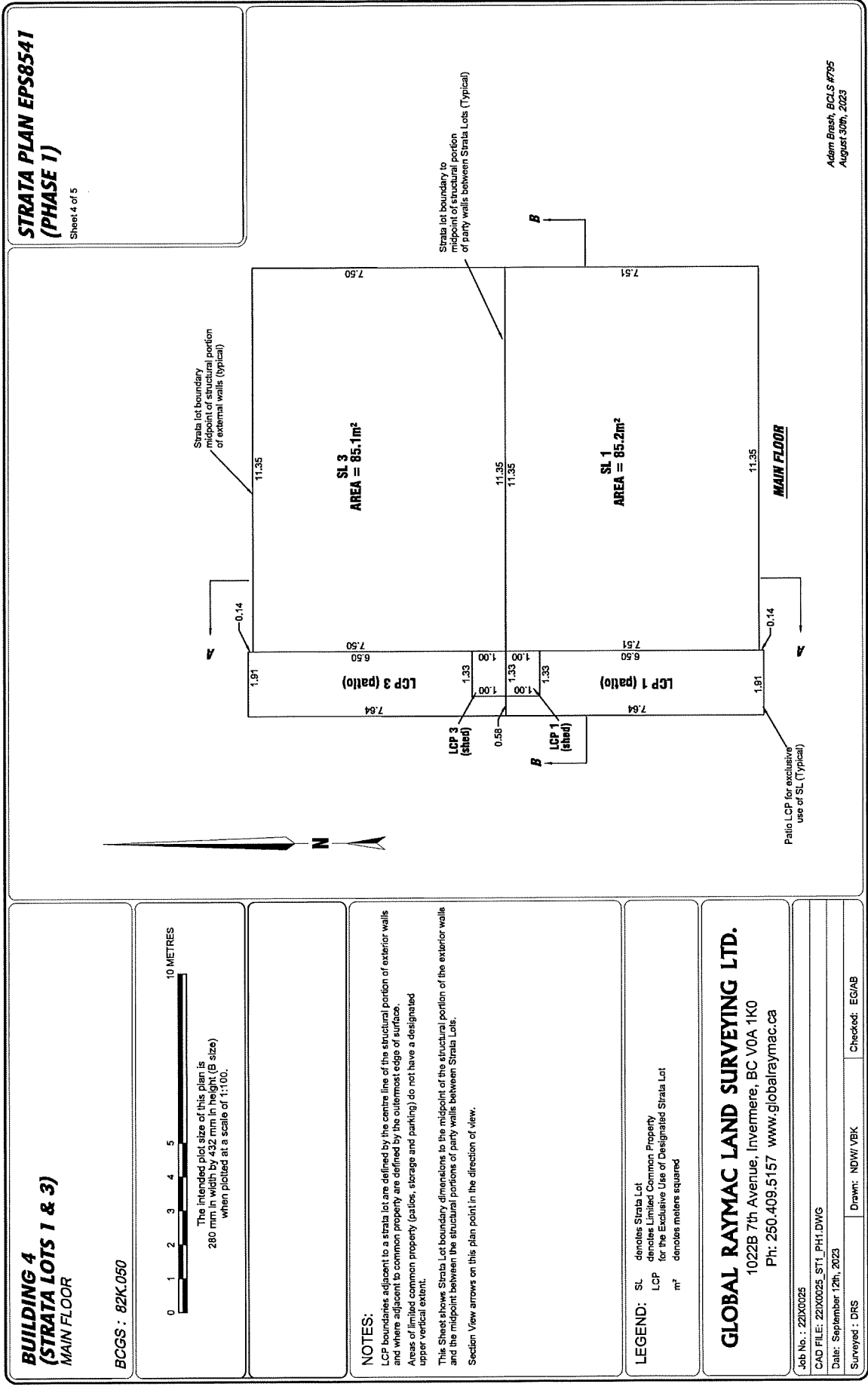
Checked: EG/AB

**STRATA PLAN EPS8541  
(PHASE 1)**

Sheet 3 of 5

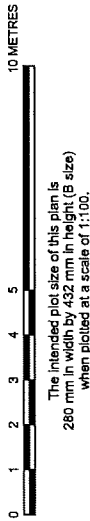


Adam Brash, BCLS #795  
August 30th, 2023



**BUILDING 4  
(STRATA LOTS 1 TO 4)  
CROSS SECTIONS**

BCGS : 82K.050



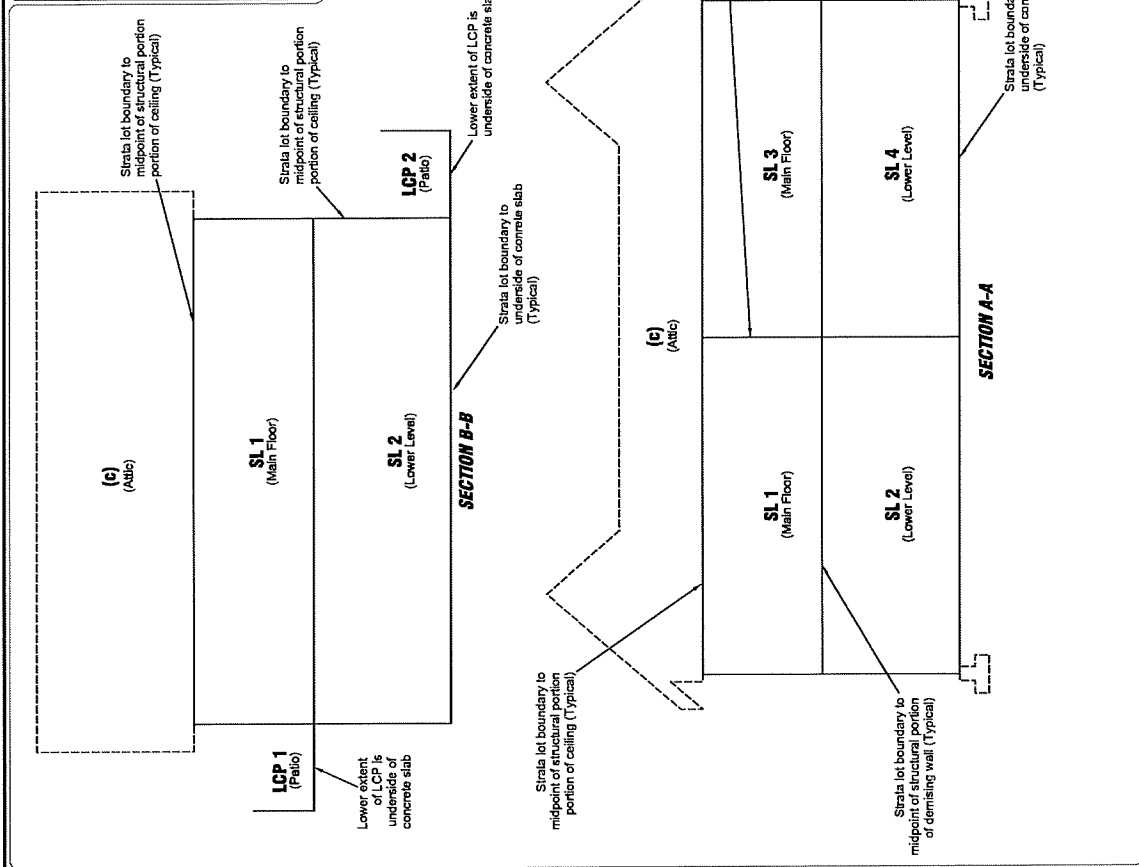
**NOTES:**  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
Areas of limited common property (patios, storage and parking) do not have a designated upper vertical extent.

**LEGEND:**  
SL denotes Strata Lot  
(c) denotes Common Property  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 2210X0025  
CAD FILE: 2210X0025\_ST1\_PH1.DWG  
Date: September 12th, 2023  
Surveyed : DBS  
Drawn: NDW/VBK  
Checked: EG/AB

**STRATA PLAN EPS8541  
(PHASE 1)**  
Sheet 5 of 5



Adam Erash, BCL.S #795  
August 30th, 2023

KAMLOOPS LAND TITLE OFFICE

APPLICATION TO DEPOSIT PLAN  
AT LAND TITLE OFFICE  
PROVINCE OF BRITISH COLUMBIA

Feb-12-2024 12:49:14.001

CB1159384 CB1159387

PAGE 1 OF 3 PAGES

Your electronic signature is a representation that  
(a) you are a subscriber under section 168.6 of the *Land Title Act*, RSBC 1996 c.250, and that you are authorized to electronically sign this application by an e-filing direction made under section 168.22(2) of the act, and  
(b) if this application requires an execution copy, that you are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.42(4) of the act, and that an execution copy, or a true copy of that execution copy, is in your possession.

Katelynn Marie O'Neill UG1E2B  
Digitally signed by Katelynn Marie O'Neill UG1E2B  
Date: 2024.02.12 13:37:01 -07'00'

1. APPLICATION: (Name, address, phone number of applicant, applicant's solicitor or agent)

Columbia Valley Law Corporation

Barristers & Solicitors

PO Box 639, 1309 - 7th Ave.

Invermere

BC V0A 1K0

File: 13075

Telephone: 250-342-6904

Document Fees: \$410.87

Deduct LTSA Fees? Yes

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:  
[PID] [LEGAL DESCRIPTION]

032-005-121 LOT A DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN EPP120443 EXCEPT  
PHASE 1 STRATA PLAN EPS8541

3. APPLICATION FOR DEPOSIT OF:

PLAN TYPE	PLAN NUMBER	CONTROL NUMBER	NUMBER OF NEW LOTS CREATED
Strata (Phased)	EPS8541	170-672-5908	4

4. OWNER(S): (updated owner(s) name(s), occupation(s), postal address and postal code)

1345408 B.C. LTD.

BOX 639

INVERMERE

V0A 1K0

BRITISH COLUMBIA

CANADA

Incorporation No

1345408

5. ADDITIONAL INFORMATION:

FORM\_TOA\_V21

SCHEDULE OF OWNERS AND WITNESSES

PAGE 2 OF 3 PAGES

---

PLAN NUMBER:

CONTROL NUMBER:

---

Witness to All Signatures

1345408 B.C. LTD. Inc. No. 1345308 by its authorized signatory(ies)

---

Name: Jeff Yeung  
Occupation: Asset Manager  
Address: 200 - 1201 Glenmore Ct. SW, Calgary, AB

---

Max Daniel Graham

FORM\_APPR\_V21

SCHEDULE OF APPROVING OFFICERS AND PROVINCIAL APPROVERS

PAGE 3 OF 3 PAGES

---

PLAN NUMBER: EPS8541

CONTROL NUMBER: 170-672-5908

---

Form Q, SPA Reg. 14.5(1)

EPS8541 is approved as Phase 2 of a 8 phase strata plan under section 224 of the Strata Property Act.

February 12, 2024.

---

Approving Officer  
Rory Hromadnik  
Approving Officer for the District of Invermere

## KAMLOOPS LAND TITLE OFFICE

Oct-06-2023 15:53:33.002

EPS8541

SURVEY PLAN CERTIFICATION  
PROVINCE OF BRITISH COLUMBIA

0795

PAGE 1 OF 6 PAGES

Your electronic signature is a representation that you are a British Columbia land surveyor and a subscriber under section 168.6 of the *Land Title Act*, RSBC 1996 c.250. By electronically signing this document, you are also electronically signing the attached plan under section 168.3 of the act.

Adam Brash  
JLF9RK

Digitally signed by  
Adam Brash JLF9RK  
Date: 2023.09.15  
11:09:55 -06'00'

## 1. BC LAND SURVEYOR: (Name, address, phone number)

Adam Brash

Global Raymac Land Surveying Ltd.

Box 459, 1022B 7th Avenue,

Invermere

BC V0A 1K0

abrash@grs.ca

1.403.710.9370

 Surveyor General Certification [For Surveyor General Use Only]

## 2. PLAN IDENTIFICATION:

Control Number: **169-479-7796**Plan Number: **EPS8541**This original plan number assignment was done under Commission #: **795**LTO Document Reference: **CB936751**

## 3. CERTIFICATION:

 Form 9  Explanatory Plan  Form 9A

I am a British Columbia land surveyor and certify that I was present at and personally superintended this survey and that the survey and plan are correct.

The field survey was completed on: 2023 August 30 (YYYY/Month/DD) The checklist was filed under ECR#: 274939  
The plan was completed and checked on: 2023 September 15 (YYYY/Month/DD)

 None  Strata Form S None  Strata Form U1  Strata Form U1/U2

I am a British Columbia land surveyor and certify that the buildings shown on this strata plan are within the external boundaries of the land that is the subject of the strata plan

Certification Date: 2023 September 15 (YYYY/Month/DD)

Arterial Highway Remainder Parcel (Airspace) 4. ALTERATION:

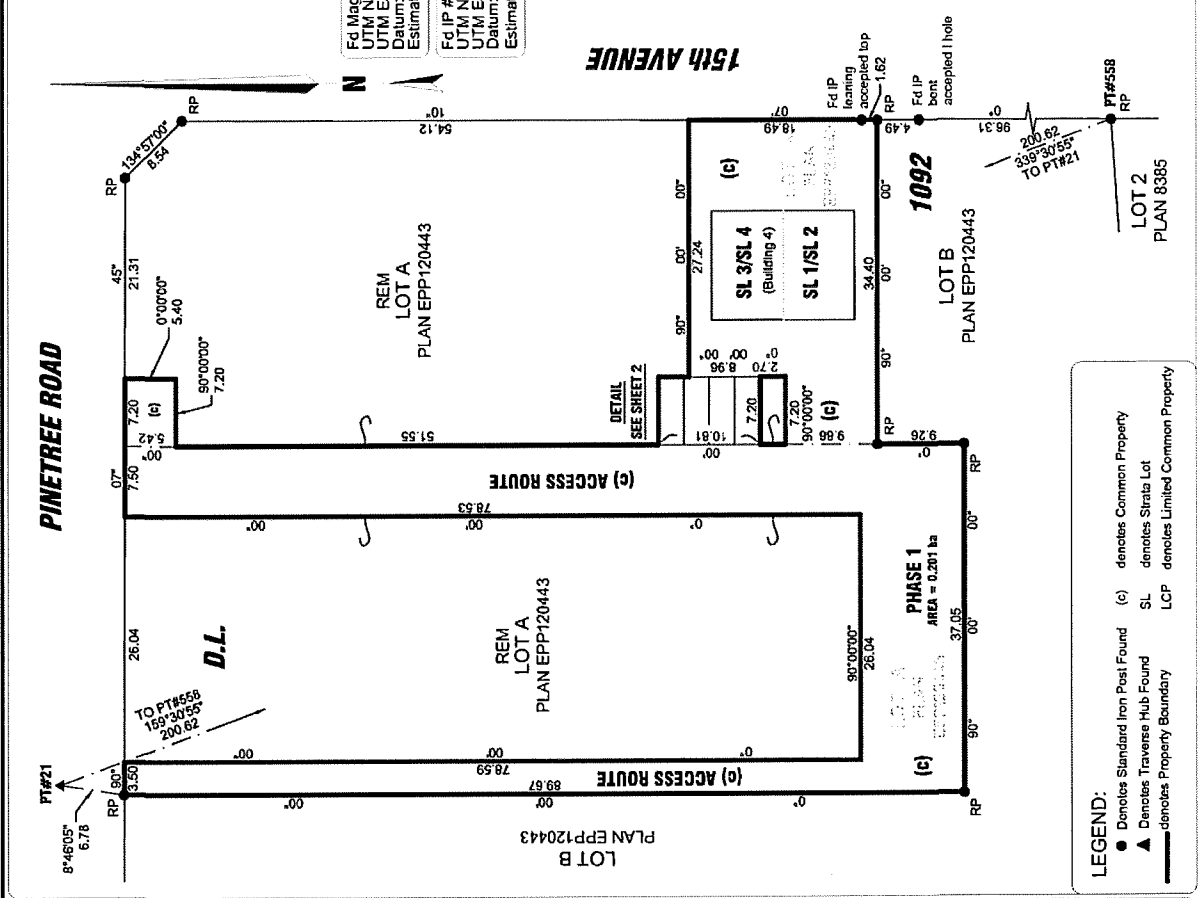


**STRATA PLAN EPS8541  
(PHASE 1)**

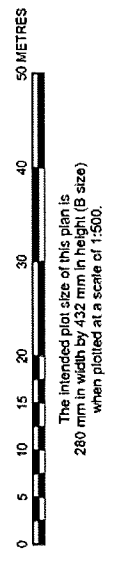
Sheet 1 of 5

Fd IP #558  
UTM Northing: 5593997.71  
UTM Easting: 567981.22  
Datum: NAD83(CRS)4.0.0.BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.

**CIVIC ADDRESS:**  
2121 15th Avenue,  
Invermere, BC



**PHASED STRATA PLAN OF PART OF LOT A  
DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN  
EPP120443  
EAST KOOTENAY ASSESSMENT AUTHORITY, INVERMERE  
BCGS : 82K.050**



*This plan lies within the Regional District of East Kootenay*  
The Field Survey Represented by this plan was completed on the 30th day of August, 2023  
Adam Bash BCL.S #795

**NOTES:**  
This Plan is Phase 1 of a 8 phase strata plan under the Section 224 of the Strata Plan Property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.  
Distances are in metres and decimals thereof.  
Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.  
The UTM Coordinates and estimated absolute accuracy achieved are derived from GNSS Observations to the published coordinates of the Invermere Active Control Station Geodetic Control Monument 164418.  
This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.99922. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (HT2\_0).  
LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
Areas of limited common property (patios, storage and parking) do not have a designated upper vertical extent.  
The buildings included in this strata plan have not been previously occupied.  
The buildings shown hereon are within the external boundaries of the land that is the subject of the strata plan.  
All angles defect by multiples of 45° or 90° unless otherwise indicated.

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22X0025  
CAD FILE: 22X0025\_ST1\_PH1.DWG  
Date: September 12th, 2023  
Surveyed by: DRS  
Drawn: NDWI/VBK  
Checked: EGA/B

**LEGEND:**  
● Denotes Standard Iron Post Found (c) denotes Common Property  
▲ Denotes Traverse Hub Found SL denotes Strata Lot  
— denotes Property Boundary LCP denotes Limited Common Property

LOT 2  
PLAN 8385

PT#558  
RP

PT#421  
RP

PT#558  
RP

PT#421  
RP

PT#558  
RP

PT#421  
RP

**BUILDING LOCATION AND LIMITED COMMON PROPERTY (PARKING) (STRATA LOTS 1 TO 4)**

BCGS : 82K.050

0 5 10 15 20 METRES



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:200.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of facade.

Areas of limited common property (patios, storage and parking) do not have a designated upper vertical extent.

Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

**LEGEND:**

denotes Limited Common Property  
 LCP for the Exclusive Use of Designated Strata Lot  
 (c) denotes Common Property  
 (p) denotes Parking  
 SL denotes Strata Lot

**GLOBAL RAYMAC LAND SURVEYING LTD.**

1022B 7th Avenue, Invermere, BC V0A 1K0  
 Ph: 250.409.5157 www.globalraymac.ca

Job No. : 221X0025

CAD FILE: 221X0025\_ST1\_PH1.DWG

Date: September 12th, 2023

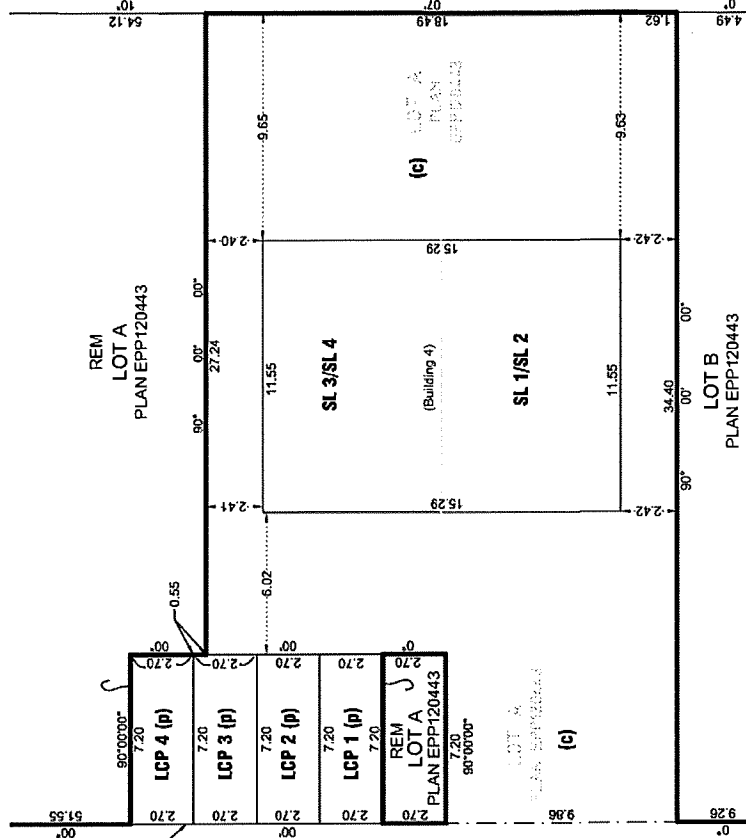
Surveyed : DRS

Drawn: NDWI VBK

Checked: EG/AB

**STRATA PLAN EPS8541 (PHASE 1)**

Sheet 2 of 5



LCP Parking do not have a designated upper vertical extent!

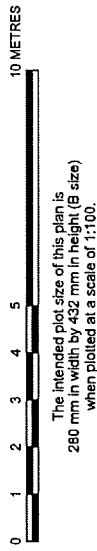
(c) ACCESS ROUTE

15th AVENUE

Adam Brash, BCLS #795  
 August 30th, 2023

**BUILDING 4  
(STRATA LOTS 2 & 4)  
LOWER LEVEL**

BCGS : 82K.050



**NOTES:**  
LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
Areas of limited common property (patios, storage and parking) do not have a designated upper vertical extent.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section View arrows on this plan point in the direction of view.

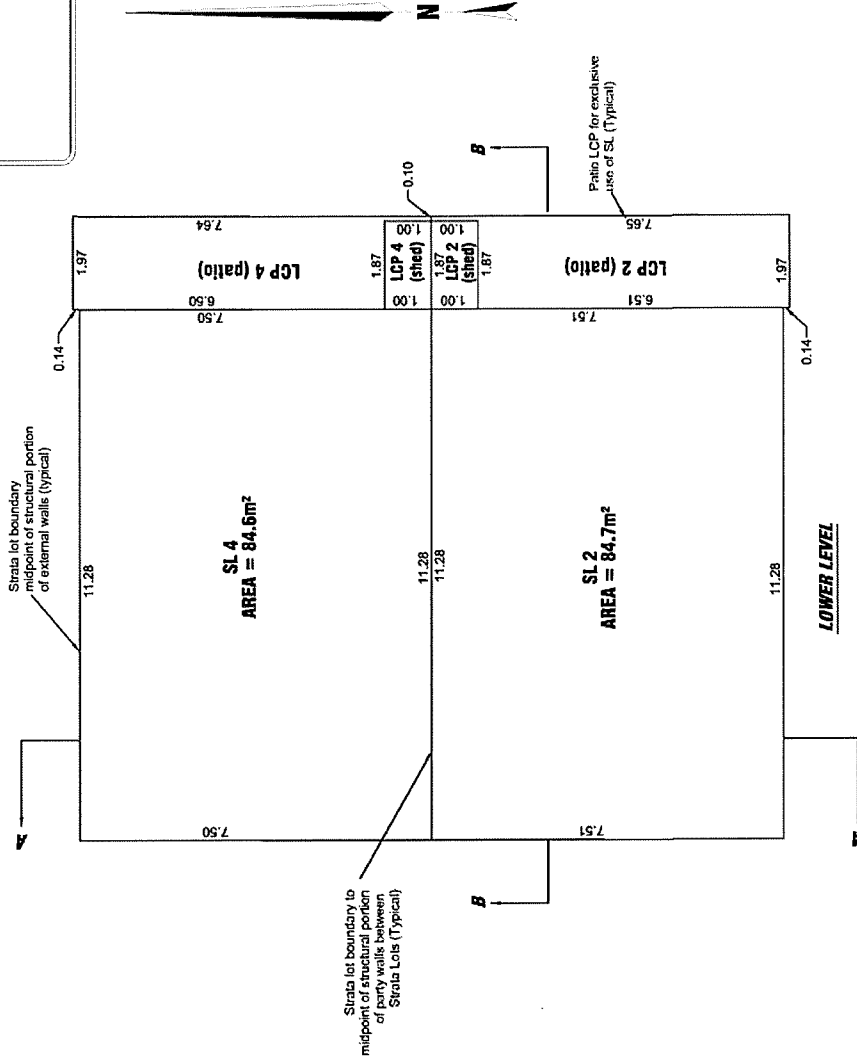
**LEGEND:**  
SL denotes Strata Lot  
SL denotes Limited Common Property  
LCP for the Exclusive Use of Designated Strata Lot  
m<sup>2</sup> denotes meters squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025  
CAD FILE : 22IX0025\_ST1\_PH1.DWG  
Date: September 12th, 2023  
Surveyed by : DRS  
Drawn: NDWI/VBK  
Checked: EG/AB

**STRATA PLAN EPS8541  
(PHASE 1)**

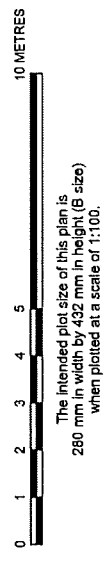
Sheet 3 of 5



Adam Brash, BCLS #795  
August 30th, 2023

**BUILDING 4  
(STRATA LOTS 1 & 3)  
MAIN FLOOR**

BCGS : 82K.050



**NOTES:**  
LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
Areas of limited common property (patio, storage and parking) do not have a designated upper vertical extent.  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
Section View arrows on this plan point in the direction of view.

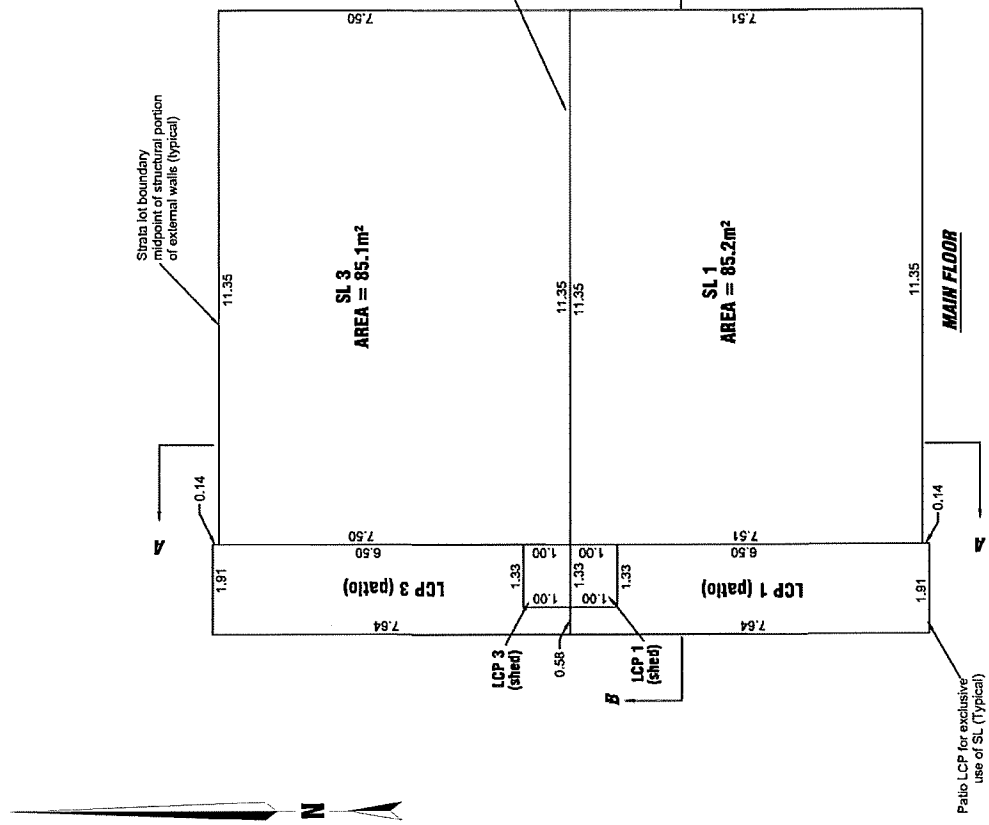
**LEGEND:** SL denotes Strata Lot  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
m<sup>2</sup> denotes meters squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025  
CAD FILE: 22IX0025\_ST1\_PH1.DWG  
Date: September 12th, 2023  
Surveyed : DRS  
Drawn : NDWI/VBK  
Checked: EG/AB

**STRATA PLAN EPS8541  
(PHASE 1)**

Sheet 4 of 5



Adam Brash, BCLS #795  
August 30th, 2023

**BUILDING 4  
(STRATA LOTS 1 TO 4)  
CROSS SECTIONS**

BCGS : 82K.050

0 1 2 3 4 5 10 METRES

The intended pict size of this plan is  
280 mm in width by 432 mm in height (B size)  
when plotted at a scale of 1:100.

**NOTES:**  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
Areas of limited common property (patios, storage and parking) do not have a designated upper vertical extent.

**LEGEND:**  
SL denotes Strata Lot  
(c) denotes Common Property  
LCP denotes Limited Common Property  
for the Exclusive Use of Designated Strata Lot

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025\_ST1\_PH1.DWG

Date: September 12th, 2023

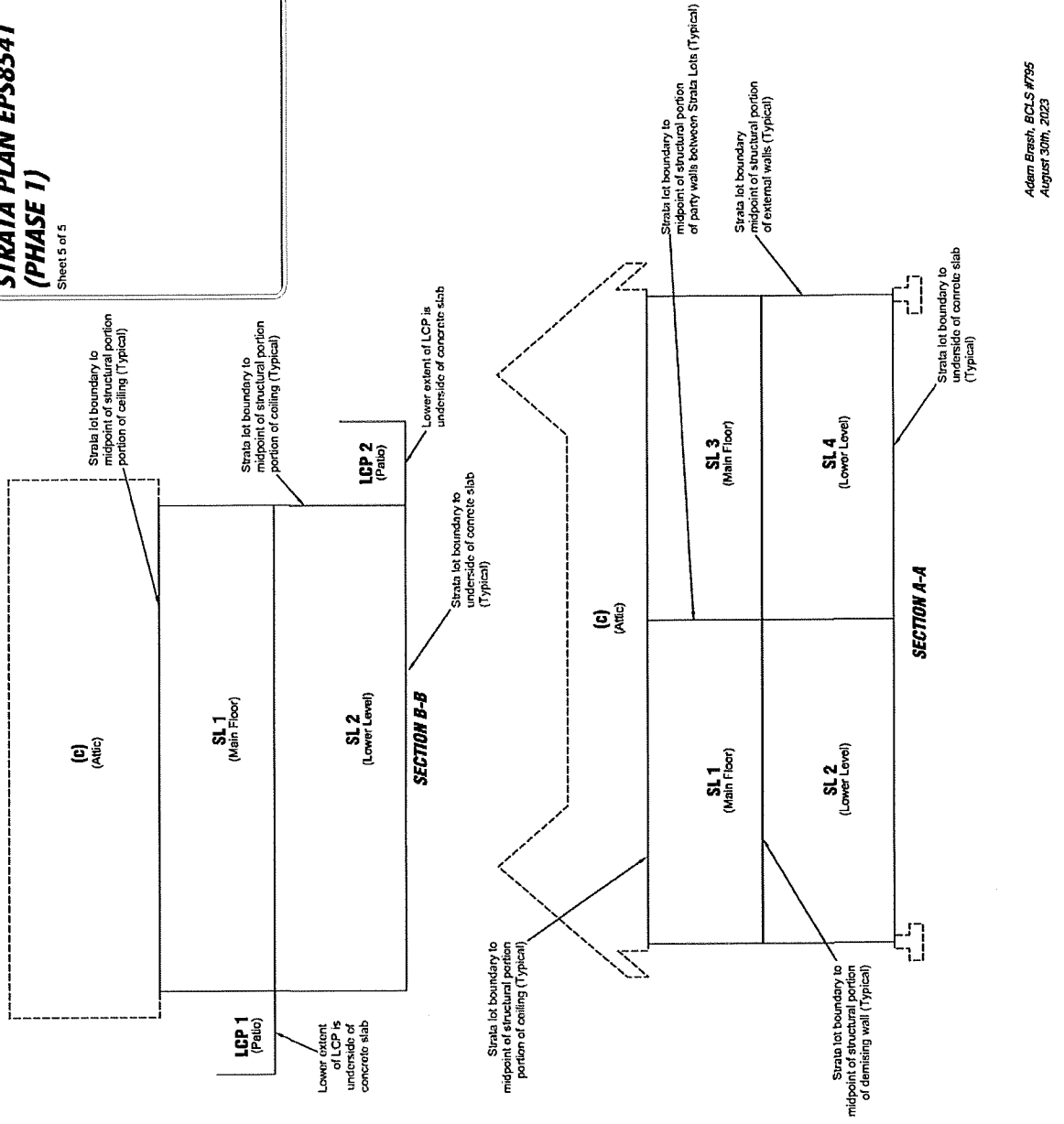
Surveyed : DRS

Drawn: NDWI/VBK

Checked: EGAB

**STRATA PLAN EPS8541  
(PHASE 1)**

Sheet 5 of 5



Adam Brash, BCLS #795  
August 30th, 2023

**PHASED STRATA PLAN OF PART OF LOT A  
DISTRICT LOT 1092 KOOTENAY DISTRICT  
PLAN EPP120443  
EAST KOOTENAY ASSESSMENT AUTHORITY, INVERMERE  
BCGS : 82K.050**



This plan lies within the Regional District of East Kootenay  
The Field Survey Represented by this plan was completed on the 20th Day of December, 2023.  
Adam Erash BCL.S #795

**NOTES:**

- This Plan is Phase 2 of a 8 phase strata plan under the Section 224 Strata Plan Property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.
- Distances are in metres and decimals thereof.
- Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.
- The UTM Coordinates and estimated absolute accuracy achieved are derived from GNSS Observations to the published coordinates of the Invermere Active Control Station Geodetic Control Monument 164418.
- This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 (HT2, 0)).
- LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.
- All LCP patios, balconies and parking are defined as to height by the centre of the floor above of its extensions, where the top floor above, by the average height of a strata lot within the same building unless otherwise indicated.
- The buildings included in this strata plan have not been previously occupied.
- The buildings shown herein are within external boundaries of the land that is subject to the strata plan.
- All angles deflected by multiples of 45° or 90° unless otherwise indicated.

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

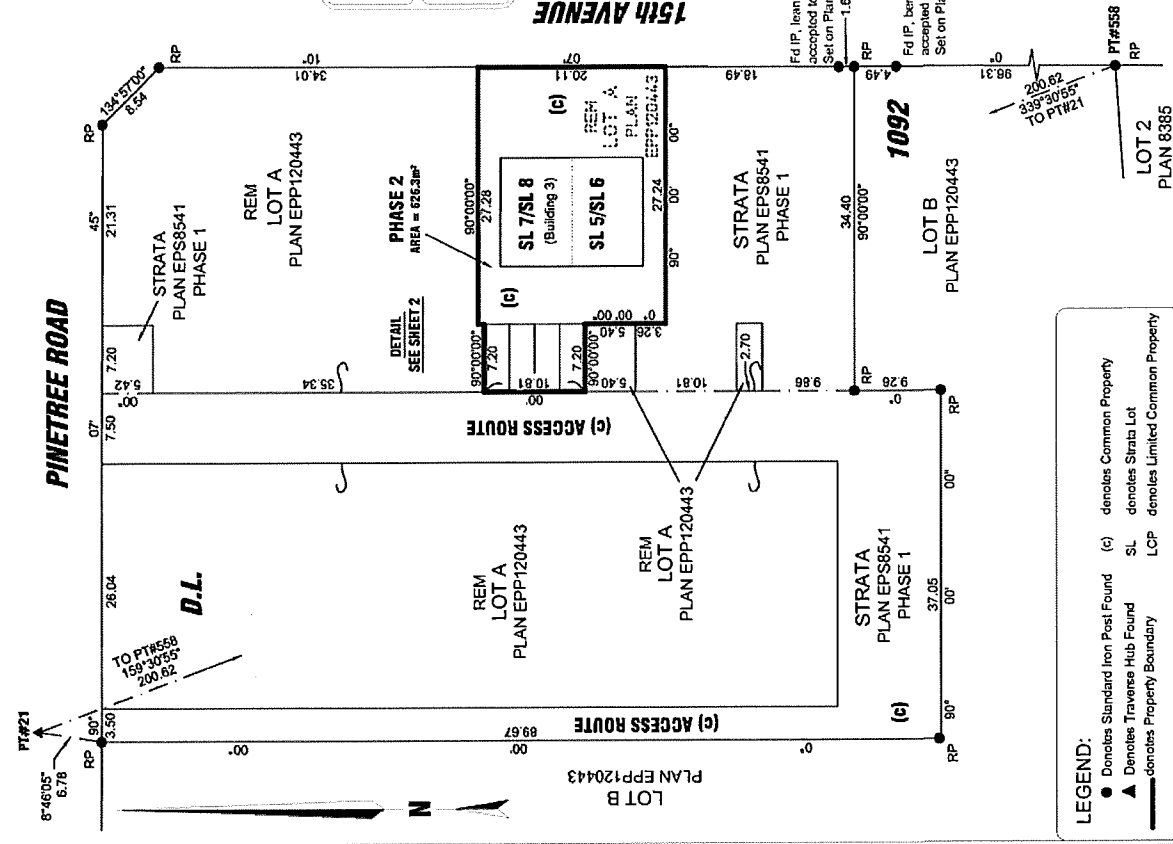
Job No. : 221X0025  
CAD FILE: 221X0025\_ST1\_PH2.DWG  
Date: January 30th, 2024  
Surveyed: DRS/JDR  
Drawn: NDWI/VBK  
Checked: EG/AB

**STRATA PLAN EPS8541  
(PHASE 2)**

Sheet 1 of 6

Fd IP #21  
UTM Northing: 5594185.55  
UTM Easting: 567911.05  
Datum: NAD83(CRS)4.0, BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.

Fd IP #558  
UTM Northing: 5593997.71  
UTM Easting: 567981.22  
Datum: NAD83(CRS)4.0, BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.



**CIVIC ADDRESS:**  
2121 15th Avenue,  
Invermere, BC

- LEGEND:**
- Donotes Standard Iron Post Found (c) donotes Common Property
  - ▲ Donotes Traverse Hub Found SL donotes Strata Lot
  - Donotes Property Boundary LCP donotes Limited Common Property

**DETAIL OF BUILDING 3 LOCATION AND  
LIMITED COMMON PROPERTY (PARKING)  
(STRATA LOTS 5 TO 8)**

BCGS : 82K.050



The intended plot size of this plan is  
280 mm in width by 432 mm in height (B size)  
when plotted at a scale of 1:200.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
All LCP patios, balconies and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

**LEGEND:**

denotes Limited Common Property  
LCP for the Exclusive Use of Designated Strata Lot  
(c) denotes Common Property

(p) denotes Parking  
SL denotes Strata Lot

**GLOBAL RAYMAC LAND SURVEYING LTD.**

1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025\_ST1\_PH2.DWG

Date: January 30th, 2024

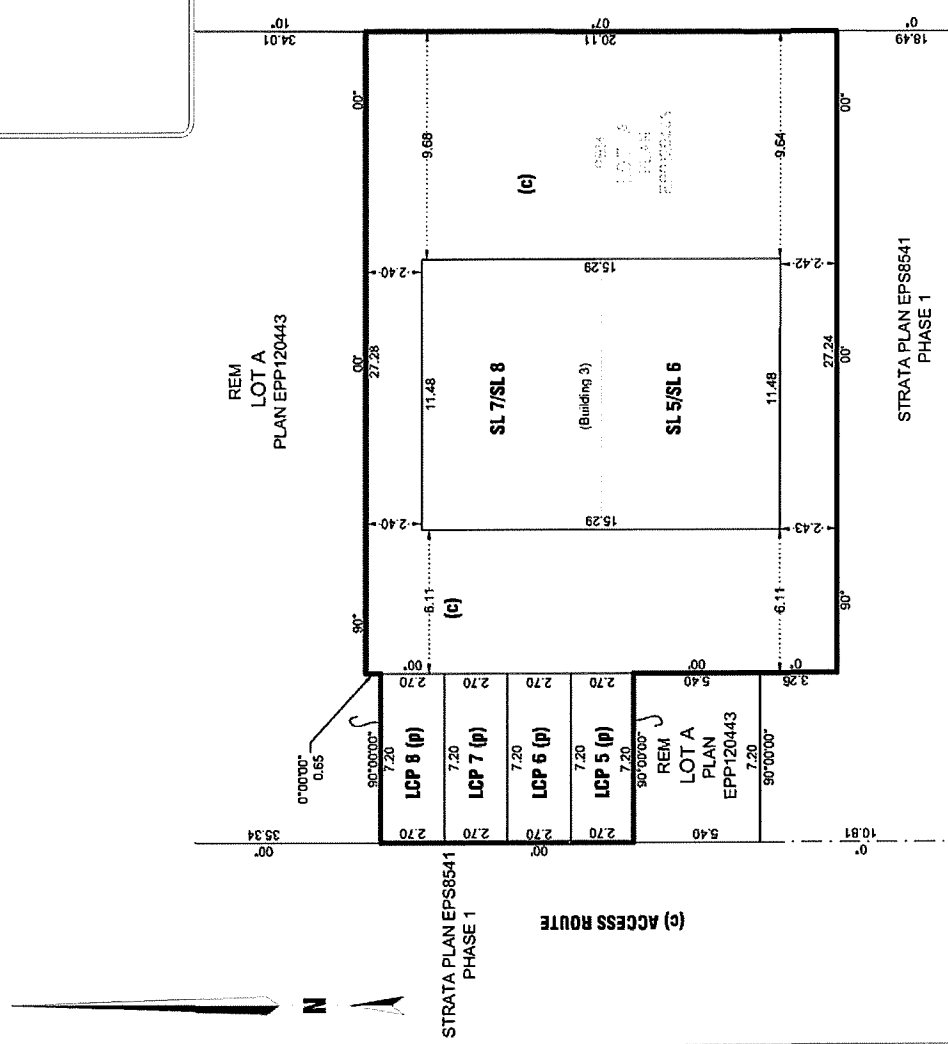
Surveyed : DRS/ JDR

Drawn: NDWI/VBK

Checked: EG/AB

**STRATA PLAN EPS8541  
(PHASE 2)**

Sheet 2 of 6



Adam Brash, BCLS #795  
December 20th, 2023

**BUILDING 3  
(STRATA LOTS 6 & 8)  
LOWER LEVEL**

BCGS : 82K.050

0 1 2 3 4 5 10 METRES

The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outmost edge of surface.

All LCP patios, balconies and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

**LEGEND:** SL denotes Strata Lot  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
(e) denotes Common Property  
m<sup>2</sup> denotes metres squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**

1022B 7th Avenue, Invermere, BC V0A 1K0  
PH: 250-409-5157 www.globalraymac.ca

Job No. : 22X0025

CAD FILE: 22X0025\_ST1\_PH2.DWG

Date: January 30th, 2024

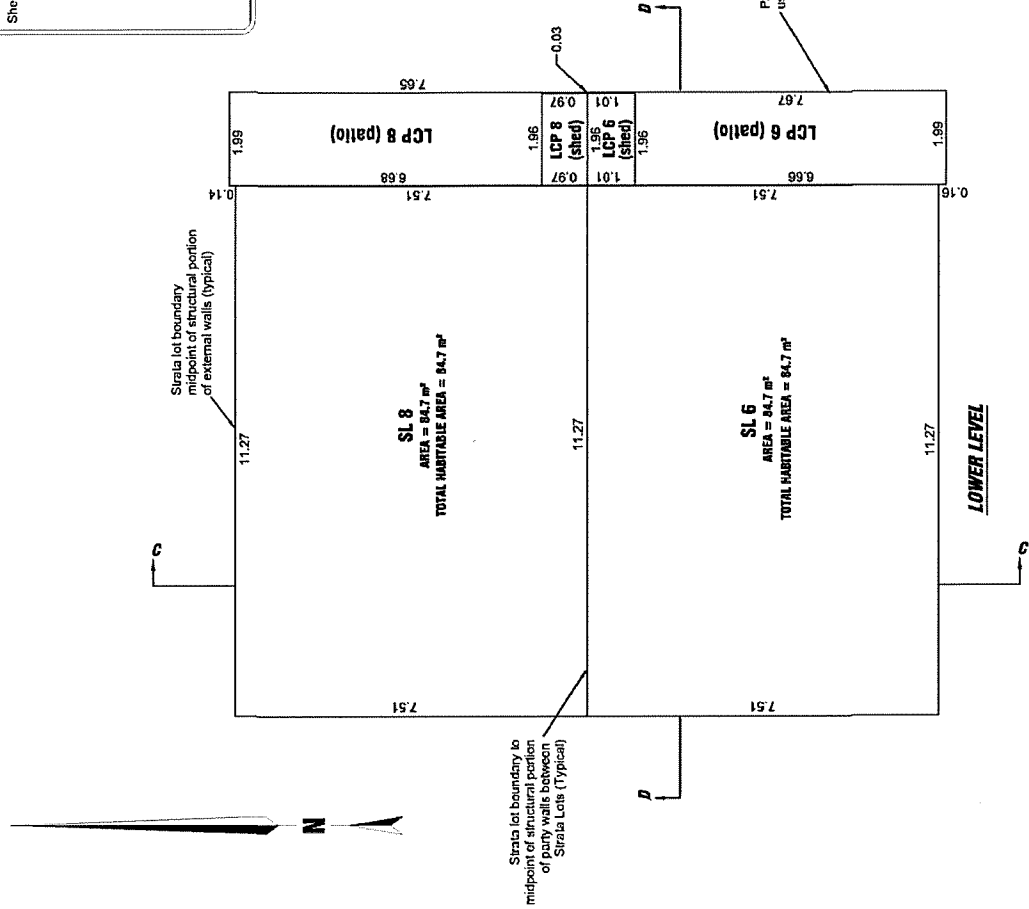
Surveyed : DRS/ JDR

Drawn: NDWI/VBK

Checked: EG/AB

**STRATA PLAN EPS8541  
(PHASE 2)**

Sheet 3 of 6



Adam Brash, BCLS #795  
December 20th, 2023



**BUILDING 3  
(STRATA LOTS 5 & 7)**  
MAIN FLOOR

BCGS : 82K.050

0 1 2 3 4 5 10 METRES



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, balconies and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

**LEGEND:** SL denotes Strata Lot  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
(c) denotes Common Property  
m<sup>2</sup> denotes meters squared

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1022B 7th Avenue, Invermere, BC V0A 1K0  
PH: 250.409.5157 www.globalraymac.ca

Job No. : 22X0025

CAD FILE: 22X0025\_ST1\_PH2.DWG

Date: January 30th, 2024

Surveyed: DRS/ JDR

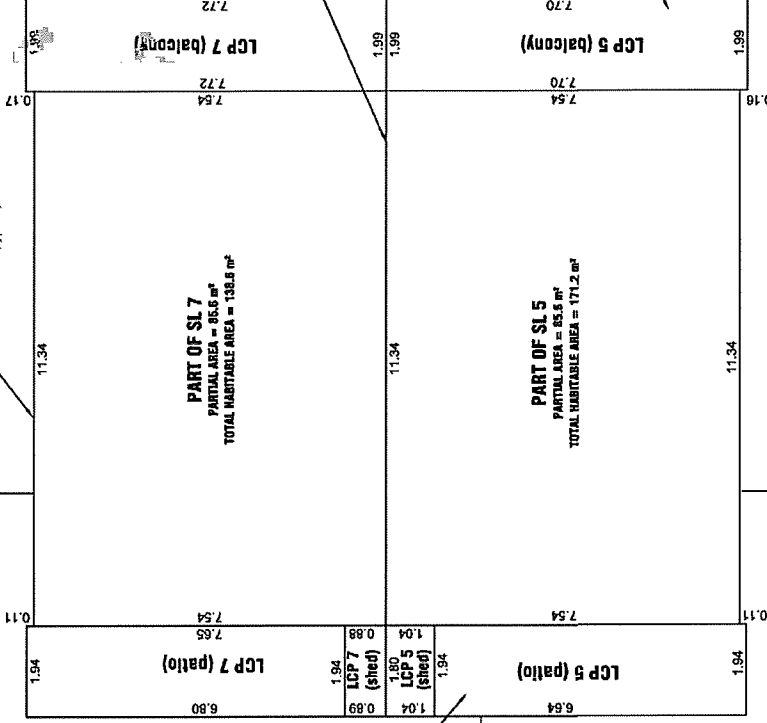
Drawn: NDWI/VBK

Checked: EGI/AB

**STRATA PLAN EPS8541  
(PHASE 2)**

Sheet 4 of 6

Strata lot boundary midpoint of structural portion of external walls (typical)



Strata lot boundary to midpoint of structural portion of party walls between Strata Lots (Typical)

Balcony LCP for exclusive use of SL (Typical)

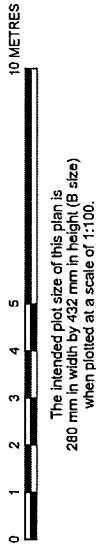
Patio LCP for exclusive use of SL (Typical)

**MAIN FLOOR**

Adam Brash, BCLS #795  
December 20th, 2023

**BUILDING 3  
(STRATA LOT 5 & 7)  
SECOND FLOOR**

BCGS : 82K.050



**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
 All LCP patios, balconies and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
 This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
 Section arrows on this plan point in the direction of view.

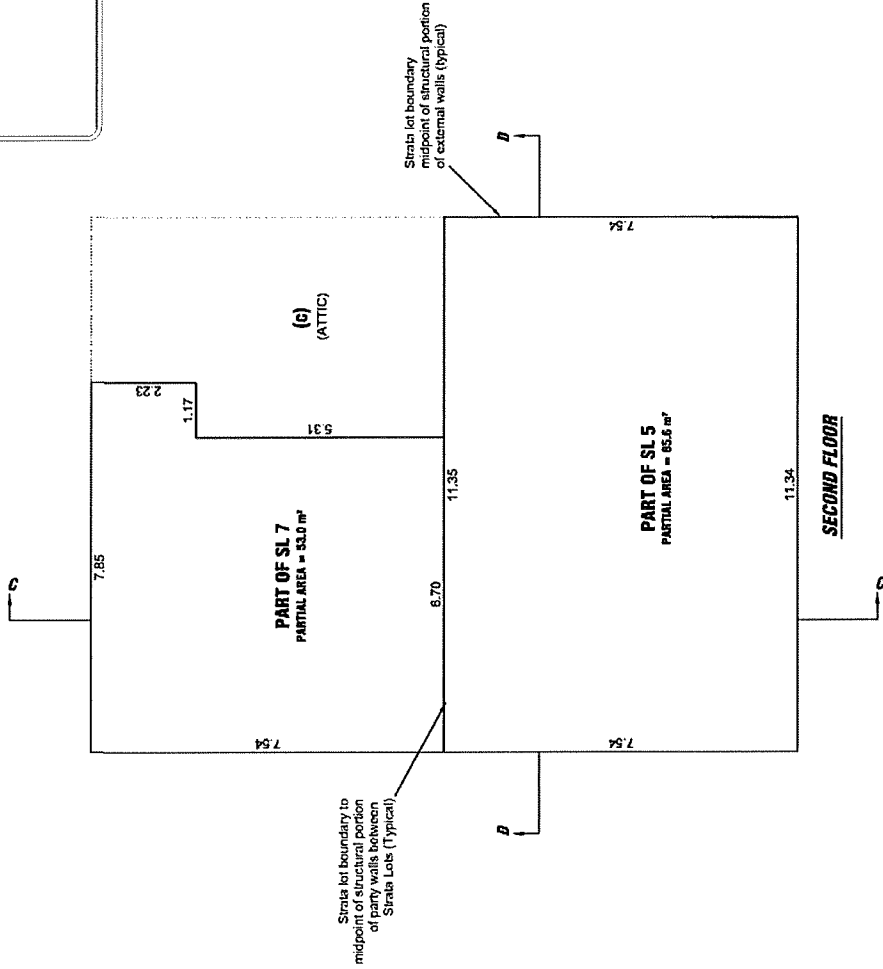
**LEGEND:**  
 SL denotes Strata Lot  
 LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
 (c) denotes Common Property  
 m<sup>2</sup> denotes meters squared

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Job No. : 22X0025  
 CAD FILE: 22X0025\_ST1\_PH2.DWG  
 Date: January 30th, 2024  
 Surveyed : DRS/JDR Drawn: NDW Checked: EG/AB

**STRATA PLAN EPS8541  
(PHASE 2)**

Sheet 5 of 6



Strata lot boundary to midpoint of structural portion of exterior walls (Typical)

Strata lot boundary midpoint of structural portion of exterior walls (Typical)

**BUILDING 3  
(STRATA LOTS 5 TO 8)  
CROSS SECTIONS**

BCGS : 82K.050

0 1 2 3 4 5 10 METRES



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
All LCP patios, balconies and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

**LEGEND:**  
SL denotes Strata Lot  
(c) denotes Common Property  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot

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Job No. : 221X0025

CAD FILE: 221X0025\_ST1\_PH2.DWG

Date: January 30th, 2024

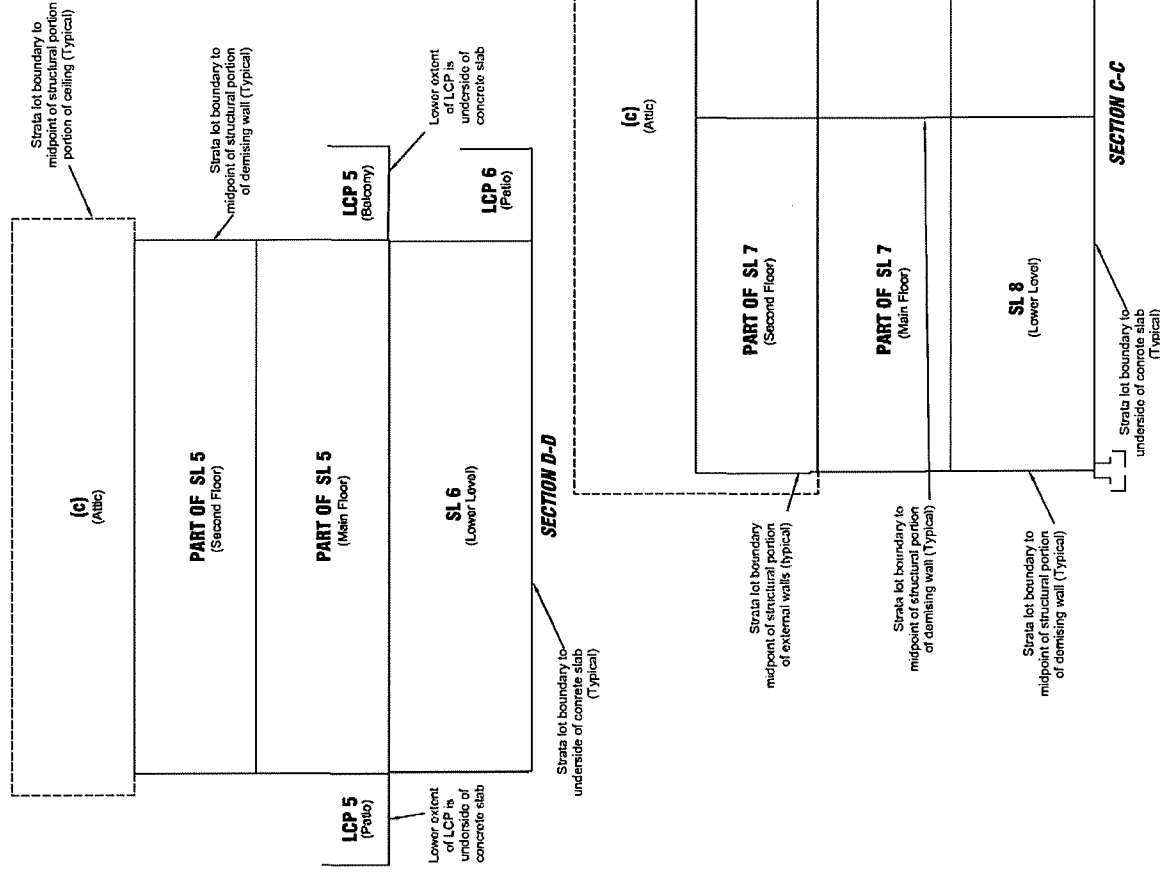
Surveyed : DRS/ JDR

Drawn: NDW/ VBK

Checked: EG/AB

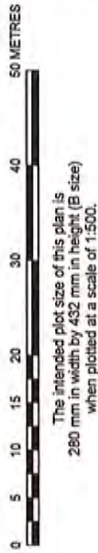
**STRATA PLAN EPS8541  
(PHASE 2)**

Sheet 6 of 6



Adam Bresh, BCLS #795  
December 20th, 2023

**PROPOSED STRATA PLAN OF PART OF LOT A  
DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN  
EPP120443**  
EAST KOOTENAY ASSESSMENT AUTHORITY  
BCGS : 82K.050



This plan lies within the Regional District of East Kootenay

**NOTES:**

This Plan is Phase 1 of a 6 phase strata plan under the Section 224 Strata Plan Property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.

Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

The UTM Coordinates and estimated absolute accuracy achieved are derived from GNSS Observations to the published coordinates of the Invermere Active Control Station Geodetic Control Monument 164418.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 (HT2\_0)).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on December 3rd, 2022.

21-070 Phase 1 Buildings 1-9 Site Data - Drafting View - OVERALL SITE PLAN 2022 Nov 28 OPT-3

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within external boundaries of the land that is subject to the strata plan.

All angles deflect by multiples of 45 or 90° unless otherwise indicated.

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Job No. : 22100025

CAD FILE : 220025\_ST1\_P11.DWG

Date : January 5th, 2023

Surveyed by : DRS

Drawn: NDW

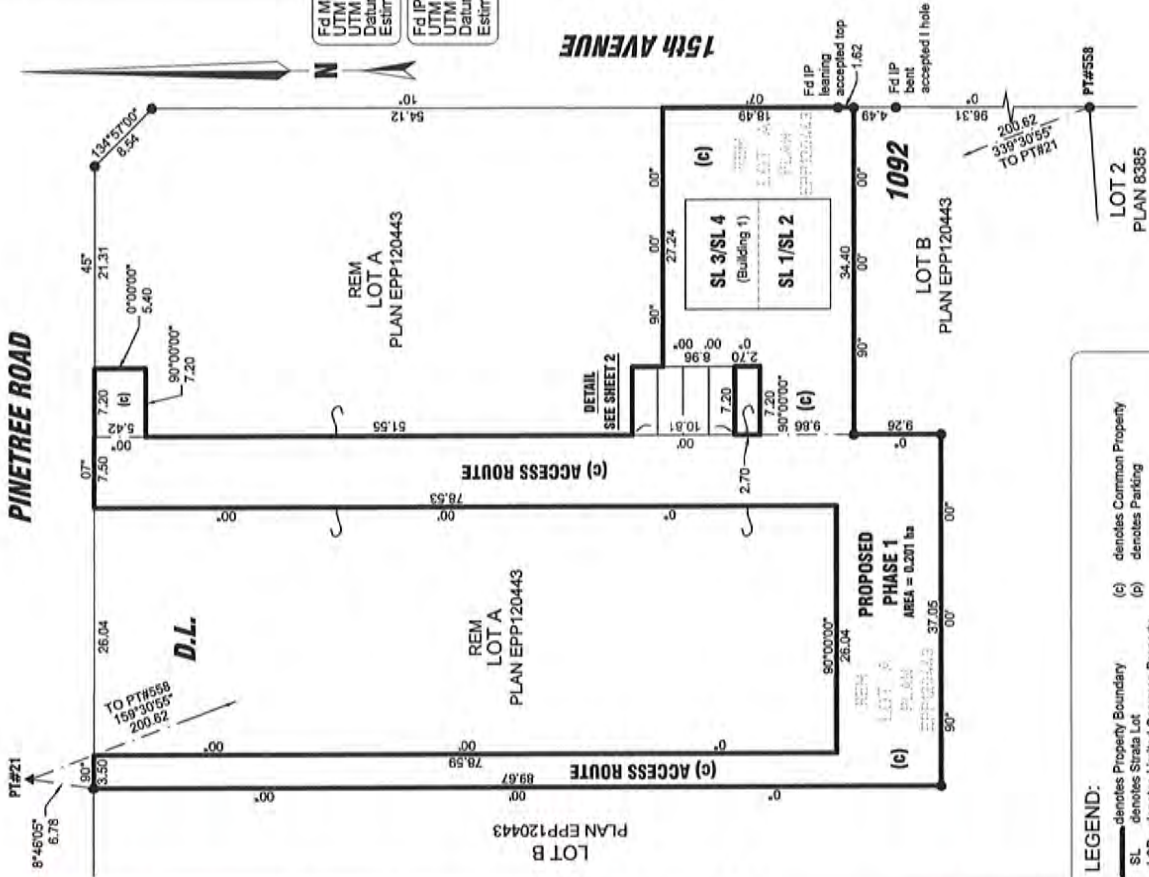
Checked: EG/AS

**STRATA PLAN EPS  
(PHASE 1) PRELIMINARY**

Sheet 1 of 5

Fd Mag Nail PT#21  
UTM Northing: 5594185.55  
UTM Easting: 567911.05  
Datum: NAD83(CSRS)4.0.0.BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.

Fd IP #558  
UTM Northing: 5593997.71  
UTM Easting: 567961.22  
Datum: NAD83(CSRS)4.0.0.BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.



**LEGEND:**

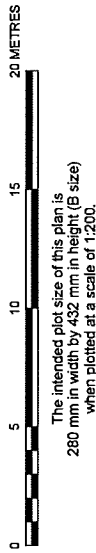
- denotes Property Boundary
- SL denotes Strata Lot
- LCP denotes Limited Common Property
- (c) denotes Common Property
- (p) denotes Parking

LOT 2  
PLAN 8385

**CIVIC ADDRESS:**  
2121 15th Avenue,  
Invermere, BC

# DETAIL OF FOUNDATION FOR BUILDING 1 (STRATA LOTS 1 TO 4)

BCGS : 82K.050



**NOTES:**  
 LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
 All LCP patios and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
 Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

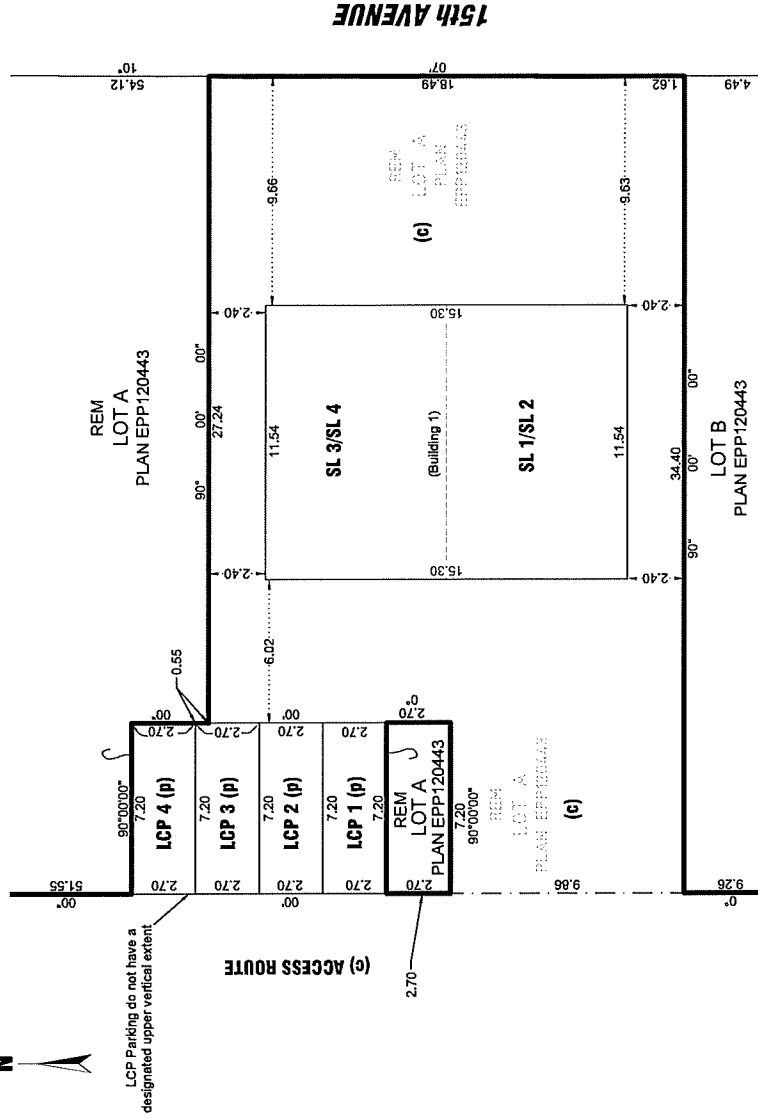
**LEGEND:**  
 denotes Limited Common Property  
 LCP for the Exclusive Use of Designated Strata Lot  
 (c) denotes Common Property  
 (p) denotes Parking

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Job No. : 22IX0025  
 CAD FILE: 22X0025\_STI\_PHL.DWG  
 Date: January 5th, 2023  
 Surveyed : DRS  
 Drawn: NDW  
 Checked: EG/AS

# STRATA PLAN EPS (PHASE 1) PRELIMINARY

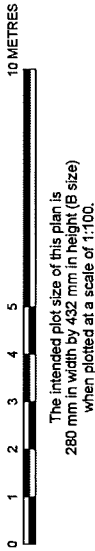
Sheet 2 of 5



Preliminary Plan Prepared  
 January 5th, 2023

**BUILDING 1  
(STRATA LOTS 2 & 4)  
LOWER LEVEL**

BCGS : 82K.050



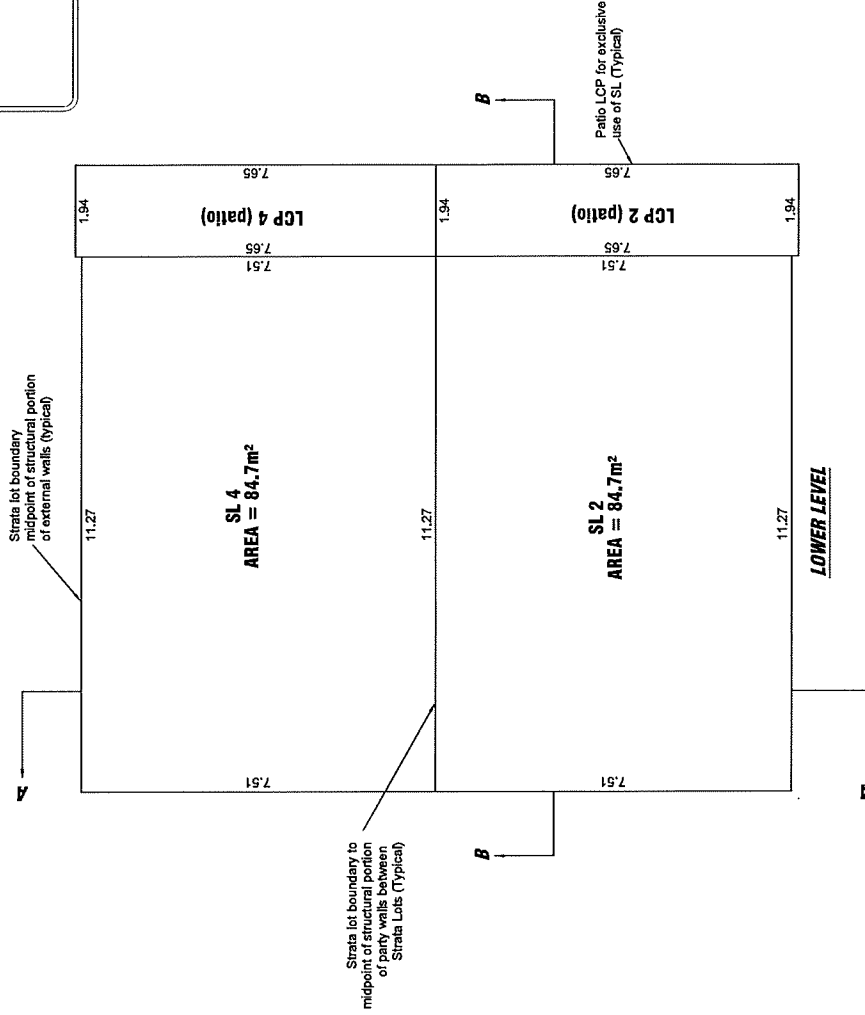
**NOTES:**  
LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
All LCP patios and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
Section View arrows on this plan point in the direction of view.

**LEGEND:**  
SL denotes Strata Lot  
SL denotes Limited Common Property  
LCP for the Exclusive Use of Designated Strata Lot  
(e) denotes Common Property  
m<sup>2</sup> denotes meters squared

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Job No. : 22IX0025  
CAD FILE: 22IX0025\_ST1\_P01.DWG  
Date: January 5th, 2023  
Surveyed : DRS  
Drawn: NDW  
Checked: EG/AB

**STRATA PLAN EPS  
(PHASE 1) PRELIMINARY**  
Sheet 3 of 5



**BUILDING 1**  
**(STRATA LOTS 1 & 3)**  
MAIN FLOOR

BCGS : 82K 050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**  
LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
All LCP patios and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
Section View arrows on this plan point in the direction of view.

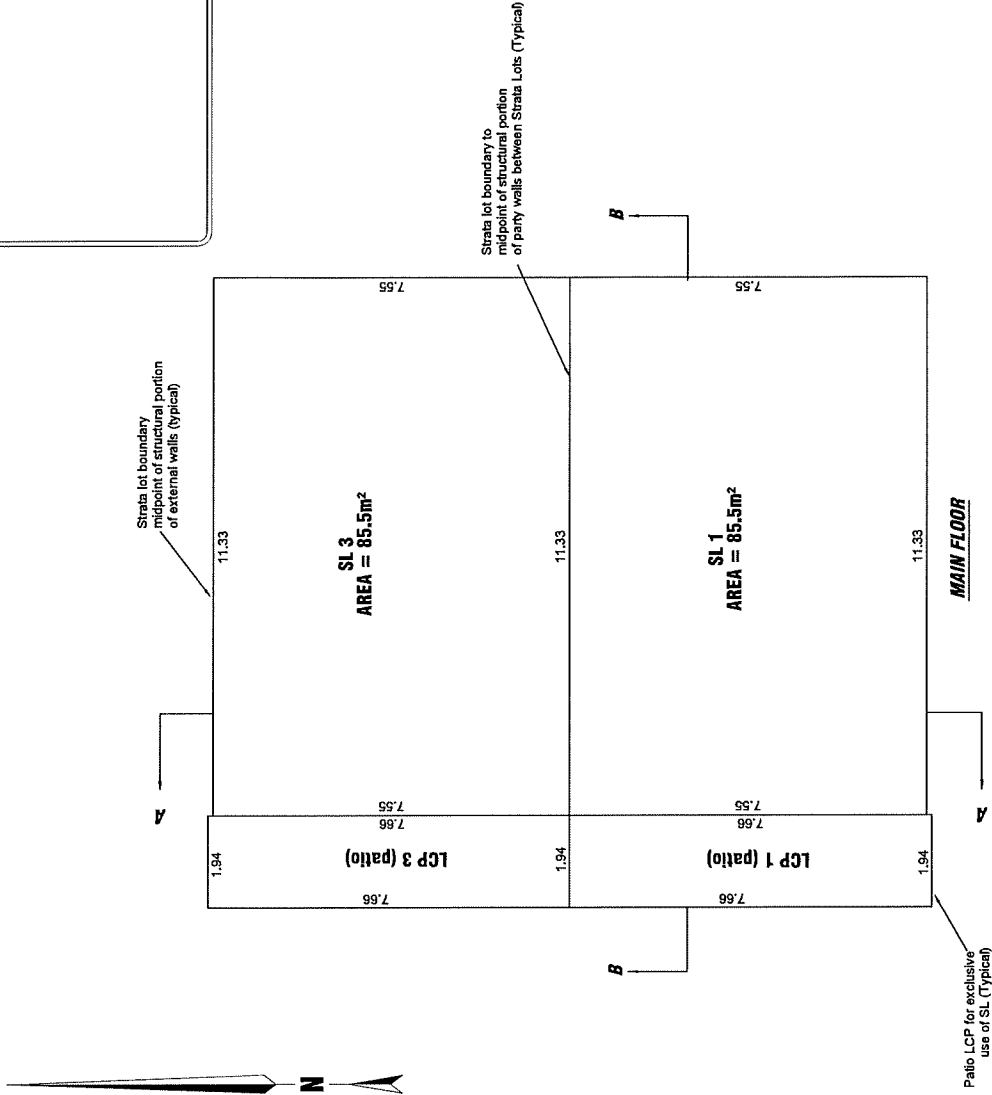
**LEGEND:** SL denotes Strata Lot  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
(e) denotes Common Property  
m<sup>2</sup> denotes meters squared

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Job No. : 22IX0025  
CAD FILE: 22X0025\_ST1\_PFI.DWG  
Date: January 5th, 2023  
Surveyed: DRS  
Drawn: NDW  
Checked: EG/AS

**STRATA PLAN EPS**  
**(PHASE 1) PRELIMINARY**

Sheet 4 of 5



Preliminary Plan Prepared  
January 5th, 2023

**BUILDING 1  
(STRATA LOTS 1 TO 4)  
CROSS SECTIONS**

BCGS : 82K.050



The intended plot size of this plan is  
280 mm in width by 432 mm in height (B size)  
when plotted at a scale of 1:100.

**NOTES:**  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls  
and the midpoint between the structural portions of party walls between Strata Lots.

**LEGEND:**

SL denotes Strata Lot  
(c) denotes Common Property

**GLOBAL RAYMAC LAND SURVEYING LTD.**

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Job No. : 22IX0025

CAD FILE: 22X0025\_ST1\_PHL.DWG

Date: January 5th, 2023

Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS  
(PHASE 1) PRELIMINARY**

Sheet 5 of 5

Strata lot boundary to  
midpoint of structural portion  
of ceiling (Typical)

Strata lot boundary to  
midpoint of structural portion  
of ceiling (Typical)

Lower extent of LCP is  
underside of concrete slab

Strata lot boundary to  
underside of concrete slab  
(Typical)

Strata lot boundary to  
midpoint of structural portion  
of ceiling (Typical)

Strata lot boundary to  
midpoint of structural portion  
of party walls between Strata Lots (Typical)

Strata lot boundary  
midpoint of structural portion  
of external walls (Typical)

Strata lot boundary to  
underside of concrete slab  
(Typical)

(c)  
(Attic)

SL 1  
(Main Floor)

SL 2  
(Lower Level)

**SECTION B-B**

(c)  
(Attic)

SL 1  
(Main Floor)

SL 2  
(Lower Level)

SL 3  
(Main Floor)

SL 4  
(Lower Level)

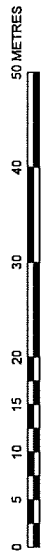
**SECTION A-A**

Preliminary Plan Prepared  
January 5th, 2023



**PROPOSED STRATA PLAN OF PART OF LOT A  
DISTRICT LOT 1092 KOOTENAY DISTRICT  
PLAN EPP120443**

EAST KOOTENAY ASSESSMENT AUTHORITY  
BCGS : 82K 050



The intended plot size of this plan is  
280 mm in width by 432 mm in height (B size)  
when plotted at a scale of 1:500.

This plan lies within the Regional District of East Kootenay

**NOTES:**

This Plan is Phase 2 of a 8 phase strata plan under the Section 224 Strata Plan Property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.

Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CSV028 (HT2\_D)).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on December 31st, 2022;

21-070 Phase 1 Buildings 1-9 Site Data - Drafting View - OVERALL SITE PLAN 2022 Nov 28 OPT-3

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surfaces.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within external boundaries of the land that is subject to the strata plan.

All angles deflected by multiples of 45° or 90° unless otherwise indicated.

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Job No. : 22IX0025

CAD FILE: 22IX0025\_ST1\_Phd.DWG

Date: January 5th, 2023

Surveyed : DBS

Drawn: NDW

Checked: EG/AB

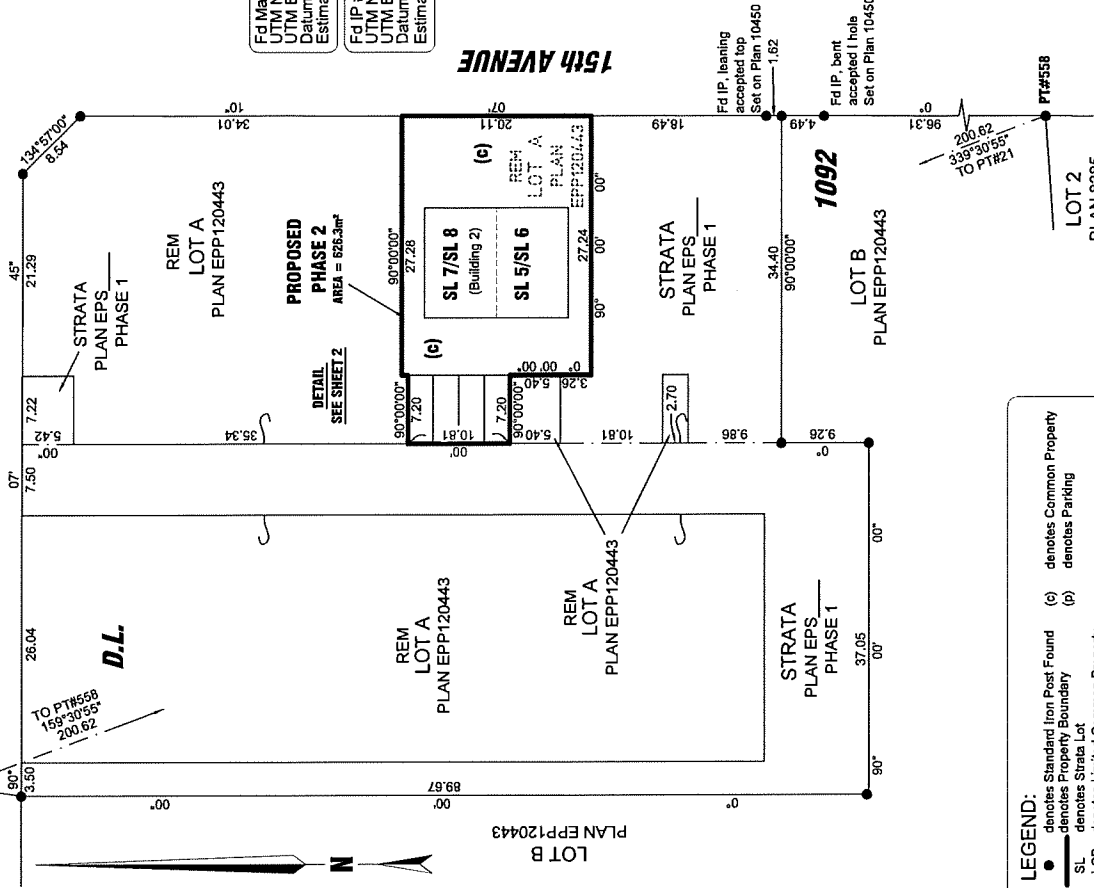
**CIVIC ADDRESS:**  
2121 15th Avenue,  
Invermere, BC

**STRATA PLAN EPS  
(PHASE 2) PRELIMINARY**

Sheet 1 of 6

**PINETREE ROAD**

PT#21  
8°46'05" 6.78  
90°  
3.50  
TO PT#558  
158°30'55" 200.62



**15th AVENUE**

Fd Mag Nail PT#21  
UTM Northing: 5594185.55  
UTM Easting: 567911.05  
Datum: NAD83(CRS)4.0.0.BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.

Fd IP #558  
UTM Northing: 5593997.71  
UTM Easting: 567981.22  
Datum: NAD83(CRS)4.0.0.BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.

**LEGEND:**  
● denotes Standard Iron Post Found (c) denotes Common Property  
○ denotes Property Boundary (p) denotes Parking  
SL denotes Strata Lot  
LCP denotes Limited Common Property

# DETAIL OF FOUNDATION FOR BUILDING 1 (STRATA LOTS 5 TO 8)

BCGS : 82K 050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:200.

### NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

### LEGEND:

denotes Limited Common Property  
LCP for the Exclusive Use of Designated Strata Lot (p) denotes Parking  
(c) denotes Common Property

## GLOBAL RAYMAC LAND SURVEYING LTD.

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Job No.: 221X0025

CAD FILE: 22X0025\_ST1\_P142.DWG

Date: January 5th, 2023

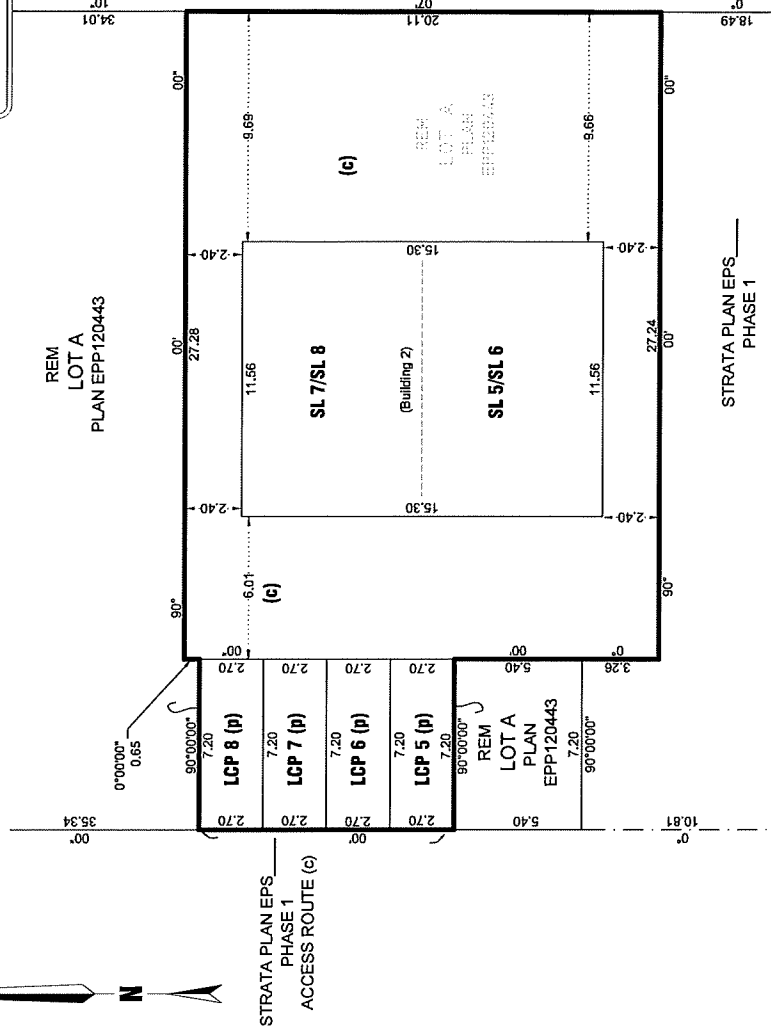
Surveyed by: DRS

Drawn: NDW

Checked: EG/AB

# STRATA PLAN EPS (PHASE 2) PRELIMINARY

Sheet 2 of 6



Preliminary Plan Prepared  
January 5th, 2023

**BUILDING 2  
(STRATA LOTS 6 & 8)  
LOWER LEVEL**

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:200.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

**LEGEND:** SL denotes Strata Lot  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
(c) denotes Common Property  
m<sup>2</sup> denotes meters squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**

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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAO FILE: 220005\_ST1\_P42.DWG

Date: January 5th, 2023

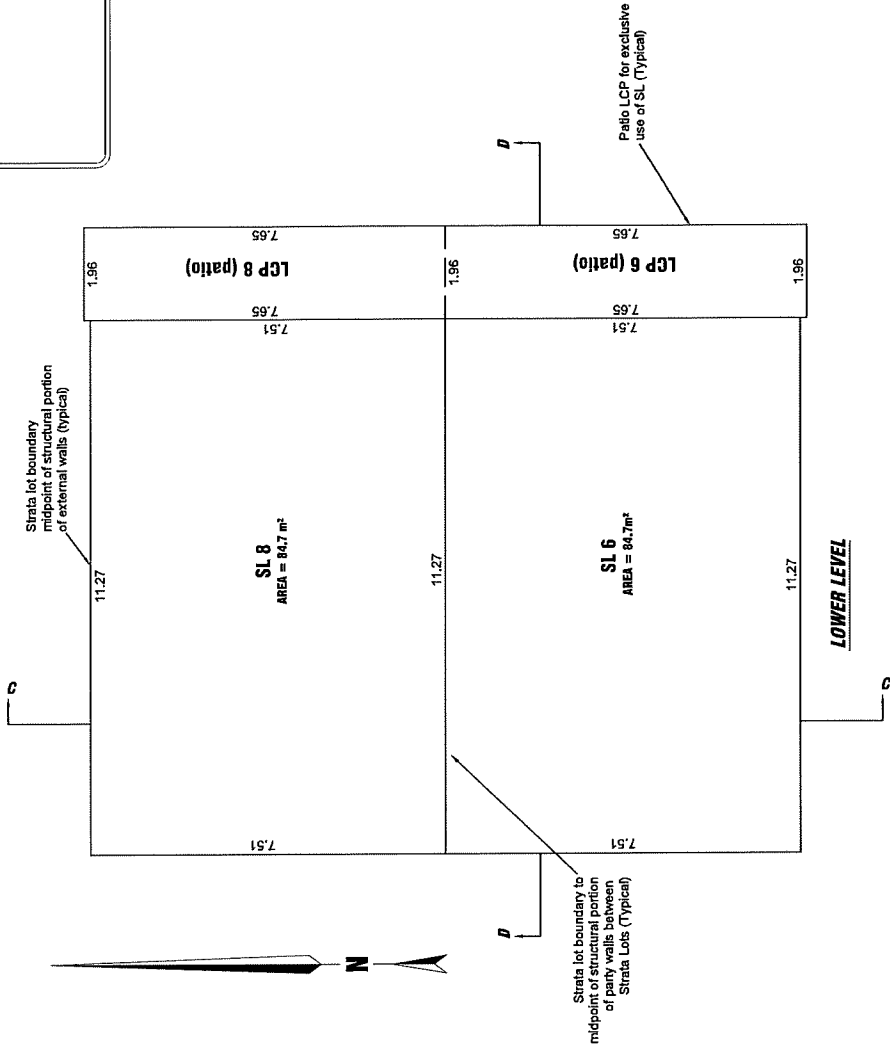
Surveyed: DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS  
(PHASE 2) PRELIMINARY**

Sheet 3 of 6



Preliminary Plan Prepared  
January 5th, 2023

**BUILDING 2  
(STRATA LOTS 5 & 7)**  
MAIN FLOOR

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

**LEGEND:** SL denotes Strata Lot  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
(c) denotes Common Property  
m<sup>2</sup> denotes meters squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
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Job No. : 22IX0025

CAD FILE: 22IX0025\_ST1\_PHD.DWG

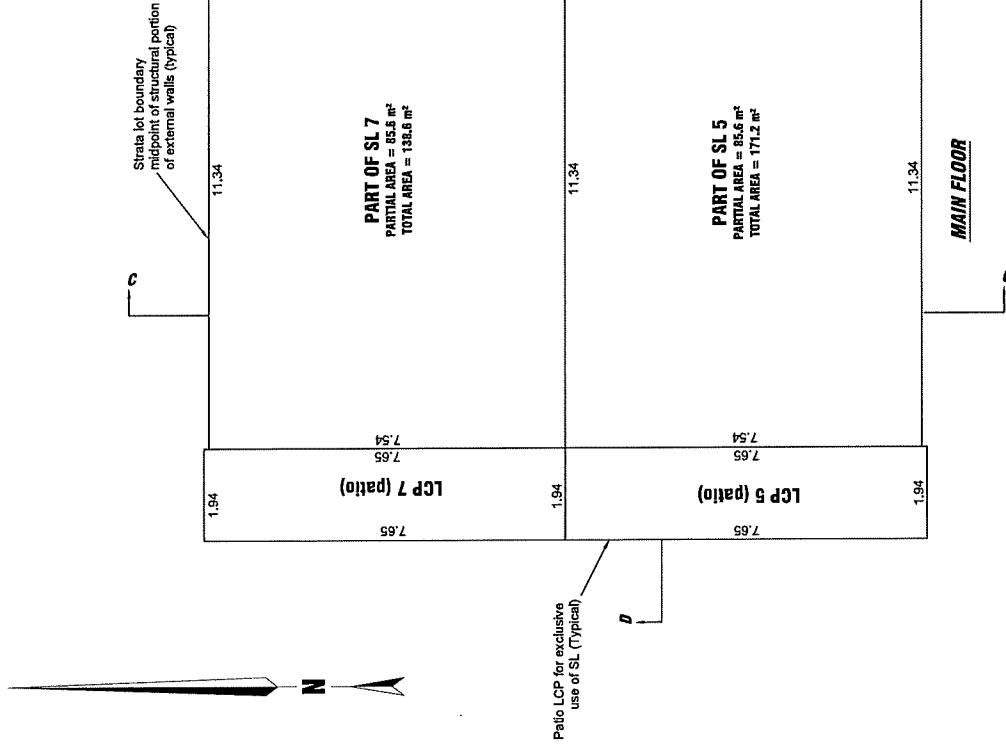
Date: January 5th, 2023

Surveyed: DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS  
(PHASE 2) PRELIMINARY**  
Sheet 4 of 6



**BUILDING 2  
(STRATA LOT 5 & 7)  
SECOND FLOOR**

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

**LEGEND:**

- SL denotes Strata Lot
- LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
- (c) denotes Common Property
- m<sup>2</sup> denotes meters squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**

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Job No. : 220X0025

CAD FILE : 220X0025\_ST1\_P42.DWG

Date: January 5th, 2023

Surveyed : DRS

Drawn: NDW

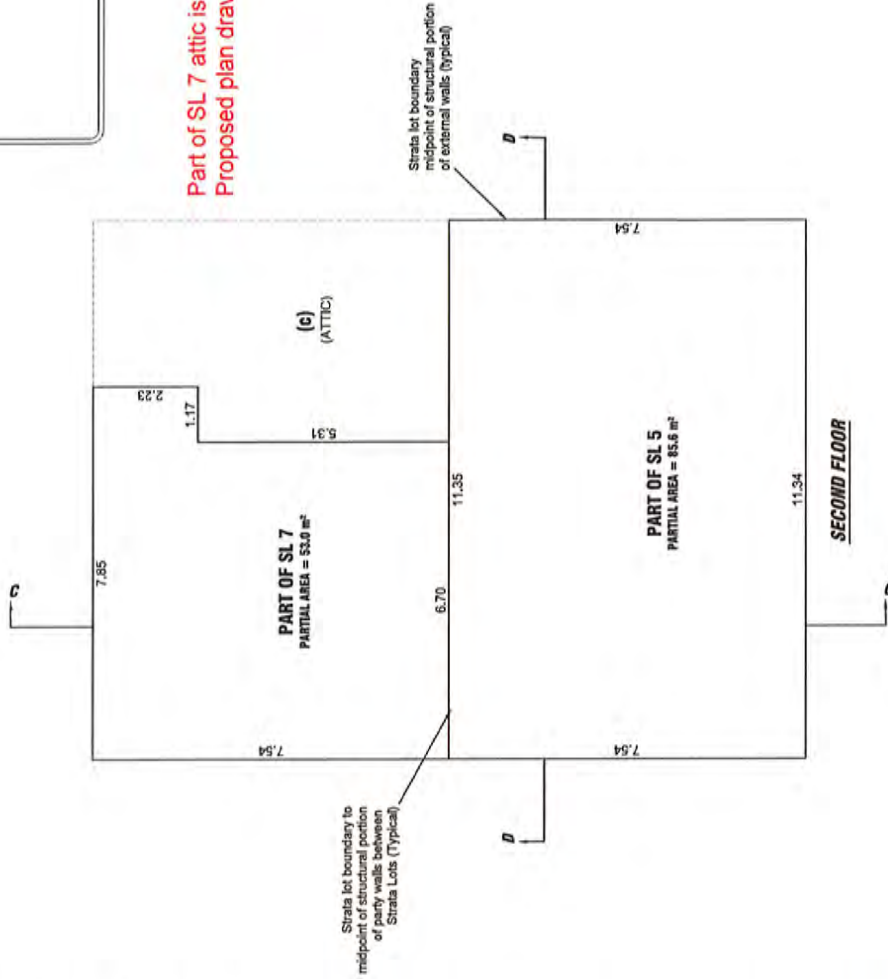
Checked: EG/AB

**STRATA PLAN EPS  
(PHASE 2) PRELIMINARY**

Sheet 5 of 6



Part of SL 7 attic is reversed.  
Proposed plan drawing is incorrect



Strata lot boundary to midpoint of external portion of party walls between Strata Lots (Typical)

Strata lot boundary midpoint of structural portion of external walls (Typical)

**BUILDING 2  
(STRATA LOTS 5 TO 8)  
CROSS SECTIONS**

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

**LEGEND:**

SL denotes Strata Lot  
(c) denotes Common Property

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Job No. : 22IX0025

CAD FILE: 22X0025\_ST1\_Phd.DWG

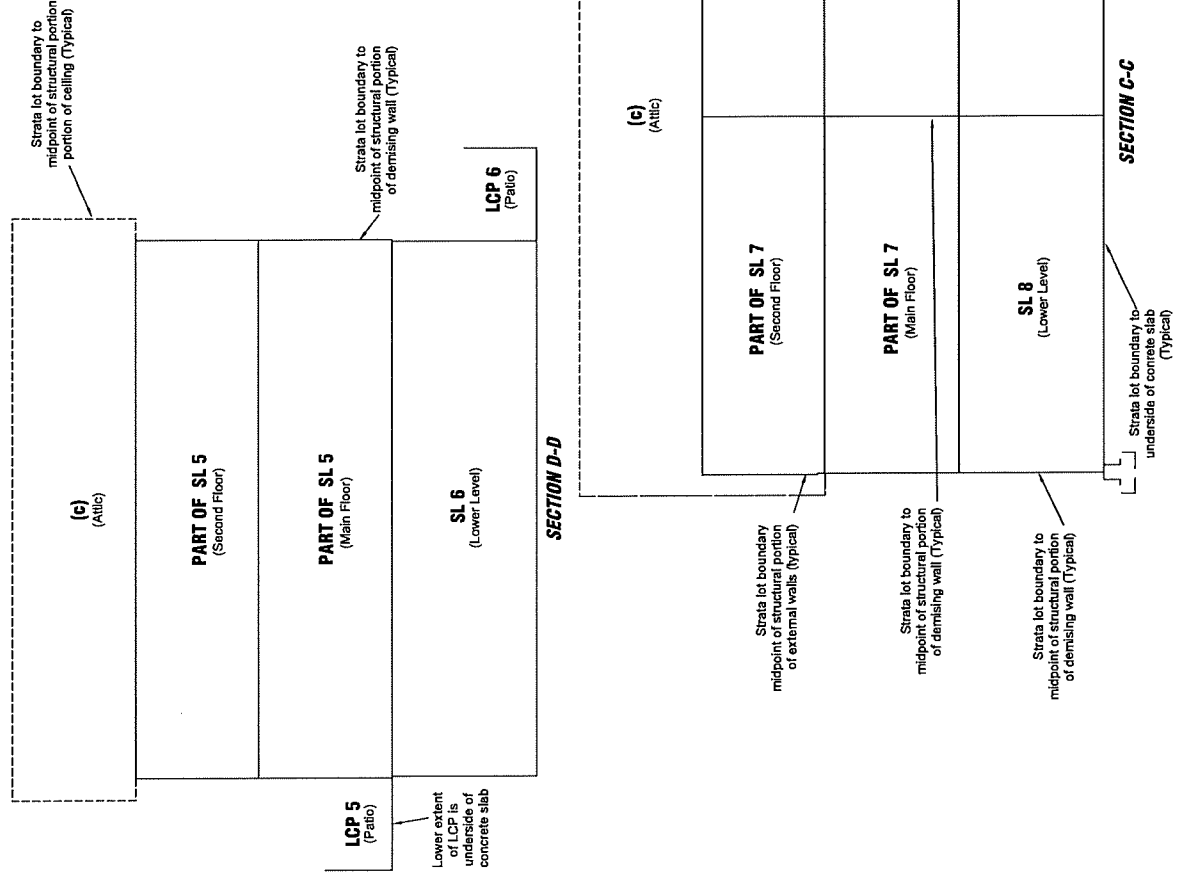
Date: January 5th, 2023

Surveyed : DRS

Drawn: NDW

Checked: EG/AS

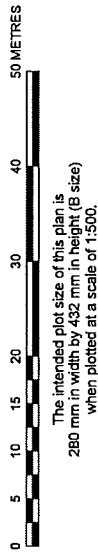
**STRATA PLAN EPS  
(PHASE 2) PRELIMINARY**  
Sheet 6 of 6



Preliminary Plan Prepared  
January 5th, 2023

**PROPOSED STRATA PLAN OF PART OF LOT A  
DISTRICT LOT 1092 KOOTENAY DISTRICT  
PLAN EPP120443**

EAST KOOTENAY ASSESSMENT AUTHORITY  
BCGS : 82K 050



This plan lies within the Regional District of East Kootenay

**NOTES:**

This Plan is Phase 3 of a 8 phase strata plan under the Section 224 Strata Plan Property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.  
Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 HT2.0).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on December 3rd, 2022.  
21-070 Phase 1 Buildings 1-9 Site Data - Drafting View - OVERALL SITE PLAN 2022 Nov 28 OPT-3

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within external boundaries of the land that is subject to the strata plan.

All angles deflected by multiples of 45° or 90° unless otherwise indicated.

**GLOBAL RAYMAC LAND SURVEYING LTD.**

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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 221X0025

CAD FILE: 2201005\_ST1\_PHL.DWG

Date: March 21st, 2023

Surveyed by: DRS

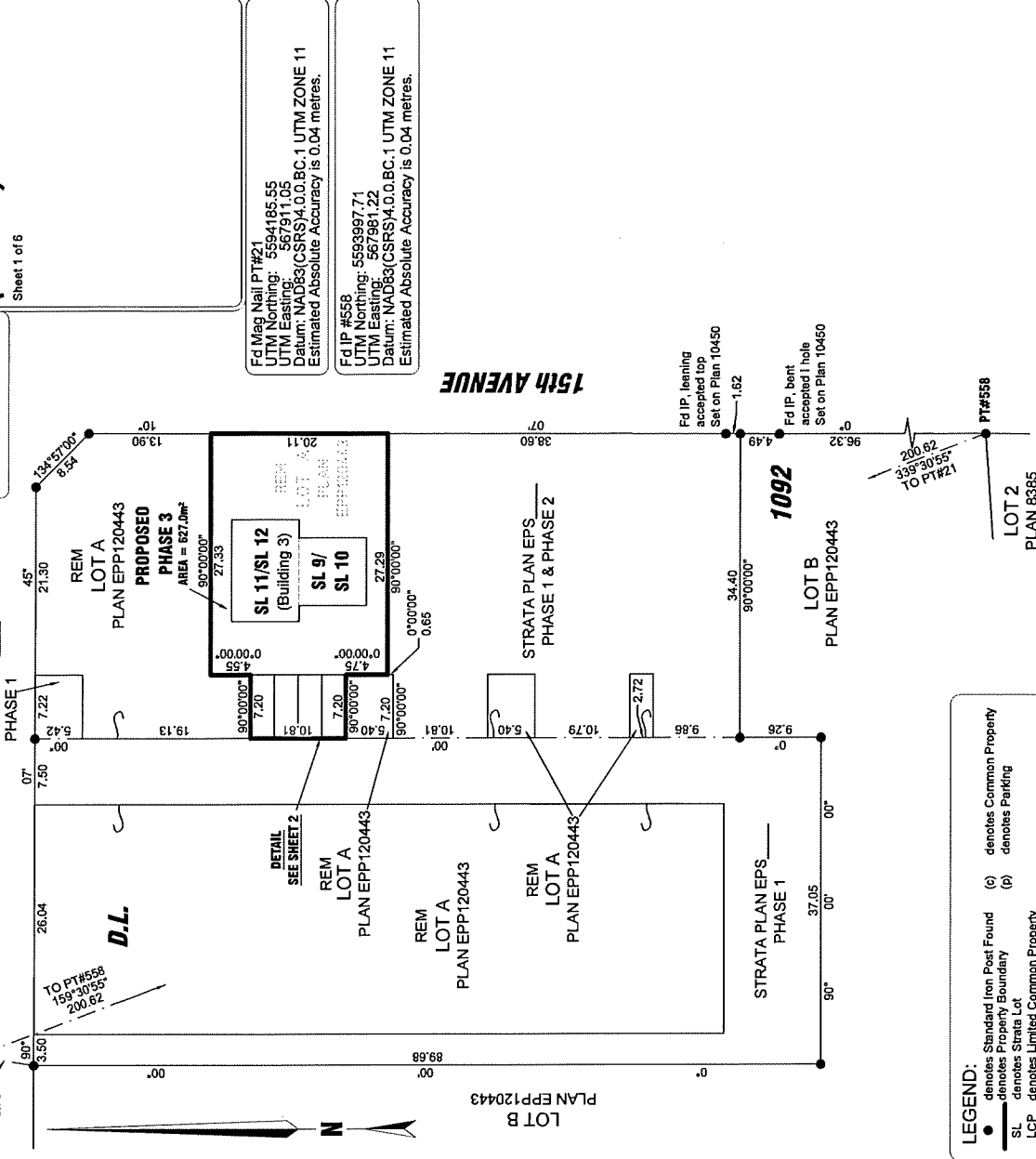
Drawn: NDW

Checked: EG/AB

**PINETREE ROAD**  
STRATA PLAN EPS  
PHASE 1

CIVIC ADDRESS:  
2121 15th Avenue,  
Invermere, BC

**STRATA PLAN EPS  
(PHASE 3) PRELIMINARY**  
Sheet 1 of 6



Fd Mag Nail PT#21  
UTM Northing: 5594185.55  
UTM Easting: 567911.05  
Datum: NAD83(CRS)4.0.0.BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.

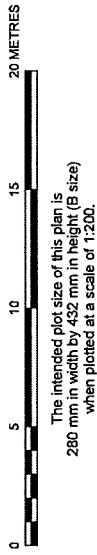
Fd IP #558  
UTM Northing: 5593997.71  
UTM Easting: 567981.22  
Datum: NAD83(CRS)4.0.0.BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.

**LEGEND:**  
● denotes Standard Iron Post Found (c) denotes Common Property  
— denotes Property Boundary (p) denotes Parking  
SL denotes Strata Lot  
LCP denotes Limited Common Property

**STRATA PLAN EPS  
(PHASE 3) PRELIMINARY**  
Sheet 2 of 6

**DETAIL OF FOUNDATION FOR BUILDING 3  
(STRATA LOTS 9 TO 12)**

BCGS : 82K.050



**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

**LEGEND:**

denotes Limited Common Property  
LCP for the Exclusive Use of Designated Strata Lot (p) denotes Parking  
(c) denotes Common Property

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1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 221X0025

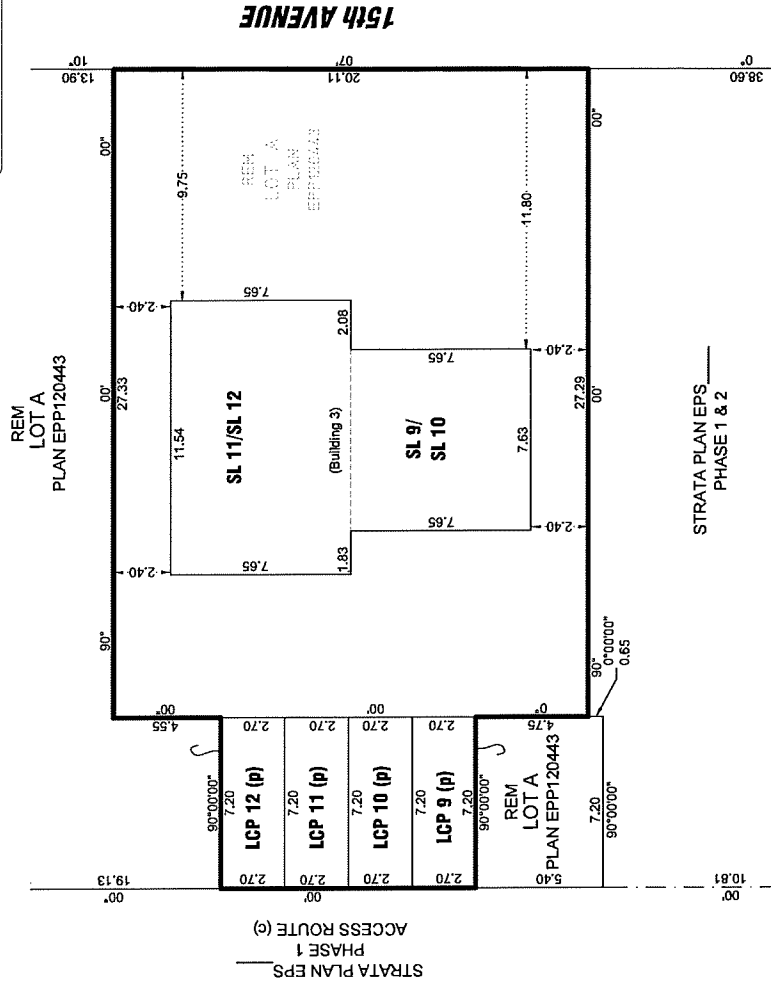
CAD FILE: 22X0025\_ST1\_PHL.DWG

Date: March 21st, 2023

Surveyed by: DBS

Drawn: NDW

Checked: EG/AB



Preliminary Plan Prepared  
March 21st, 2023



**BUILDING 3  
(STRATA LOTS 10 & 12)  
LOWER LEVEL**

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
Section arrows on this plan point in the direction of view.

**LEGEND:**

- SL denotes Strata Lot
- LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
- (c) denotes Common Property
- m<sup>2</sup> denotes meters squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
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Ph: 250.409.5157 [www.globalraymac.ca](http://www.globalraymac.ca)

Job No. : 22IX0025

CAD FILE : 22IX0025\_ST1\_PHD.DWG

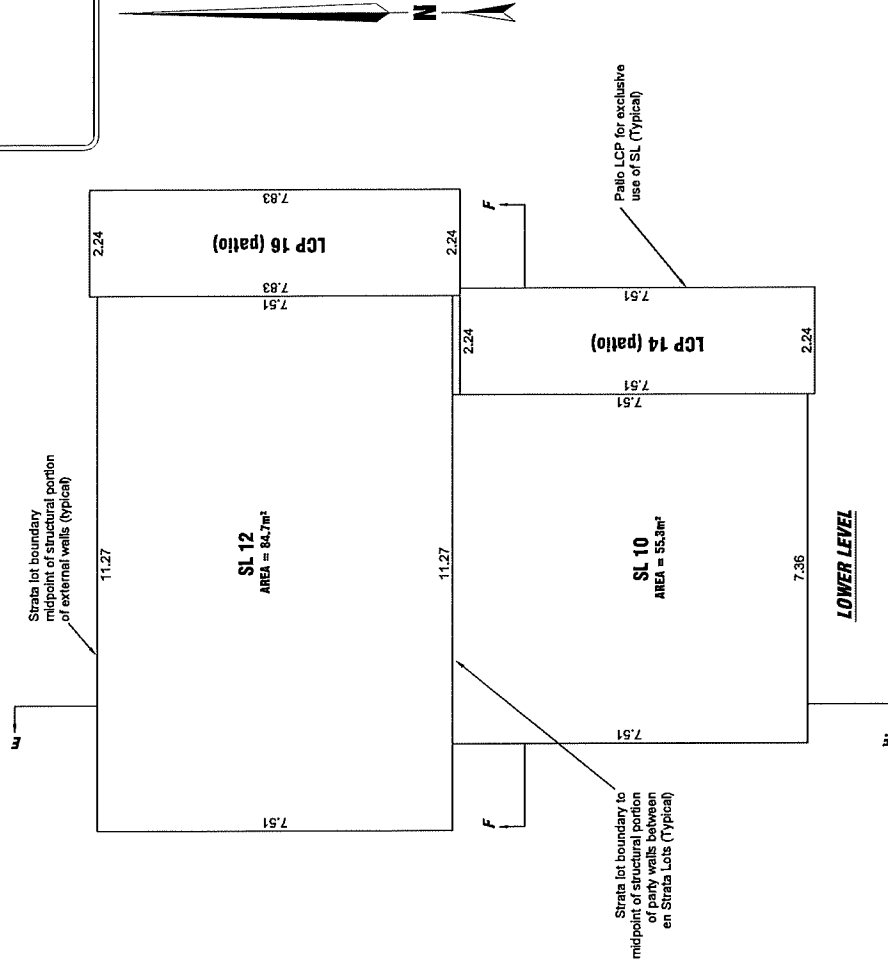
Date: March 21st, 2023

Surveyed by: DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS  
(PHASE 3) PRELIMINARY**  
Sheet 3 of 6



Preliminary Plan Prepared  
March 21st, 2023

**BUILDING 3  
(STRATA LOTS 9 & 11)**  
MAIN FLOOR

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**  
LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
Section arrows on this plan point in the direction of view.

**LEGEND:** SL denotes Strata Lot  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
(c) denotes Common Property  
mt denotes meters squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025\_ST1\_Phd.DWG

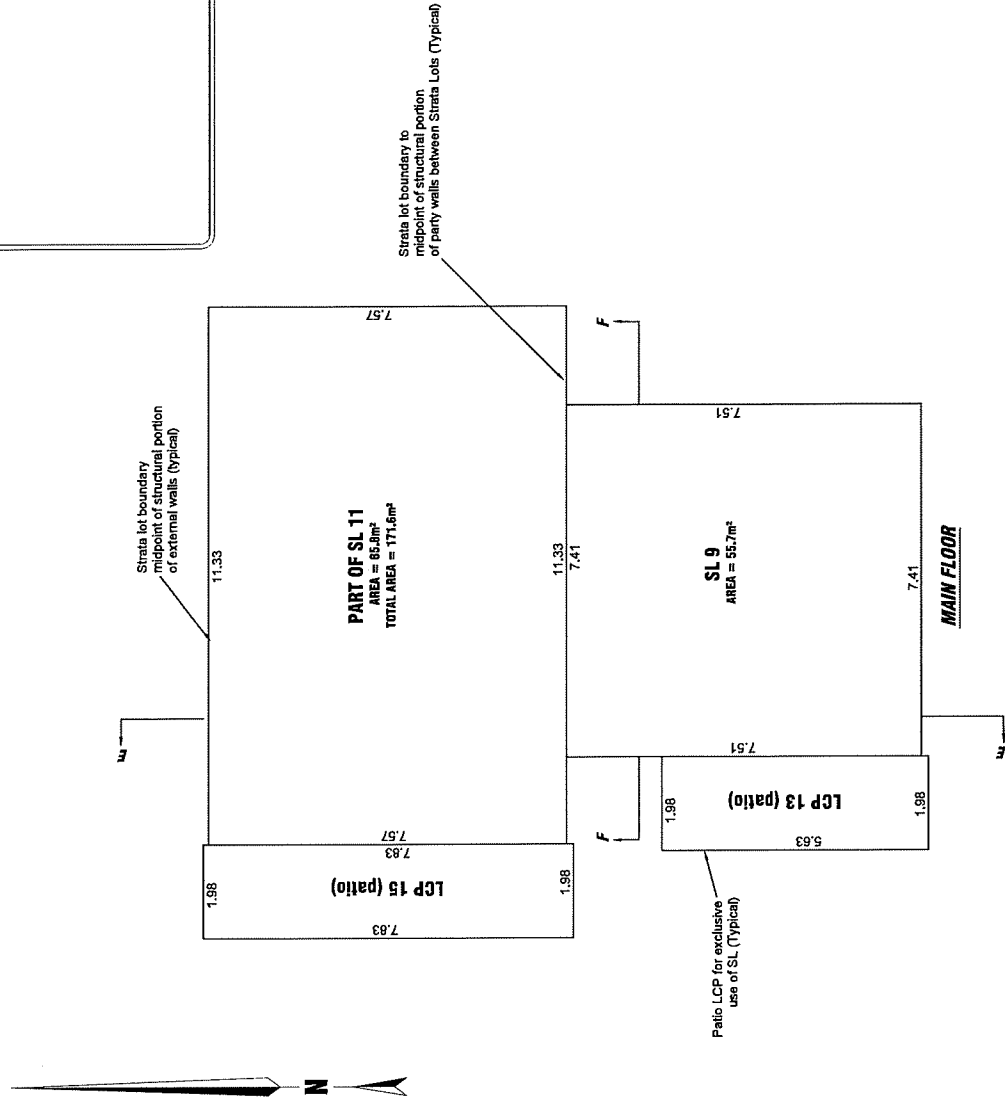
Date: March 21st, 2023

Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS  
(PHASE 3) PRELIMINARY**  
Sheet 4 of 6



Preliminary Plan Prepared  
March 21st, 2023

**BUILDING 3  
(STRATA LOT 11)  
SECOND FLOOR**

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
Section arrows on this plan point in the direction of view.

**LEGEND:**

SL denotes Strata Lot  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
(c) denotes Common Property  
m<sup>2</sup> denotes meters squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025\_ST1\_PHL.DWG

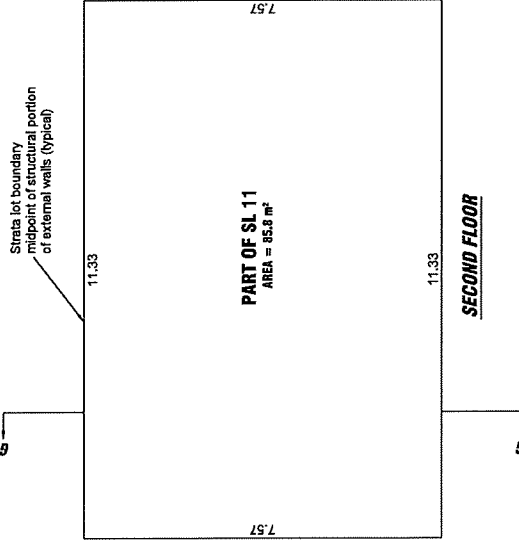
Date: March 21st, 2023

Surveyed : DRS

Drawn: NDW

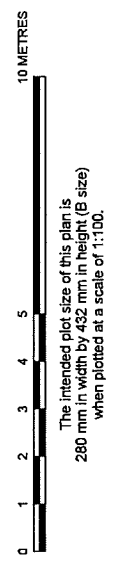
Checked: EG/AB

**STRATA PLAN EPS  
(PHASE 3) PRELIMINARY**  
Sheet 5 of 6



**BUILDING 3  
(STRATA LOTS 9 TO 12)  
CROSS SECTIONS**

BCGS : 82K.050



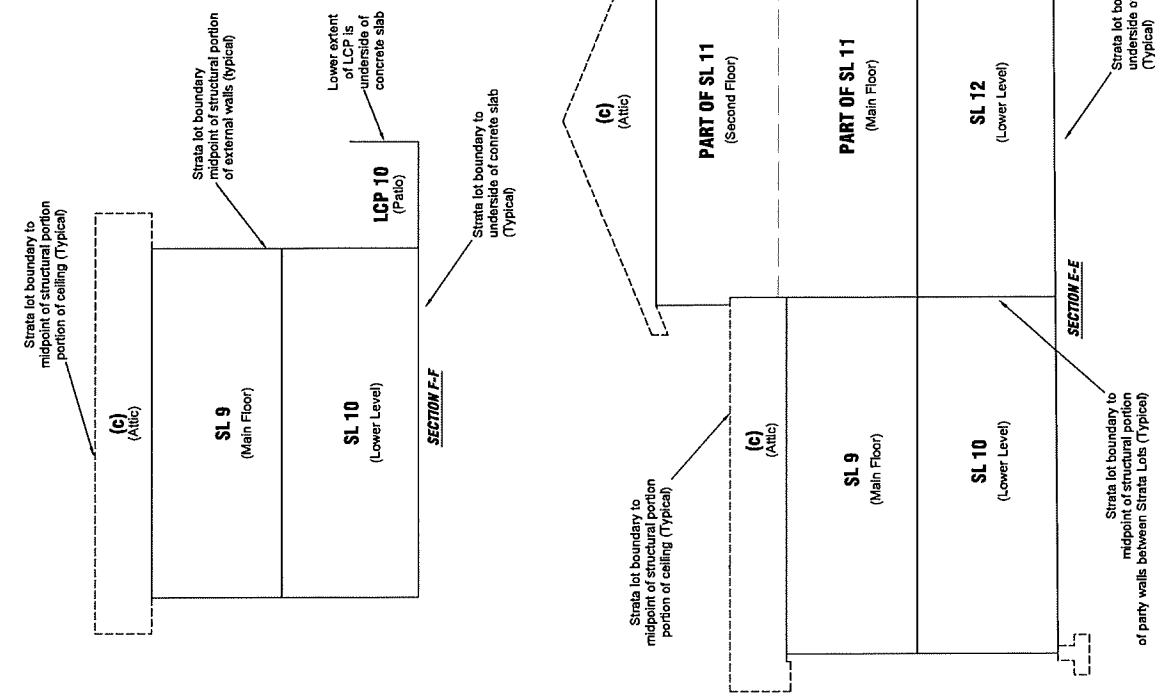
**NOTES:**  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

**LEGEND:**  
SL denotes Strata Lot  
(c) denotes Common Property

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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025	Checked: EG/AB
CAD FILE: 22X0025_ST1_PHS.DWG	Drawn: NDW
Date: March 21st, 2023	Surveyed: DRS

**STRATA PLAN EPS  
(PHASE 3) PRELIMINARY**  
Sheet 6 of 6



Preliminary Plan Prepared  
March 21st, 2023



**DETAIL OF FOUNDATION FOR BUILDING 4  
(STRATA LOTS 13 TO 16)**

BCGS : 82K.050



The interlock plot size of this plan is:  
280 mm in width by 432 mm in height (B size)  
when plotted at a scale of 1:200.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP walls, doors and openings are defined as to height by the centre of the floor above or its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

Deductions to property lines are perpendicular (Revised) and are evaluated in the exterior face of the building foundation walls.

**LEGEND:**

denotes Limited Common Property (p) denotes Parking  
LCP for the Exclusive Use of Designated Strata Lot (e)  
(d) denotes Common Property

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Ph: 250 409 5157 www.globalraymac.ca

Job No: 22030025

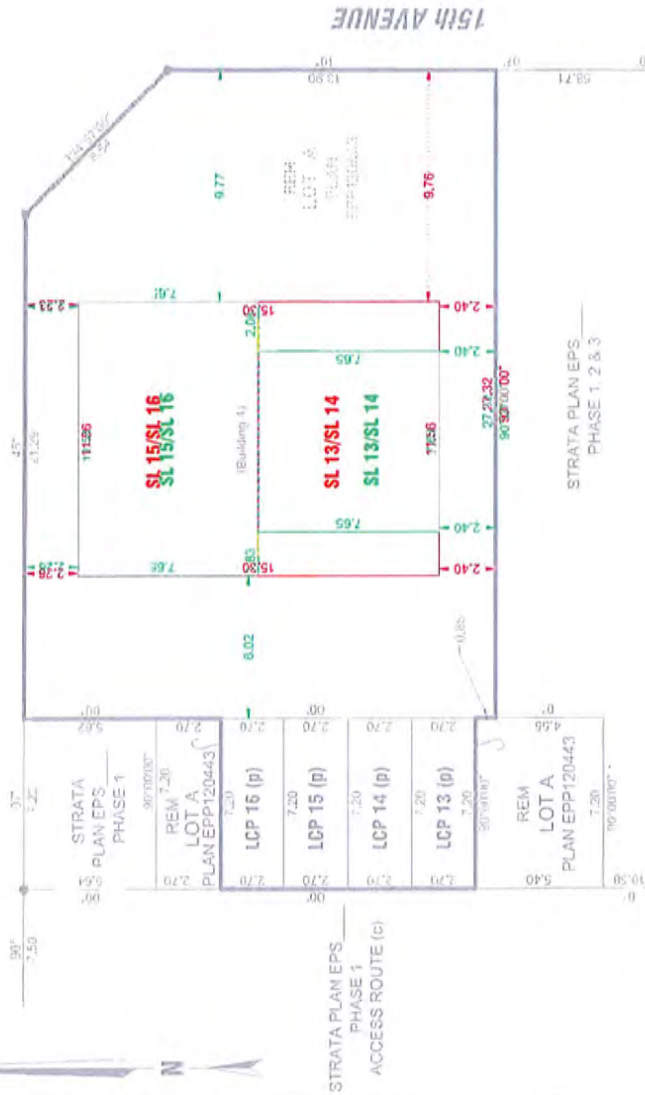
CAD FILE: 220025\_STR\_194.dwg

Date: **Monday 4th, 2025**

Surveyor: DRS | Drawn: TDV | Checked: EGAR

**STRATA PLAN EPS  
(PHASE 4) PRELIMINARY**  
Sheet 2 of 5

**PINETREE ROAD**



**15th AVENUE**

**BUILDING 4  
(STRATA LOTS 14 AND 16)  
LOWER LEVEL**

BCGS : 82K.050



This reference plot size of this plan is 200 mm in width by 432 mm in height (B size) when plotted at a scale of 1:200.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP areas, decks and parking are defined as to height by the centre of the floor above or its extension; or where there is no floor above, by the average height of a strata lot within the same building unit(s) otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

**LEGEND:** SL denotes Strata Lot  
denotes Limited Common Property  
LCP for the Exclusive Use of Designated Strata Lot  
(E) denotes Common Property  
m denotes meters squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
10228 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22100025

CAD FILE : 2210025\_STL\_P44.DWG

Drawn: **Mandi Fitch**, 2023

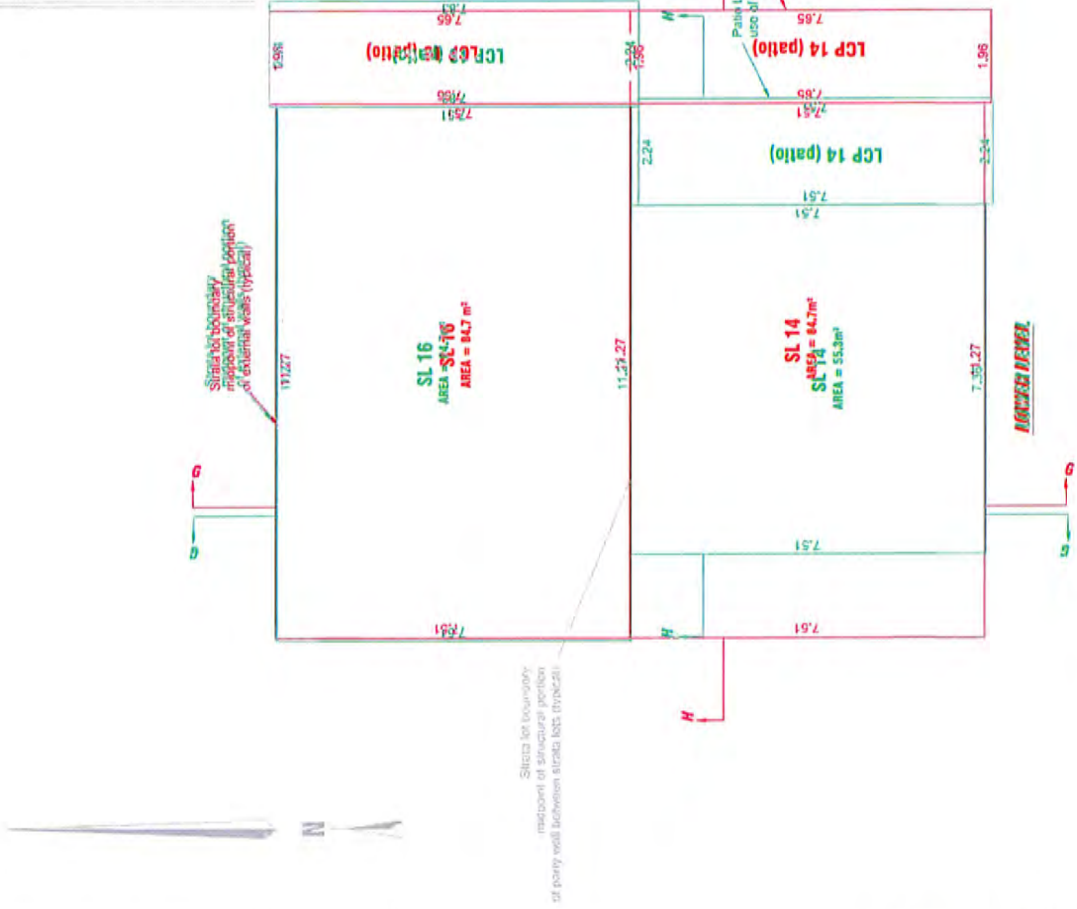
Reviewed: **DRS**

Drawn: **RDW**

Created: **EDW**

**STRATA PLAN EPS  
(PHASE 4) PRELIMINARY**

Sheet 3 of 6



**BUILDING 4**  
**(STRATA LOTS 13 AND 15)**  
 MAIN FLOOR

BCGS : 82K.050



**NOTES:**

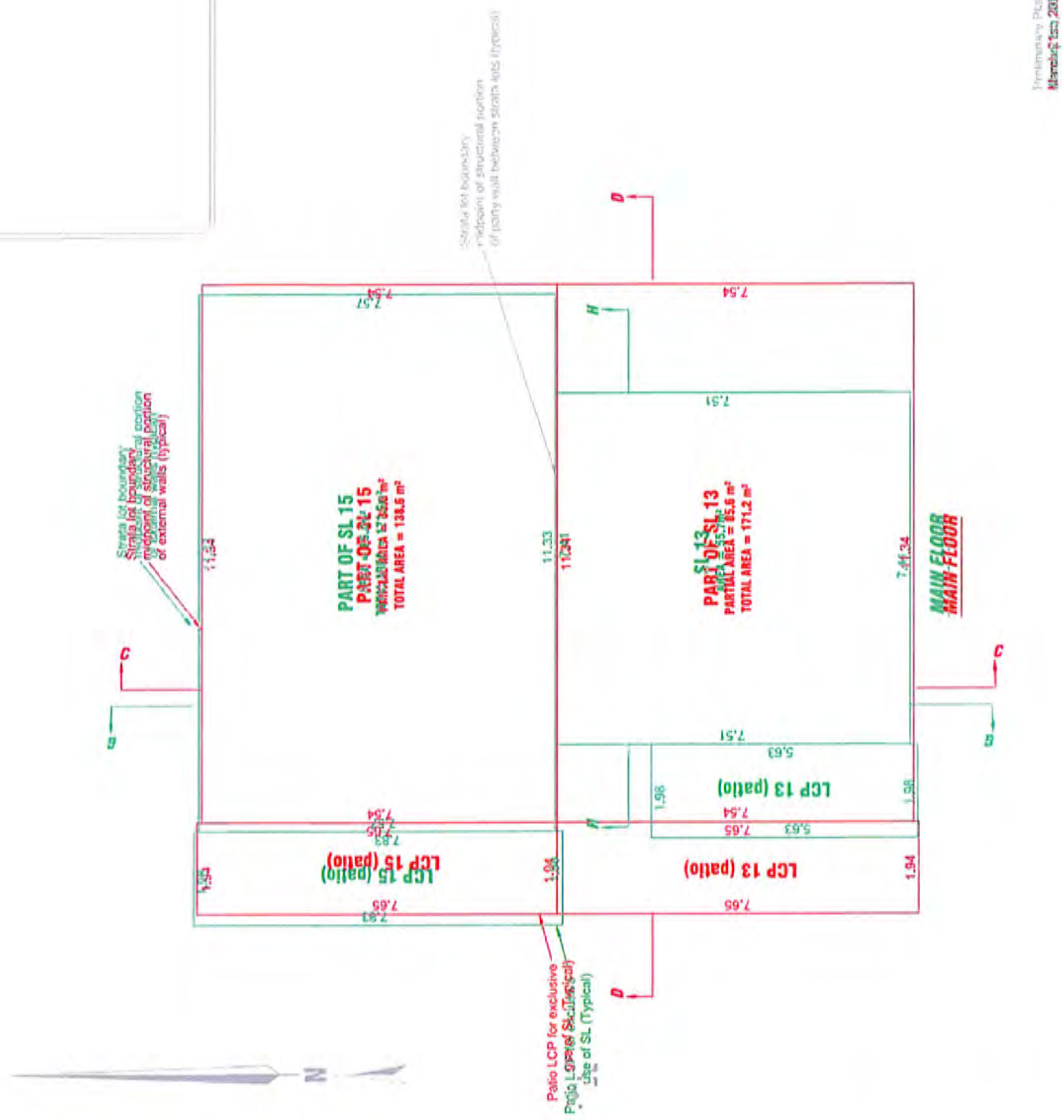
LCP boundaries adjacent to a strata lot are indicated by the center line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
 All LCP tables, deeds and parties are defined as to height by the center of the floor above or its extension, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
 This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party units wherever Strata Lots.  
 Section arrows on this plan point in the direction of view.

**LEGEND:** SL denotes Strata Lot  
 LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
 (R) denotes Common Property  
 (R) denotes motor's square

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 1022B 7th Avenue, Invermere, BC V0A 1K0  
 Ph: 250-409-5157 www.globalraymac.ca

Job No: 22010025  
 CAD FILE: 23/0025\_STL\_Plan.DWG  
 Date: **Monday 27th, 2023**  
 Surveyed by: DPS | Drawn: TDW | Checked: EDWAE

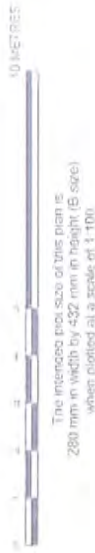
**STRATA PLAN EPS**  
**(PHASE 4) PRELIMINARY**  
 Sheet 4 of 6





**BUILDING 4  
(STRATA LOTS 13 AND 15)  
SECOND FLOOR**

BCGS - 82K.050



**NOTES:**  
LCP boundaries adjacent to a strata lot are defined by the centre line of the structural position of exterior walls and where adjacent to common property are defined by the external edge of surface.  
All LCP areas, decks and parking are defined as to height by the centre of the floor above or its volume, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
Section arrows on this plan point in the direction of view.

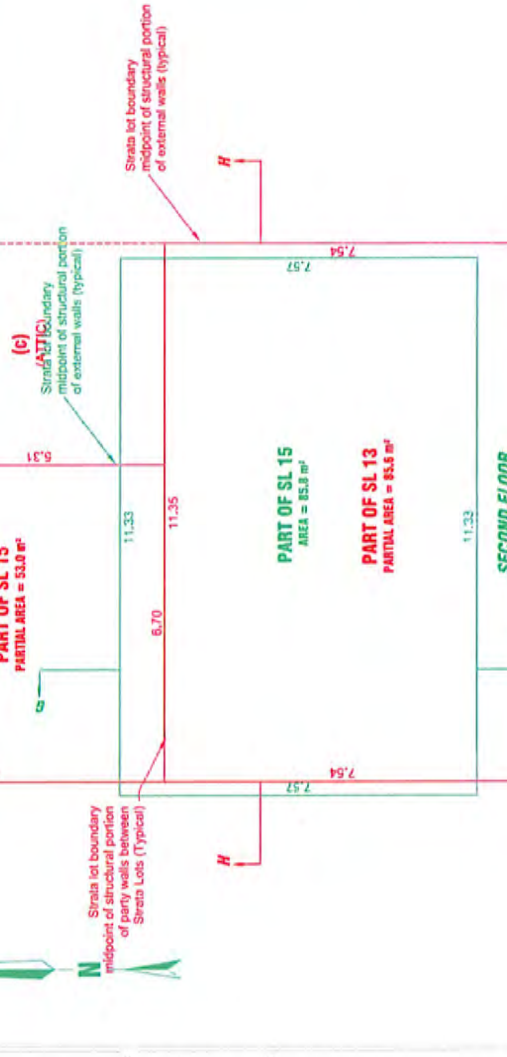
**LEGEND:**  
SL - Strata Lot  
LCP - Limited Common Property  
ICP - Interlocking Common Property  
m<sup>2</sup> - square metres (rounded)

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250-409-5157 www.globalraymac.ca

Job No. - 29100125  
CAD FILE - 251005\_STI\_P4-DWG  
Date: **Monday, 25th, 2025**  
Surveyor - BRS | Drafter - KDA | Checker - SDAE

**STRATA PLAN EPS  
(PHASE 4) PRELIMINARY**  
Sheet 5 of 8

Part of SL 15 and attic s reversed. Not correctly shown on proposed plan.



**BUILDING 4  
(STRATA LOTS 13 TO 16)  
CROSS SECTIONS**

BCGS : 82K.050



The interlock plot size on this plan is 280 mm in width by 432 mm in height (B3 size) when plotted at a scale of 1:100.

**NOTES:**

This Sheet shows Strata Lot boundary dimensions to the midpoints of the structural portions of the exterior walls, and the midpoint between the structural portions of party walls between Strata Lots.

**LEGEND:**

SL denotes Strata Lot  
(c) denotes Common Property

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Ph: 250.409.5157 www.globalraymac.ca

Job No. 22101025

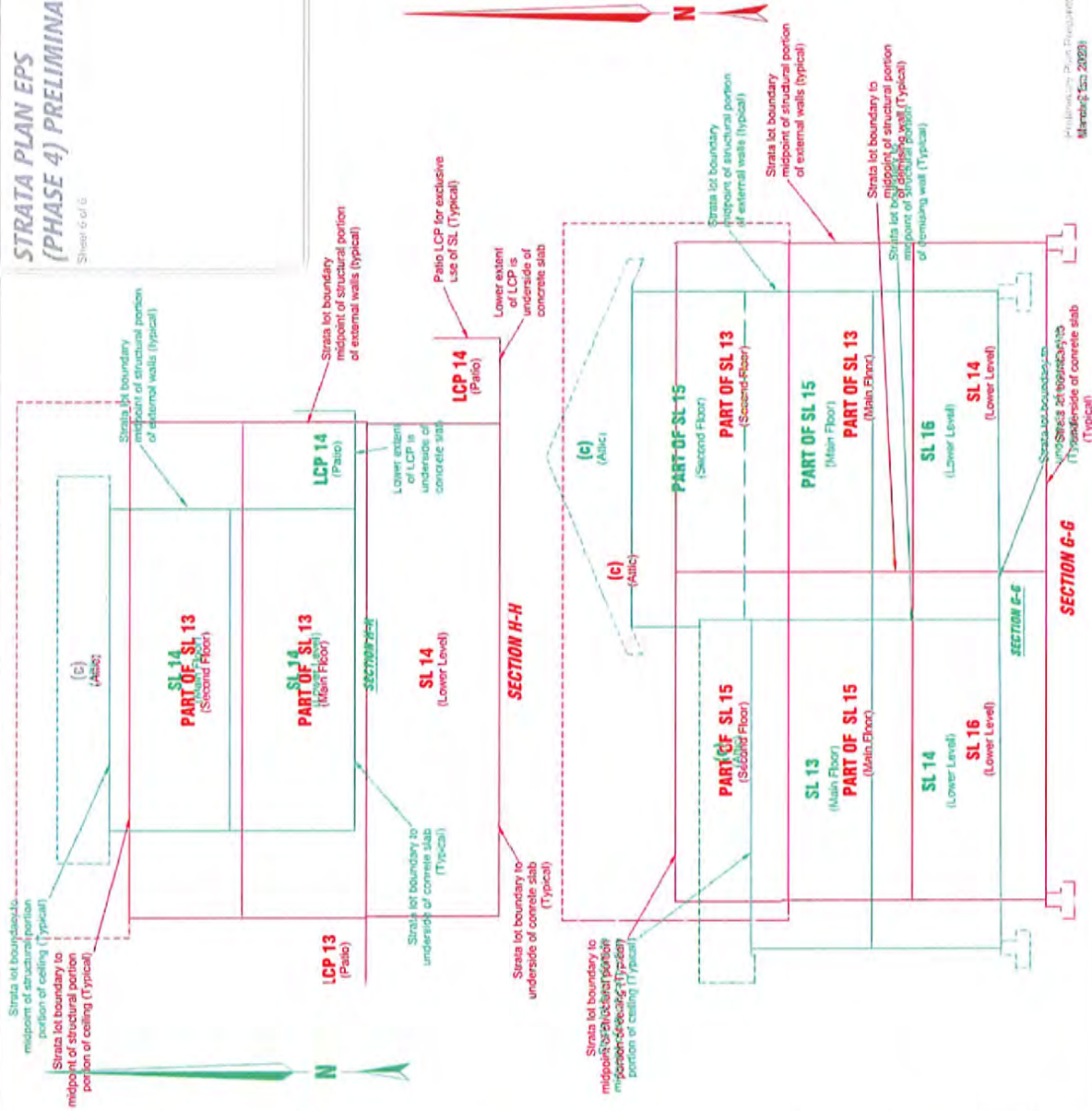
CAD FILE: 231025\_STL\_P4.dwg

Date: **March 25, 2023**

Surveyed by: DRS | Drawn: TDV | Checked: EDGAR

**STRATA PLAN EPS  
(PHASE 4) PRELIMINARY**

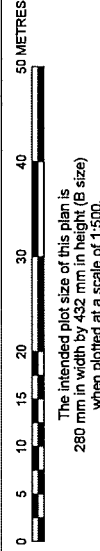
Sheet 6 of 6



Preliminary Plan Required:  
March 25, 2023

**PROPOSED STRATA PLAN OF PART OF LOT A  
DISTRICT LOT 1092 KOOTENAY DISTRICT  
PLAN EPP120443**

EAST KOOTENAY ASSESSMENT AUTHORITY  
BCGS : 82K.050



This plan lies within the Regional District of East Kootenay

**NOTES:**

This Plan is Phase 5 of a 8 phase strata plan under the Section 224 Strata Plan Property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.

Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 (HT2\_D)).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on December 3rd, 2022.

21-070 Phase 1 Buildings 1-8 Site Data - Drafting View - OVERALL SITE PLAN 2022 Nov 28 OPT-3

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within external boundaries of the land that is subject to the strata plan.

All angles defect by multiples of 45 or 90° unless otherwise indicated.

Fd Mag Nail PT#21  
UTM Northing: 5594185.55  
UTM Easting: 567981.22  
Datum: NAD83(CRS)4.0.BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.

Fd IP #558  
UTM Northing: 5593987.71  
UTM Easting: 567981.22  
Datum: NAD83(CRS)4.0.BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.

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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025	Drawn: NDW	Checked: EGAS
CAD FILE: 22IX0025_STI_PHS.DWG		
Date: January 5th, 2023		
Surveyed by: DRS		

**STRATA PLAN EPS  
(PHASE 5) PRELIMINARY**

Sheet 1 of 6

CIVIC ADDRESS:  
2121 15th Avenue,  
Invermere, BC

**PINETREE ROAD**

**15th AVENUE**

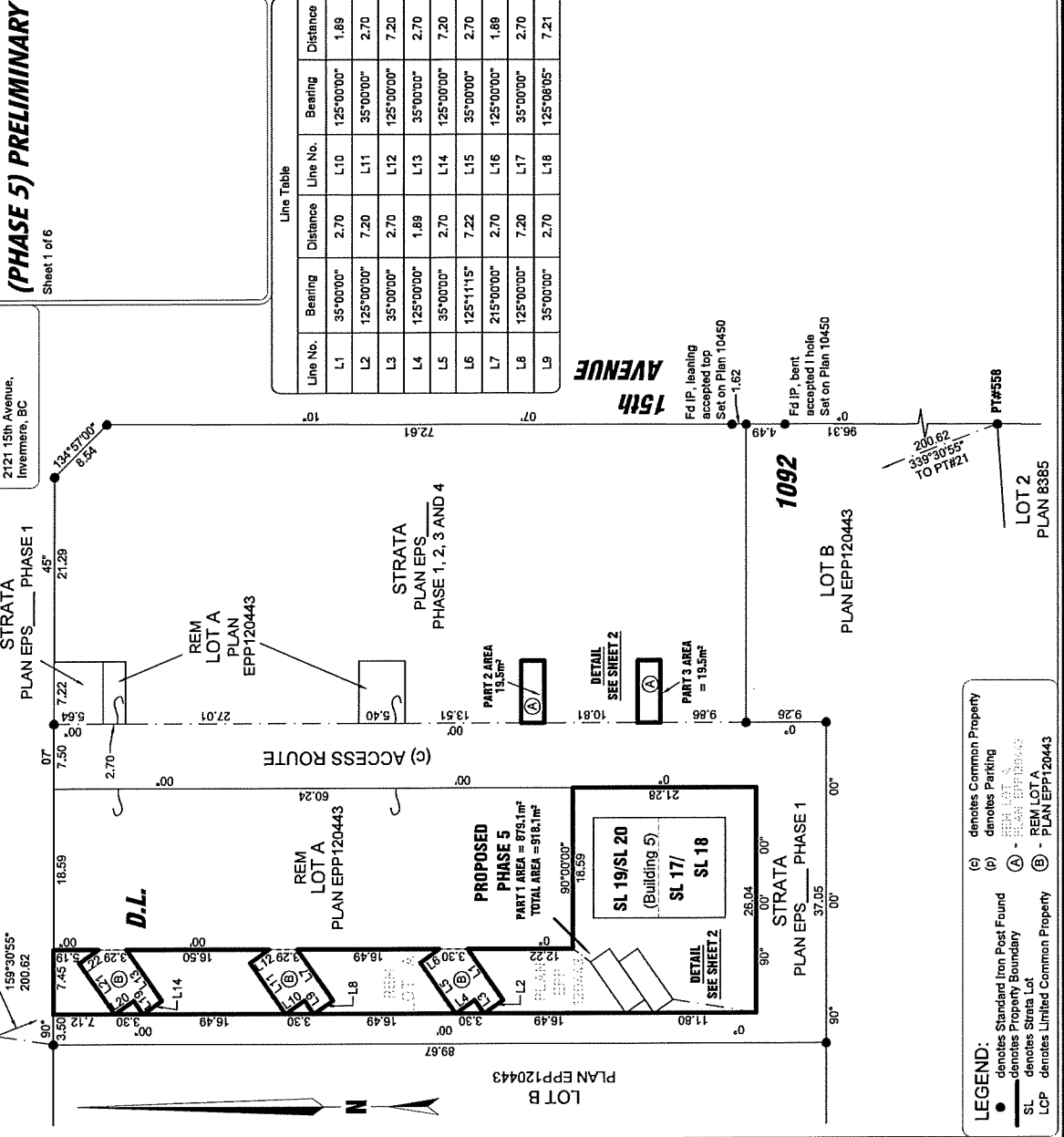
**1092**

**LOT B**

**LOT 2**

**STRATA PLAN EPS PHASE 1**

**STRATA PLAN EPS PHASE 1**



Line No.	Bearing	Distance	Line No.	Bearing	Distance
L1	35°00'00"	2.70	L10	125°00'00"	1.89
L2	125°00'00"	7.20	L11	35°00'00"	2.70
L3	35°00'00"	2.70	L12	125°00'00"	7.20
L4	125°00'00"	1.89	L13	35°00'00"	2.70
L5	35°00'00"	2.70	L14	125°00'00"	7.20
L6	125°11'15"	7.22	L15	35°00'00"	2.70
L7	215°00'00"	2.70	L16	125°00'00"	1.89
L8	125°00'00"	7.20	L17	35°00'00"	2.70
L9	35°00'00"	2.70	L18	125°08'05"	7.21

**LEGEND:**

- denotes Standard Iron Post Found
- denotes Common Property
- ⊙ denotes Property Boundary
- ⊕ denotes Strata Lot
- ⊖ denotes Limited Common Property
- ⊗ denotes Common Property
- ⊘ denotes Parking
- ⊙ denotes Strata Lot
- ⊖ denotes Common Property
- ⊗ denotes Common Property
- ⊘ denotes Parking

**DETAIL OF BUILDING FOUNDATION FOR STRATA  
LOTS 13 TO 16**

BCGS : 82K.050



The intended plot size of this plan is  
280 mm in width by 432 mm in height (B size)  
when plotted at a scale of 1:200.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

**LEGEND:**

denotes Limited Common Property  
LCP for the Exclusive Use of Designated Strata Lot (p) denotes Parking  
(c) denotes Common Property

**GLOBAL RAYMAC LAND SURVEYING LTD.**

1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 221X0025

CAD FILE: 22X0025\_ST1\_PHELDWS

Date: January 5th, 2023

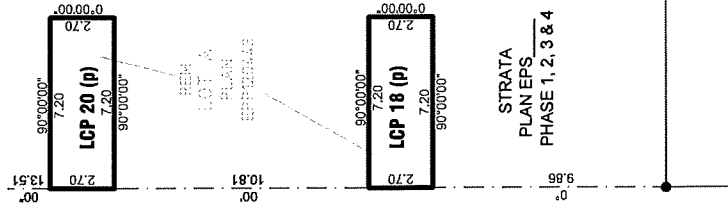
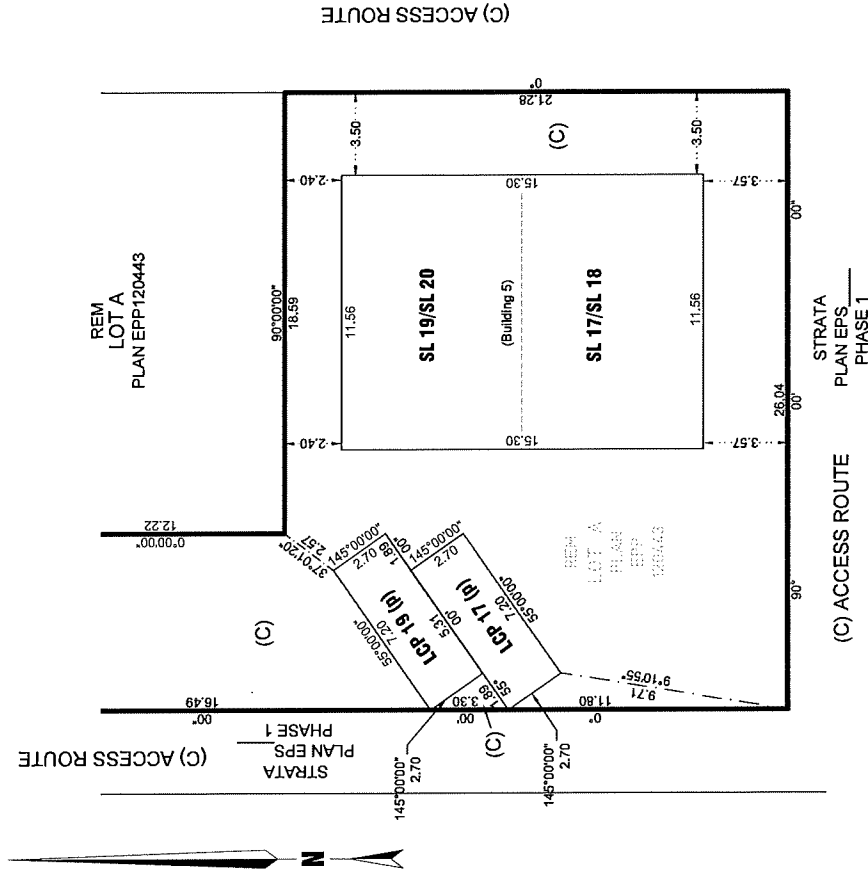
Surveyed: DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS  
(PHASE 5) PRELIMINARY**

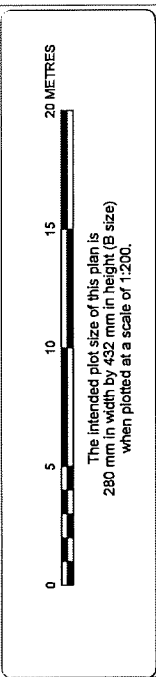
Sheet 2 of 6



Preliminary Plan Prepared  
January 5th, 2023

**STRATA LOTS 18 & 20**  
LOWER LEVEL

BCGS : 82K.050

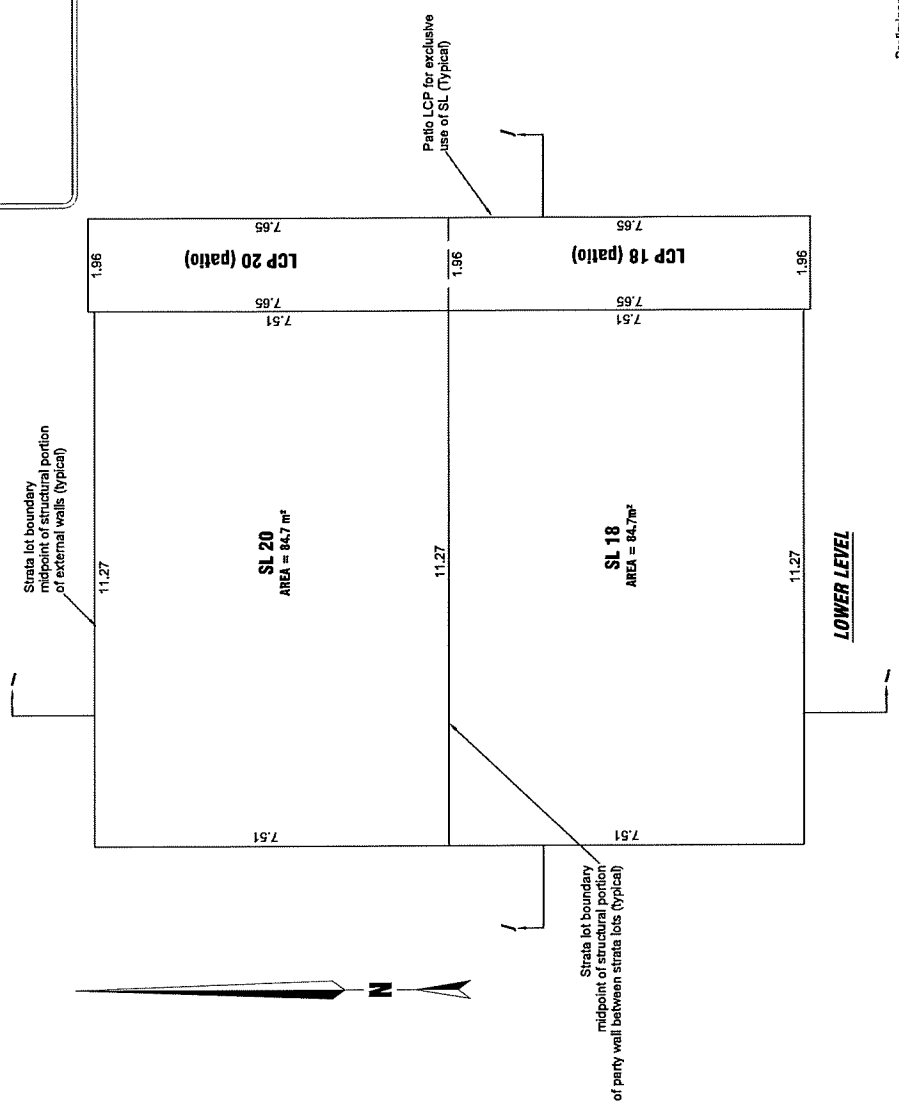


**NOTES:**  
LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
Section arrows on this plan point in the direction of view.

**LEGEND:** SL denotes Strata Lot  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
(c) denotes Common Property  
m<sup>2</sup> denotes Common Property

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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025	Checked: EG/AB
CAD FILE: 22IX0025_ST1_PHS.DWG	Drawn: NDW
Date: January 5th, 2023	Surveyed: DBS



**STRATA LOTS 17 & 19**  
MAIN FLOOR

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

**LEGEND:** SL denotes Strata Lot  
denotes Limited Common Property  
for the Exclusive Use of Designated Strata Lot  
LCP denotes Common Property  
(c) denotes Common Property  
m<sup>2</sup> denotes Common Property

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Job No. : 221X0025

CAD FILE: 22X0025\_ST1\_PHS.DWG

Date: January 5th, 2023

Surveyed: DBS

Drawn: NDW

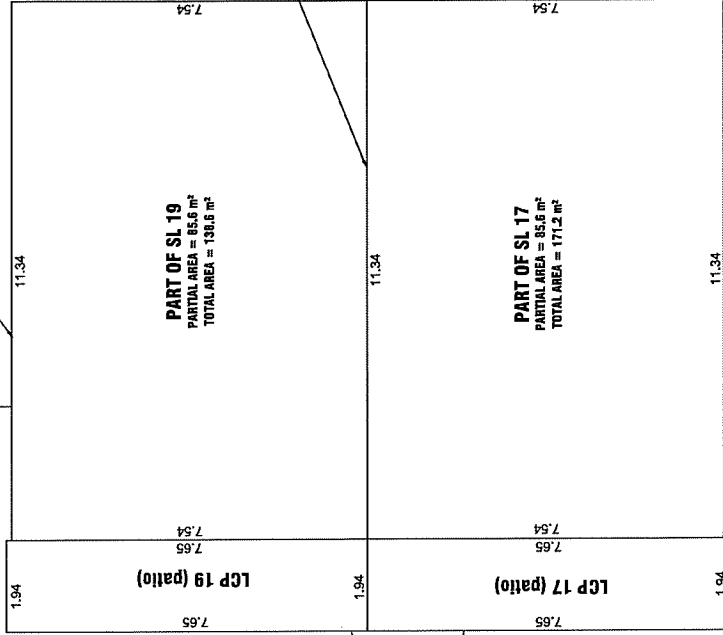
Checked: EG/AB

**STRATA PLAN EPS**  
**(PHASE 5) PRELIMINARY**

Sheet 4 of 6



Strata lot boundary midpoint of structural portion of external walls (typical)



**PART OF SL 19**  
PARTIAL AREA = 85.6 m<sup>2</sup>  
TOTAL AREA = 138.6 m<sup>2</sup>

**PART OF SL 17**  
PARTIAL AREA = 85.6 m<sup>2</sup>  
TOTAL AREA = 171.2 m<sup>2</sup>

LCP 19 (patio)

LCP 17 (patio)

**MAIN FLOOR**

Strata lot boundary midpoint of structural portion of party wall between strata lots (typical)

Patio LCP for exclusive use of SL (Typical)

Preliminary Plan Prepared  
January 5th, 2023

BCGS : 82K.050



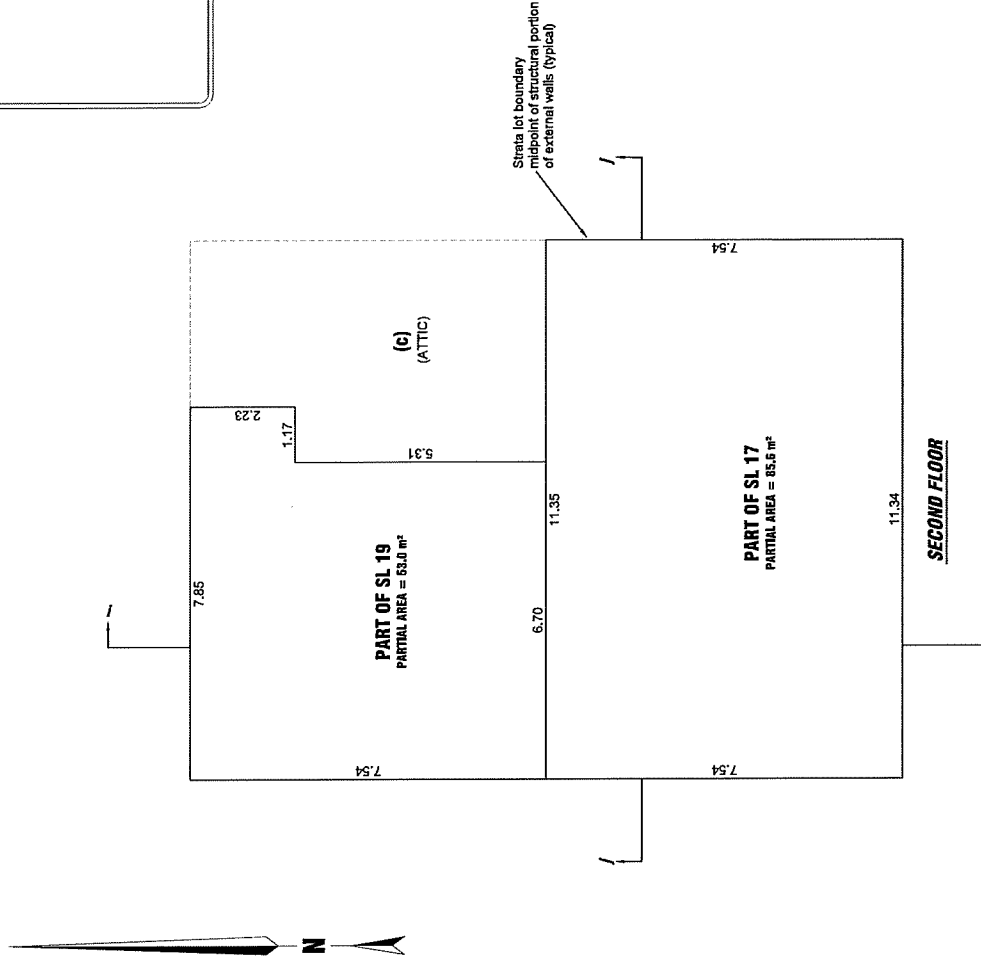
The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**  
LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
Section arrows on this plan point in the direction of view.

**LEGEND:** SL denotes Strata Lot  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
(c) denotes Common Property  
m<sup>2</sup> denotes meters squared

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Job No. : 22IX0025  
CAD FILE: 22IX0025\_ST1\_PHS.DWG  
Date: January 5th, 2023  
Surveyed: DBS  
Drawn: NDW  
Checked: EG/AB



**STRATA LOTS 17 TO 20  
CROSS SECTIONS**

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

**LEGEND:**  
SL denotes Strata Lot  
(c) denotes Common Property

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Job No. : 221X0025

CAD FILE: 221X0025\_ST1\_PHELDWS

Date: January 5th, 2023

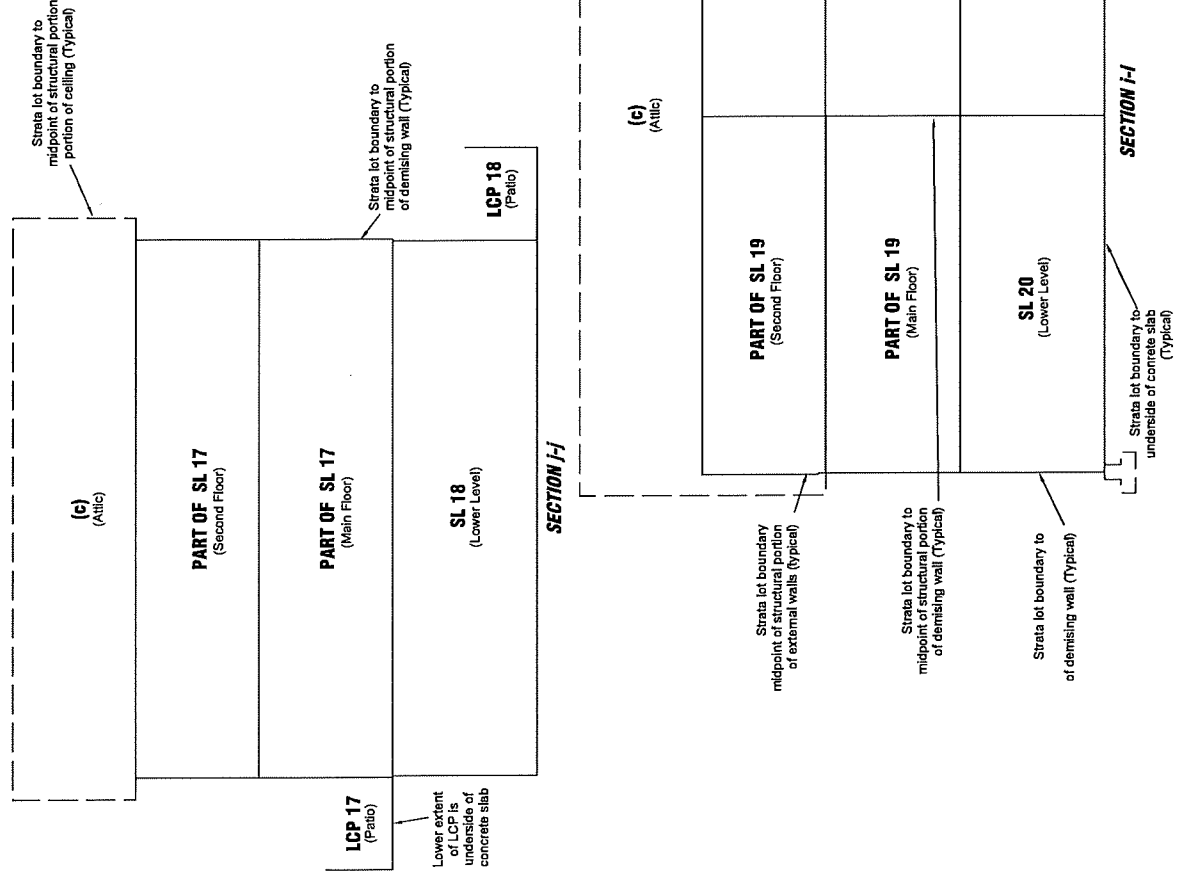
Surveyed: DRS

Drawn: NDW

Checked: EC/AB

**STRATA PLAN EPS  
(PHASE 5) PRELIMINARY**

Sheet 6 of 6



Preliminary Plan Prepared  
January 5th, 2023







**STRATA LOTS 22 & 24**  
LOWER LEVEL

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:200.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
Section arrows on this plan point in the direction of view.

**LEGEND:** SL denotes Strata Lot  
denotes Limited Common Property  
LCP for the Exclusive Use of Designated Strata Lot  
(c) denotes Common Property  
nr denotes Common Property

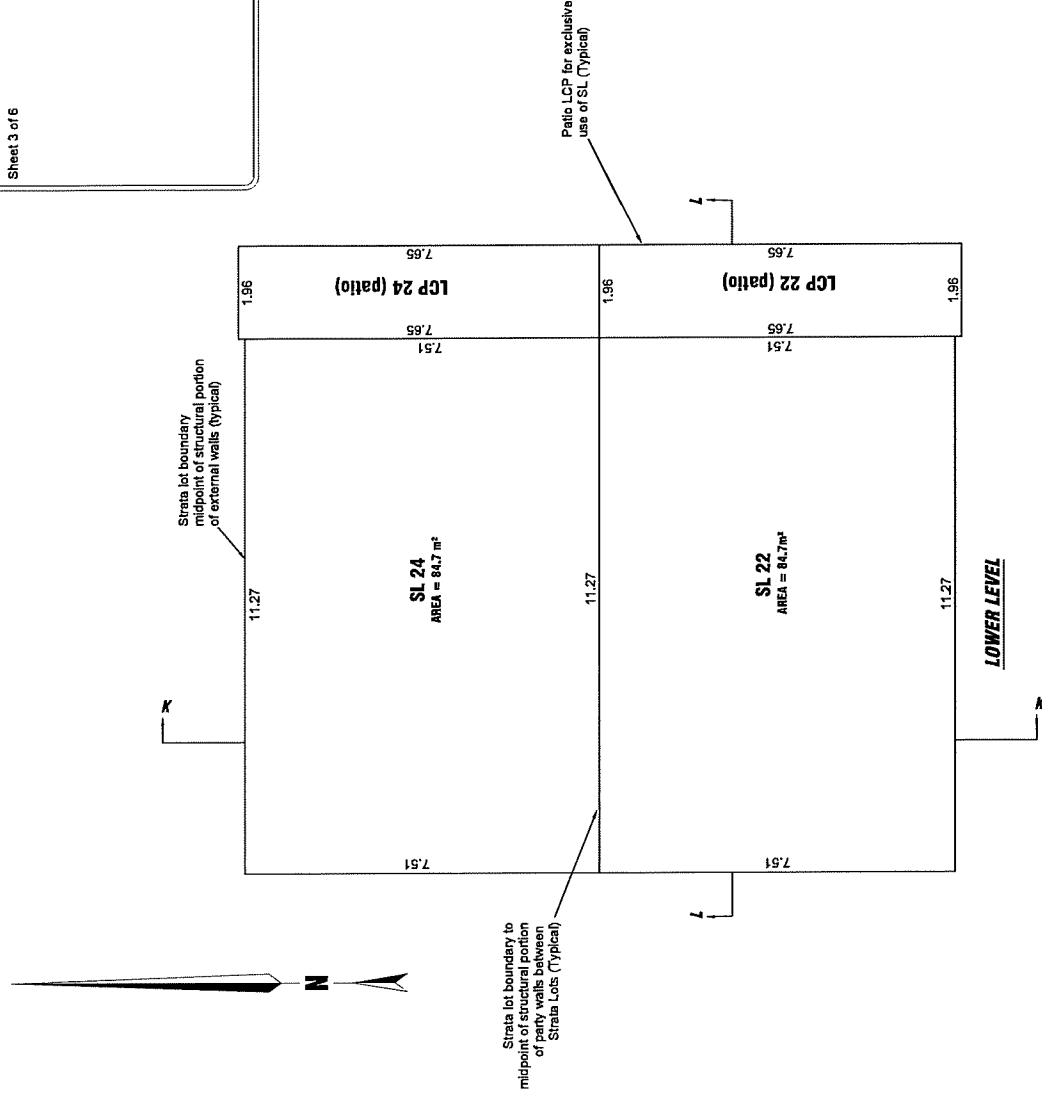
**GLOBAL RAYMAC LAND SURVEYING LTD.**  
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Ph: 250.409.5157 www.globallraymac.ca

Job No. : 22X0025  
CAD FILE: 22X0025\_ST1\_PHE.DWG  
Date: January 5th, 2023

Surveyed : DRS Drawn: NDW Checked: EG/AB

**STRATA PLAN EPS**  
**(PHASE 6) PRELIMINARY**

Sheet 3 of 6



Preliminary Plan Prepared  
January 5th, 2023



**STRATA LOTS 21 & 23**  
SECOND FLOOR

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**

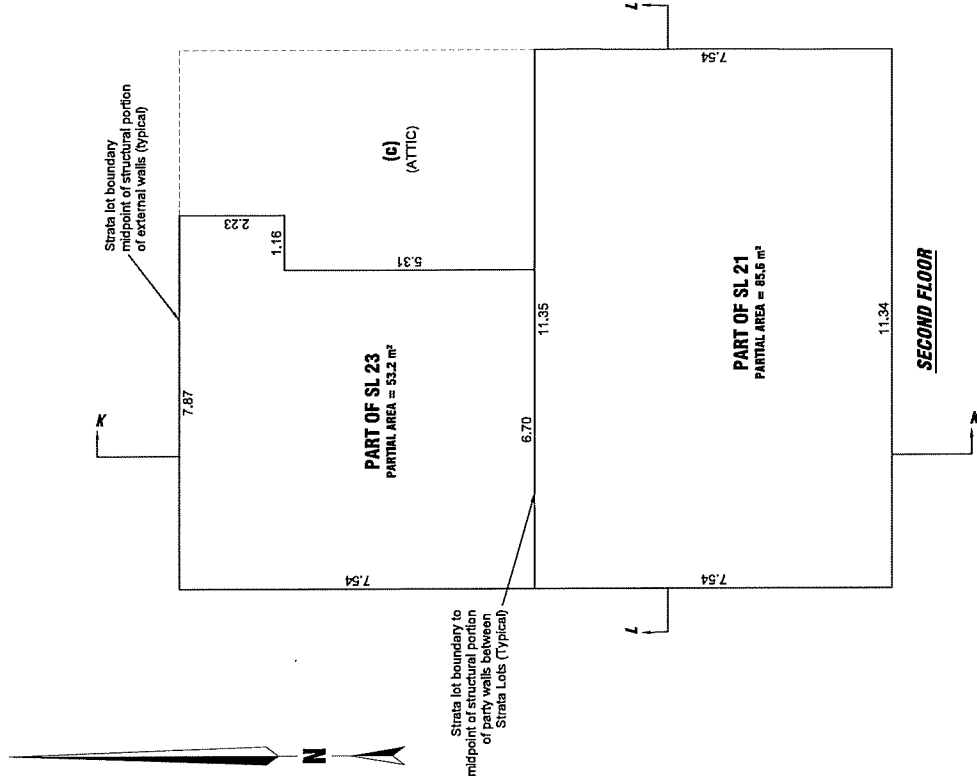
LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.  
Section arrows on this plan point in the direction of view.

**LEGEND:**  
SL denotes Strata Lot  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
(c) denotes Common Property  
m denotes Common Property

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Job No. : 22100025  
CAD FILE: 2210025\_ST1\_PHL.DWG  
Date: January 5th, 2023  
Surveyed: DRS  
Drawn: NDW  
Checked: EG/AB

**STRATA PLAN EPS**  
**(PHASE 6) PRELIMINARY**  
Sheet 5 of 6



**STRATA LOTS 21 TO 24  
CROSS SECTIONS**

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

**LEGEND:**

SL denotes Strata Lot  
(c) denotes Common Property

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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 221X0025

CAD FILE: 221X025\_ST1\_PHELDWS

Date: January 5th, 2023

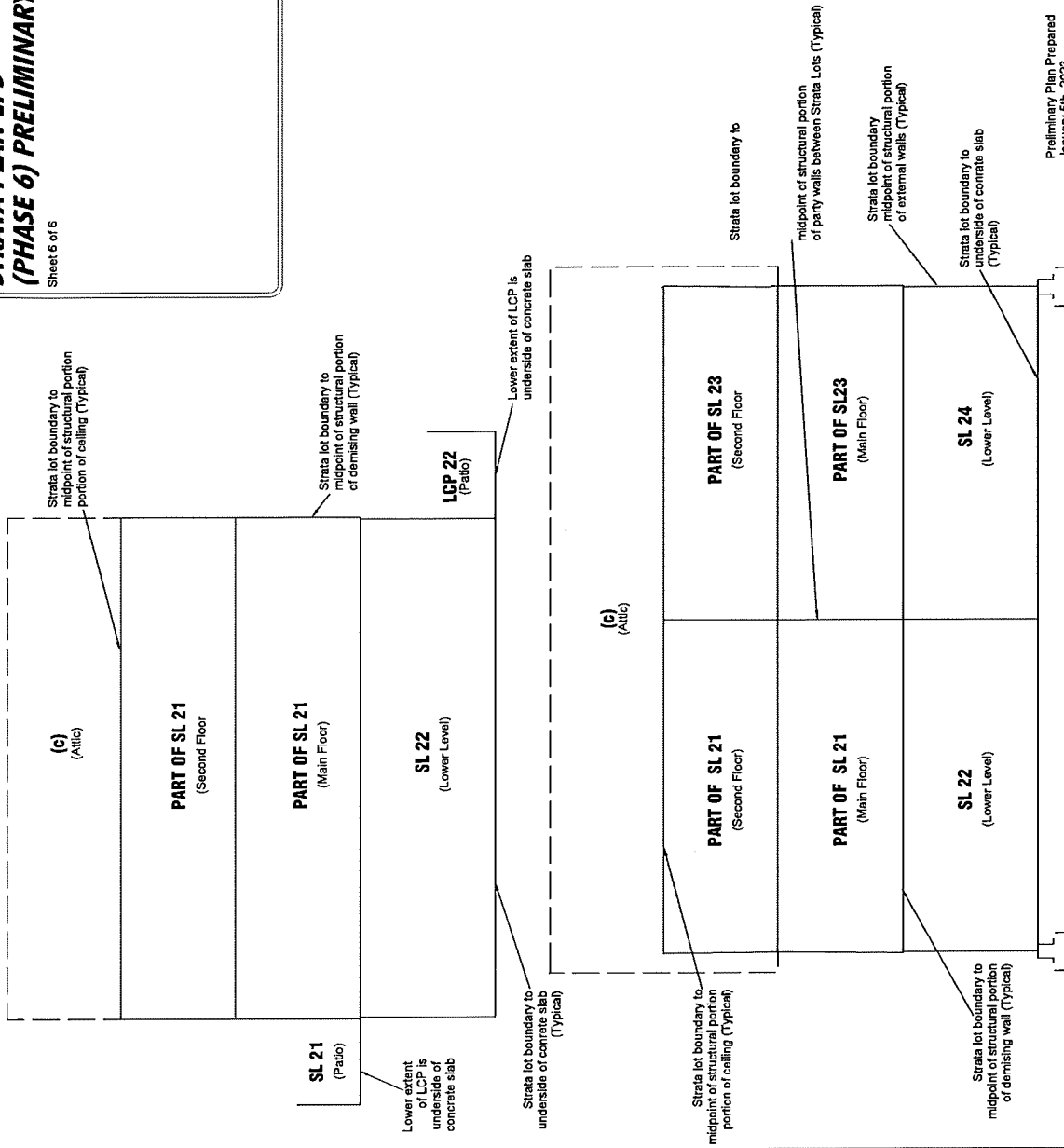
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS  
(PHASE 6) PRELIMINARY**

Sheet 6 of 6



Preliminary Plan Prepared  
January 5th, 2023

**PROPOSED STRATA PLAN OF PART OF LOT A  
DISTRICT LOT 1092 KOOTENAY DISTRICT  
PLAN EPP120443**

EAST KOOTENAY ASSESSMENT AUTHORITY  
BCGS : 82K.050



This plan lies within the Regional District of East Kootenay

Line up SP

**NOTES:**

This Plan is Phase 7 of a 8 phase strata plan under the Section 224 Strata Plan Property Act within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.

Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 (HT2\_D)).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on December 3rd, 2022

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within external boundaries of the land that is subject to the strata plan.

All angles deflected by multiples of 45 or 90° unless otherwise indicated.

**GLOBAL RAYMAC LAND SURVEYING LTD.**

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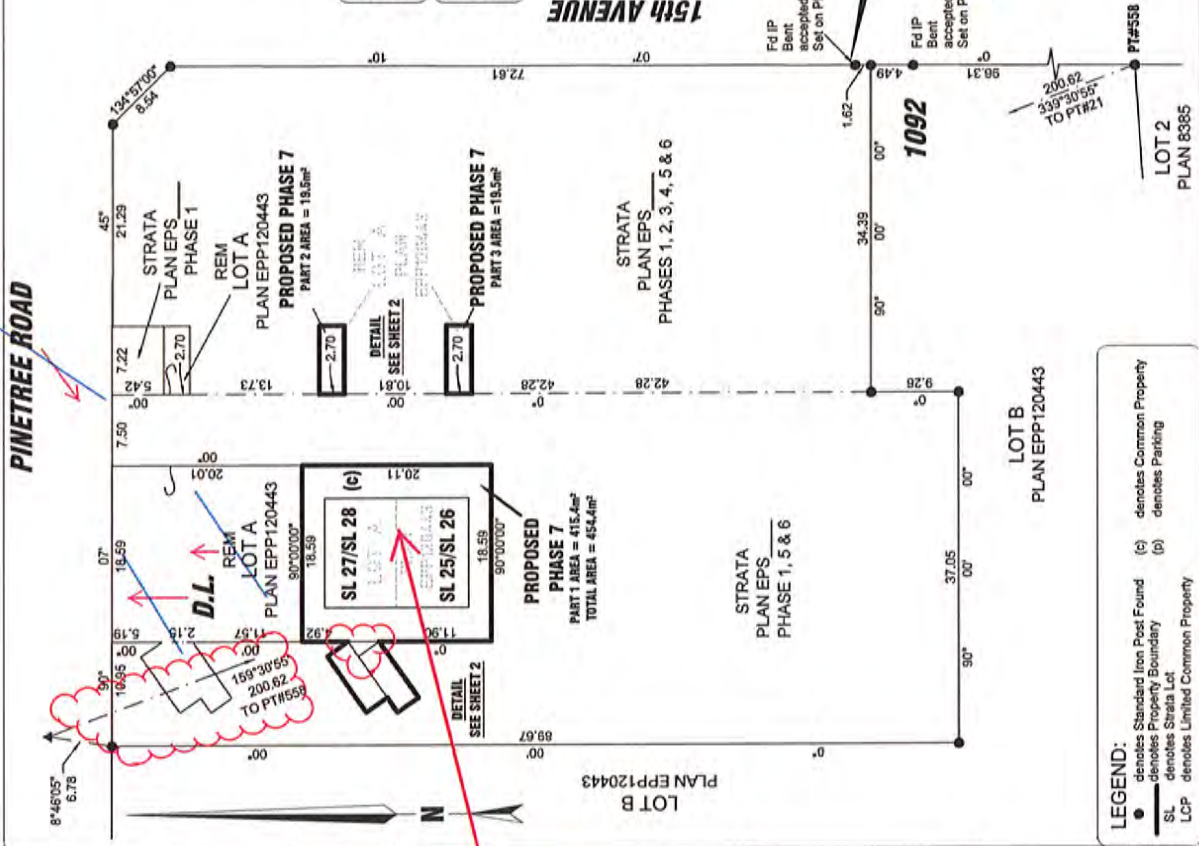
Job No. : 2210X0025	Checked: EG/AS
CAD FILE: 2208025_ST1_P01.DWG	Drawn: NDW
Date: January 4th, 2023	Surveyed: DBS

**STRATA PLAN EPS  
(PHASE 7) PRELIMINARY**

Sheet 1 of 5

Fd Mag Nail PT#21  
UTM Northing: 5594185.55  
UTM Easting: 567911.05  
Datum: NAD83(CRS)4.0.0.BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.

Fd IP #558  
UTM Northing: 5593997.71  
UTM Easting: 567961.22  
Datum: NAD83(CRS)4.0.0.BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.



**LEGEND:**

- denotes Standard Iron Post Found (c) denotes Common Property
- denotes Property Boundary (p) denotes Parking
- SL denotes Strata Lot
- LCP denotes Limited Common Property

**CIVIC ADDRESS:**  
2121 15th Avenue,  
Invermere, BC

**DETAIL BUILDING FOUNDATION FOR STRATA  
LOTS 21 TO 24**

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:200.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

**LEGEND:**

- denotes Limited Common Property
- LCP for the Exclusive Use of Designated Strata Lot
- (c) denotes Common Property
- (p) denotes Parking

**GLOBAL RAYMAC LAND SURVEYING LTD.**

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Job No. : 22X00025

CAD FILE: 20X005\_STI\_R41.DWG

Date: January 4th, 2023

Surveyed : DRS

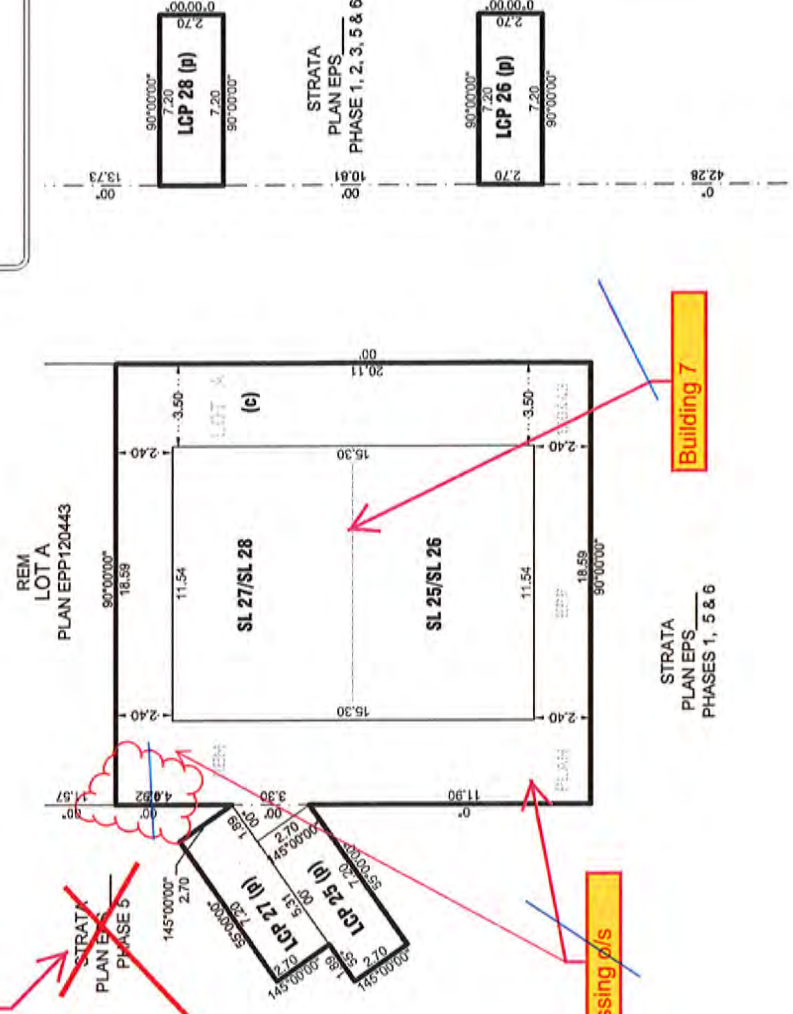
Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS  
(PHASE 7) PRELIMINARY**

Sheet 2 of 5

? 1 & 5 with access?



Missing p/s

Building 7

Preliminary Plan Prepared  
January 4th, 2023



**STRATA LOTS 26 & 28**  
LOWER LEVEL

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:200.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

m2 on all plans

**LEGEND:**

- SL denotes Strata Lot
- LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
- (c) denotes Common Property

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Job No. : 22X0025

CAD FILE: 22X0025\_ST1\_PLO.DWG

Date: January 4th, 2023

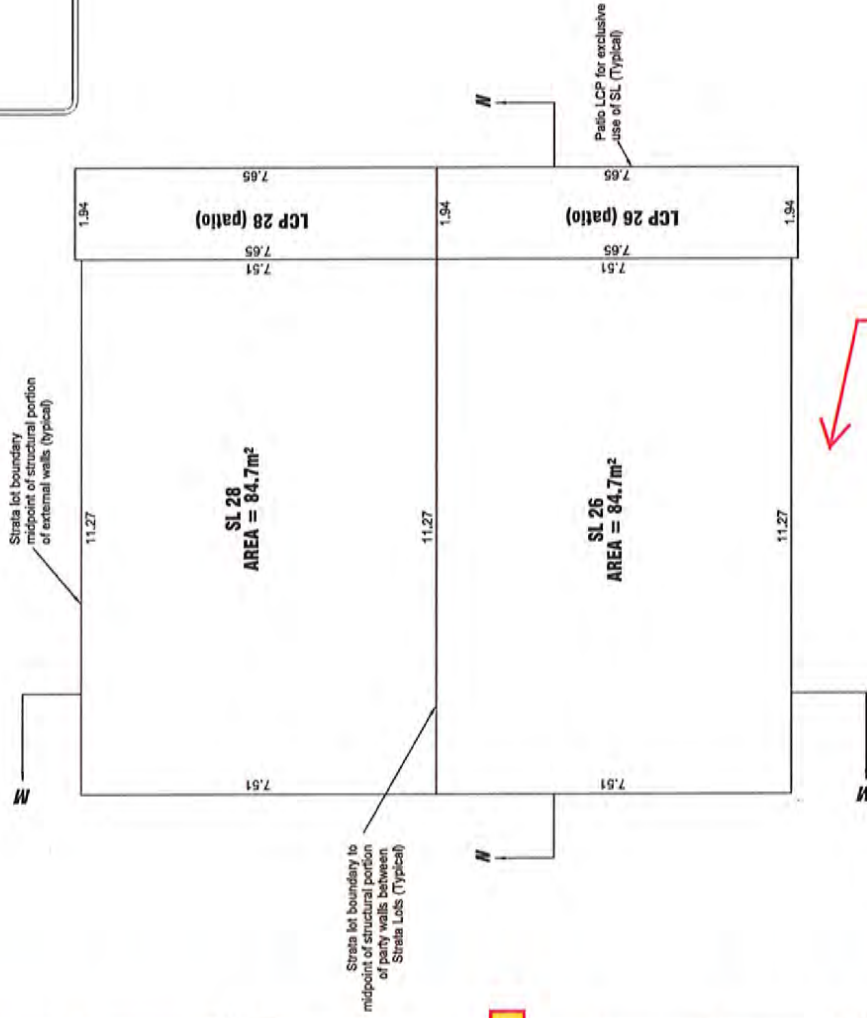
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS**  
**(PHASE 7) PRELIMINARY**

Sheet 3 of 5



Lower Level

**STRATA LOTS 25 & 27**  
MAIN FLOOR

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

**LEGEND:**

- SL denotes Strata Lot
- LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
- (c) denotes Common Property

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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22X0025

CAD FILE : 22X0025\_ST1\_PLO.DWG

Date: January 4th, 2023

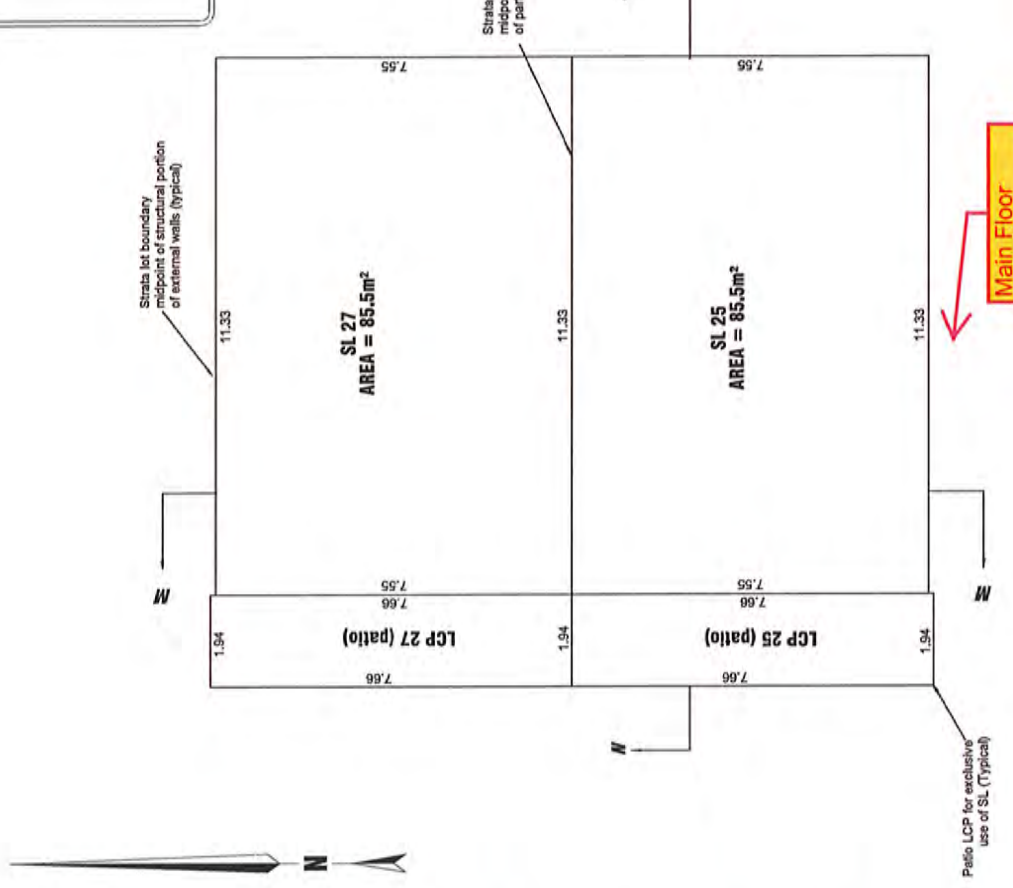
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS**  
**(PHASE 7) PRELIMINARY**

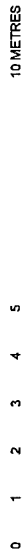
Sheet 4 of 5



Preliminary Plan Prepared  
January 4th, 2023

**STRATA LOTS 25 TO 28  
CROSS SECTIONS**

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

**LEGEND:**

SL denotes Strata Lot  
(c) denotes Common Property

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Job No. : 22IX0025

CAD FILE: 22IX0025\_ST1\_P47.DWG

Date: January 4th, 2023

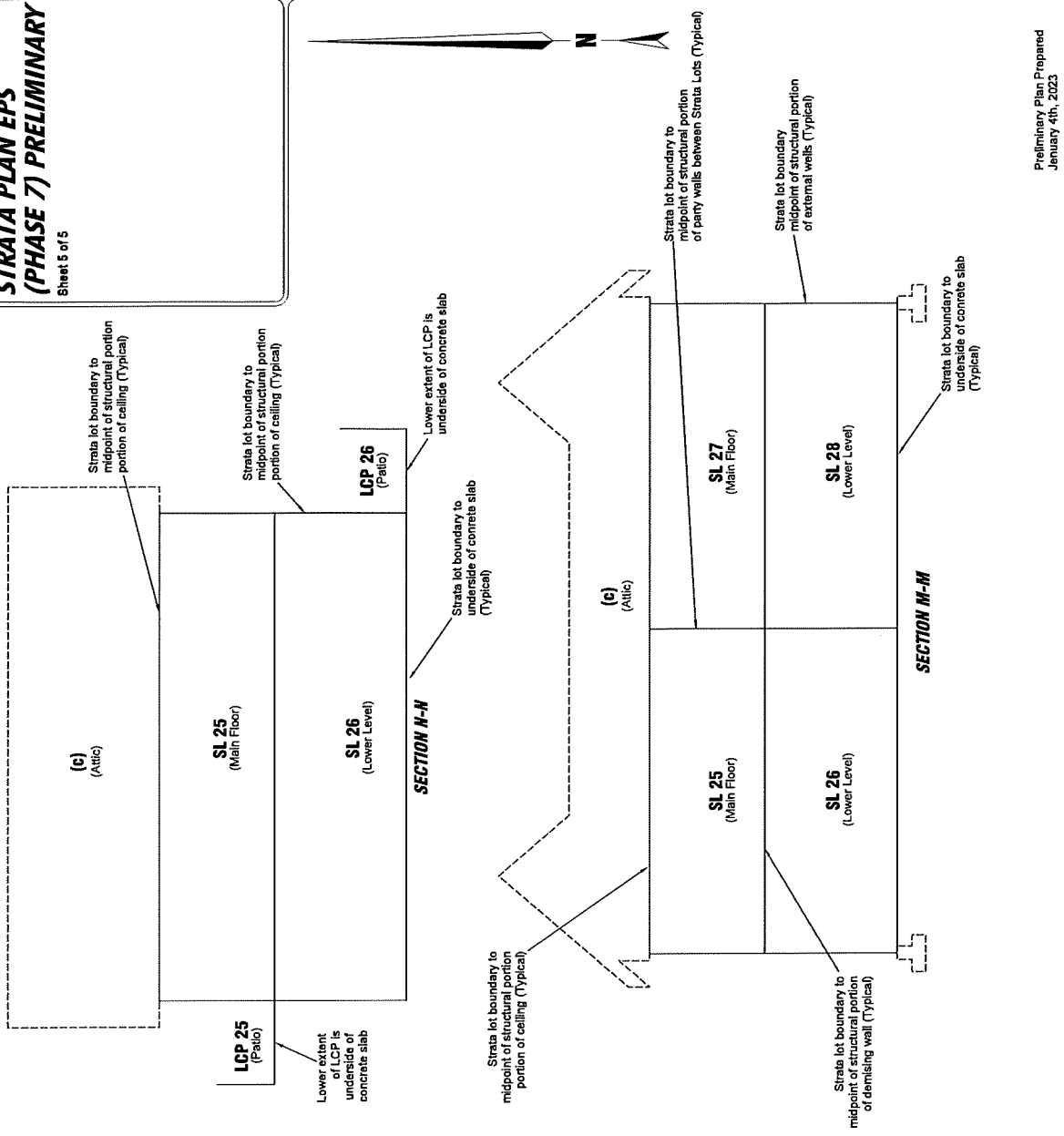
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS  
(PHASE 7) PRELIMINARY**

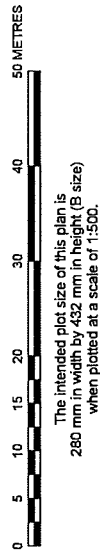
Sheet 5 of 5



Preliminary Plan Prepared  
January 4th, 2023

**PROPOSED STRATA PLAN OF PART OF LOT A  
DISTRICT LOT 1092 KOOTENAY DISTRICT  
PLAN EPP120443**

EAST KOOTENAY ASSESSMENT AUTHORITY  
BCGS : 82K.050



This plan lies within the Regional District of East Kootenay

**NOTES:**

This Plan is Phase 8 of a 8 phase strata plan under the Section 224 Strata Plan Property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.

Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CSVD28 (HT2\_D)).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on August 12th, 2022;  
2022 08 12 - 21-070 Pinetree - RE-FBP

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

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Job No. : 22IX0025

CAD FILE: 22IX0025\_ST1\_PHD.DWG

Date: January 5th, 2023

Surveyed by: DRS

Drawn: NDW

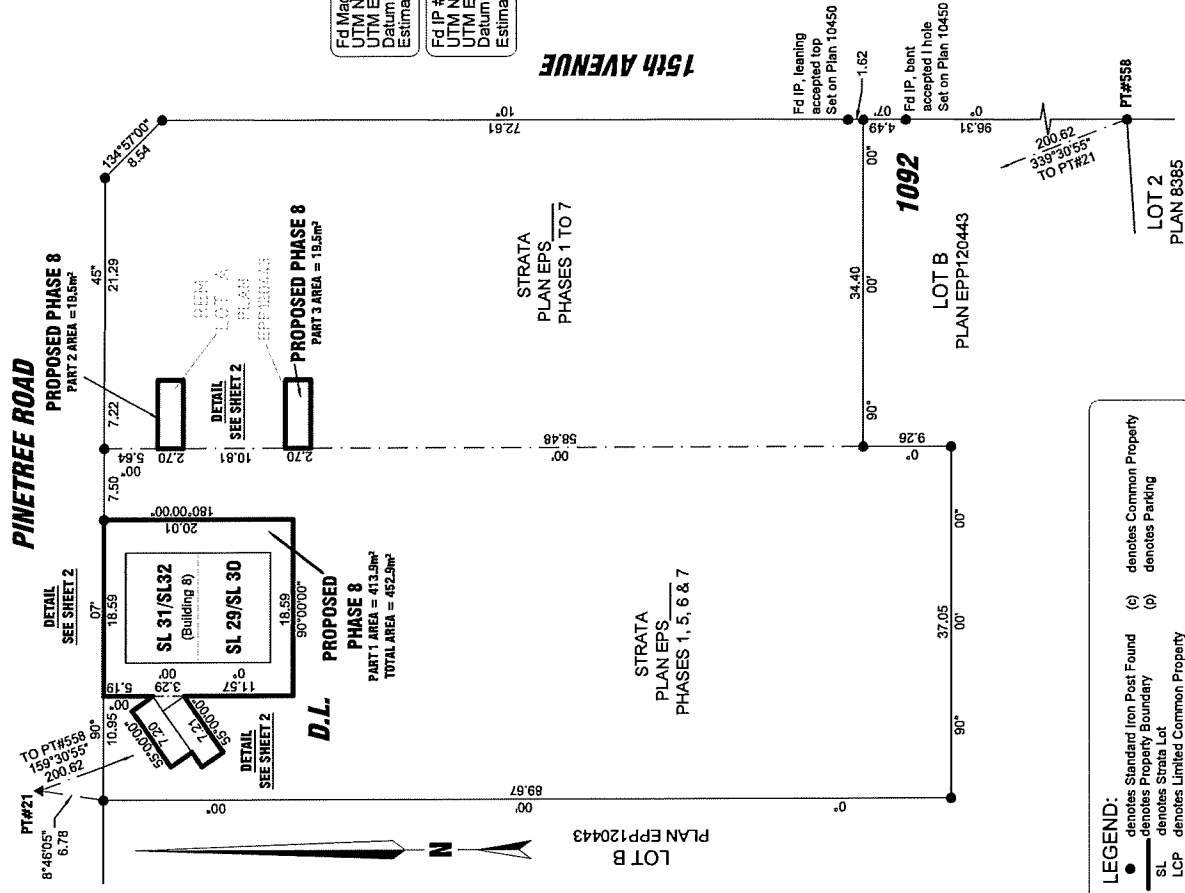
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**STRATA PLAN EPS  
(PHASE 8) PRELIMINARY**

Sheet 1 of 6

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UTM Easting: 567911.05  
Datum: NAD83(CSR)S4.0.0.BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.

Fd IP #558  
UTM Northing: 5593997.71  
UTM Easting: 567981.22  
Datum: NAD83(CSR)S4.0.0.BC.1 UTM ZONE 11  
Estimated Absolute Accuracy is 0.04 metres.



**LEGEND:**  
● denotes Standard Iron Post Found (c) denotes Common Property  
○ denotes Property Boundary (p) denotes Parking  
SL denotes Strata Lot  
LCP denotes Limited Common Property

**CIVIC ADDRESS:**  
2121 15th Avenue,  
Invermere, BC

**DETAIL BUILDING FOUNDATION FOR STRATA  
LOTS 29 TO 32**

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:200.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
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Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

**LEGEND:**

denotes Limited Common Property  
LCP for the Exclusive Use of Designated Strata Lot (p) denotes Parking  
(c) denotes Common Property

**GLOBAL RAYMAC LAND SURVEYING LTD.**

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Job No. : 22IX0025

CAD FILE: 22IX025\_ST1\_PHL.DWG

Date: January 5th, 2023

Surveyed by: DRS

Drawn: NDW

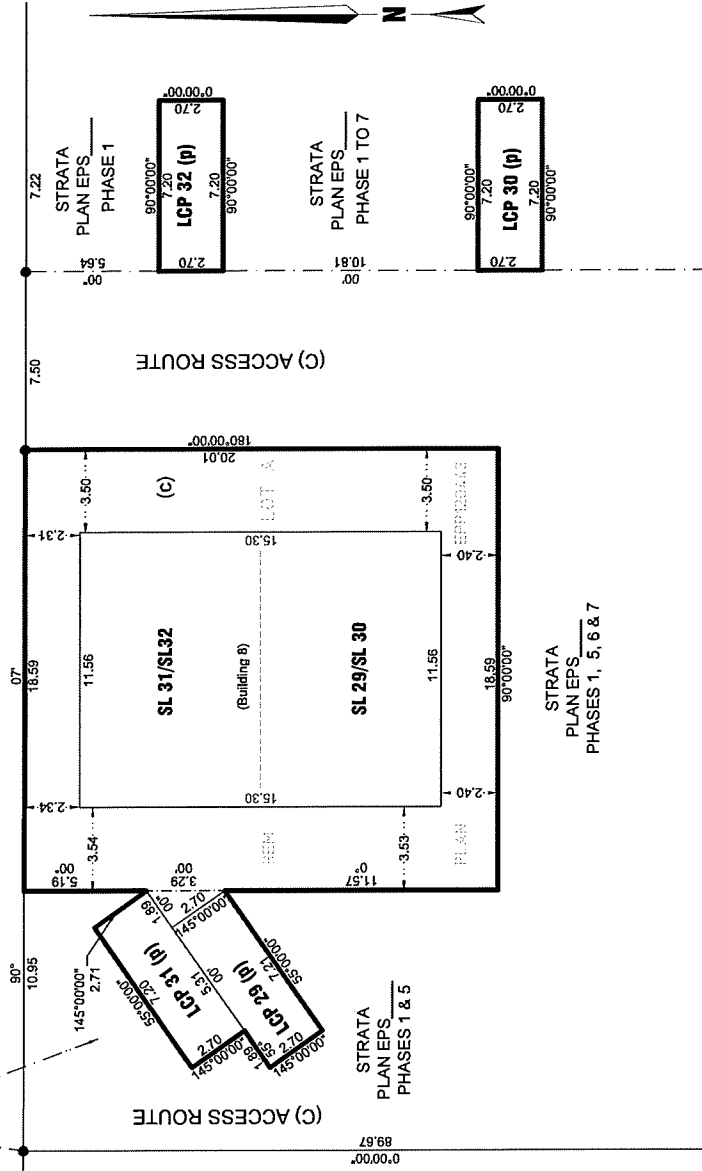
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**STRATA PLAN EPS  
(PHASE 8) PRELIMINARY**

Sheet 2 of 6

PT#21

REM LOT A  
PLAN EPP120443



Preliminary Plan Prepared  
January 5th, 2023

**STRATA LOTS 30 & 32**  
LOWER LEVEL

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:200.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

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Section arrows on this plan point in the direction of view.

**LEGEND:** SL denotes Strata Lot  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
(c) denotes Common Property  
m<sup>2</sup> denotes meters squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**

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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE : 22X0025\_ST1\_Phd.DWG

Date: January 5th, 2023

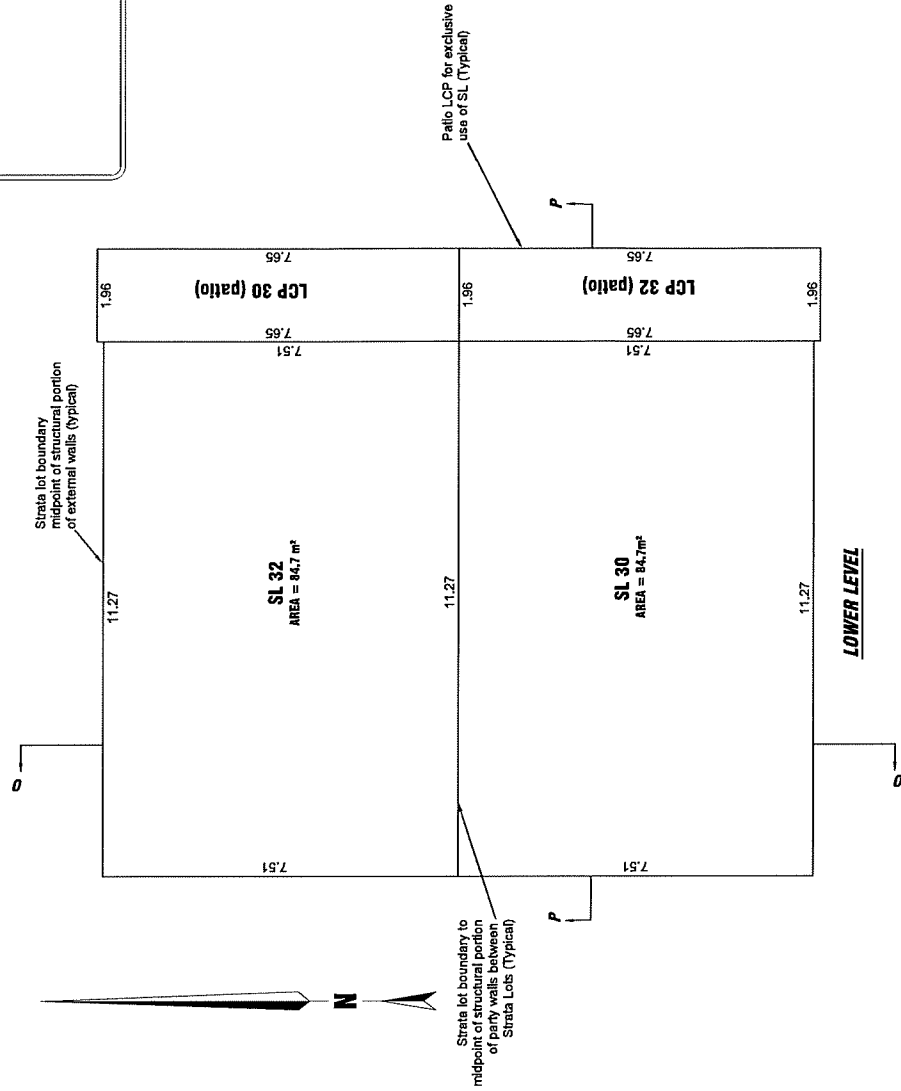
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS**  
**(PHASE 8) PRELIMINARY**

Sheet 3 of 6



Preliminary Plan Prepared  
January 5th, 2023

**STRATA LOTS 29 & 31**  
MAIN FLOOR

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.  
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Section arrows on this plan point in the direction of view.

**LEGEND:**

- SL denotes Strata Lot
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- (c) denotes Common Property
- m<sup>2</sup> denotes meters squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**

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Ph: 250.409.5157 [www.globalraymac.ca](http://www.globalraymac.ca)

Job No. : 22IX0025

CAD FILE: 22IX0025\_STL\_Phd.DWG

Date: January 5th, 2023

Surveyed : DRS

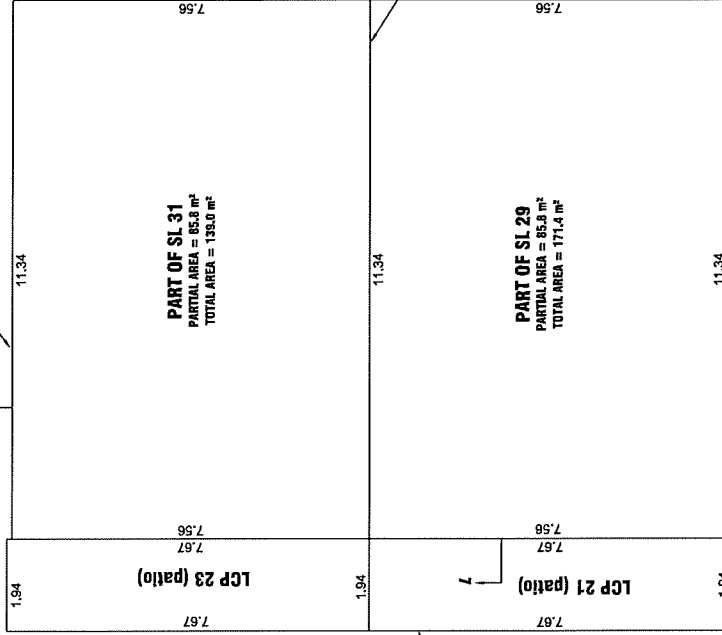
Drawn: NDW

Checked: ES/AB

**STRATA PLAN EPS**  
**(PHASE 8) PRELIMINARY**

Sheet 4 of 6

Strata lot boundary midpoint of structural portion of exterior walls (Typical)



Strata lot boundary to midpoint of structural portion of party walls between Strata Lots (Typical)

Patio LCP for exclusive use of SL (Typical)

**MAIN FLOOR**

**STRATA LOTS 29 & 31**  
SECOND FLOOR

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

**NOTES:**

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, where there are no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

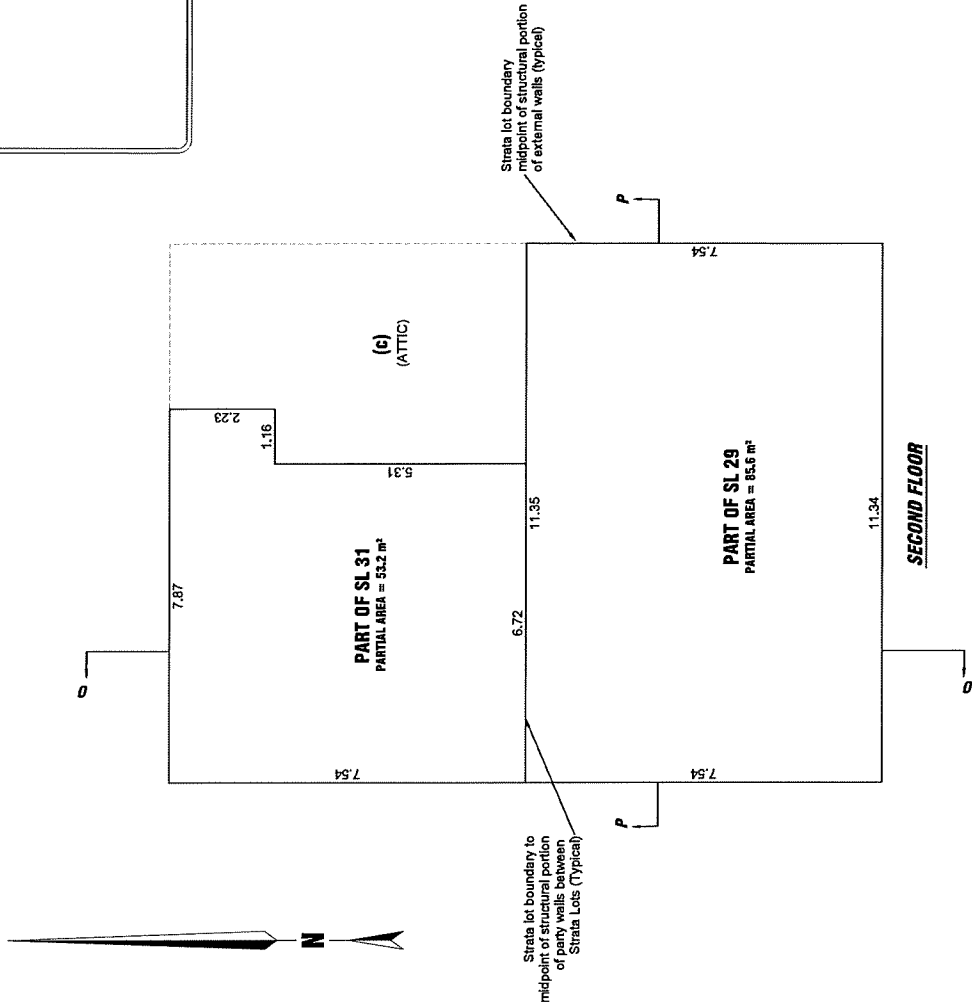
Section arrows on this plan point in the direction of view.

**LEGEND:**  
SL denotes Strata Lot  
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot  
(c) denotes Common Property  
m<sup>2</sup> denotes meters squared

**GLOBAL RAYMAC LAND SURVEYING LTD.**  
1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025  
CAD FILE : 22IX0025\_STL\_PHS.DWG  
Date: January 5th, 2023  
Surveyed : DRS  
Drawn: NDW  
Checked: EG/AB

**STRATA PLAN EPS**  
**(PHASE 8) PRELIMINARY**  
Sheet 5 of 6





**STRATA LOTS 29 TO 32  
CROSS SECTIONS**

BCGS : 82K.050



The intended plot size of this plan is  
280 mm in width by 432 mm in height (B size)  
when plotted at a scale of 1:100.

**NOTES:**  
This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls  
and the midpoint between the structural portions of party walls between Strata Lots.

**LEGEND:**

SL denotes Strata Lot  
(c) denotes Common Property

**GLOBAL RAYMAC LAND SURVEYING LTD.**

1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 [www.globalraymac.ca](http://www.globalraymac.ca)

Job No. : 22IX0025

CAD FILE: 22X0025\_STI\_PHS.DWG

Date: January 5th, 2023

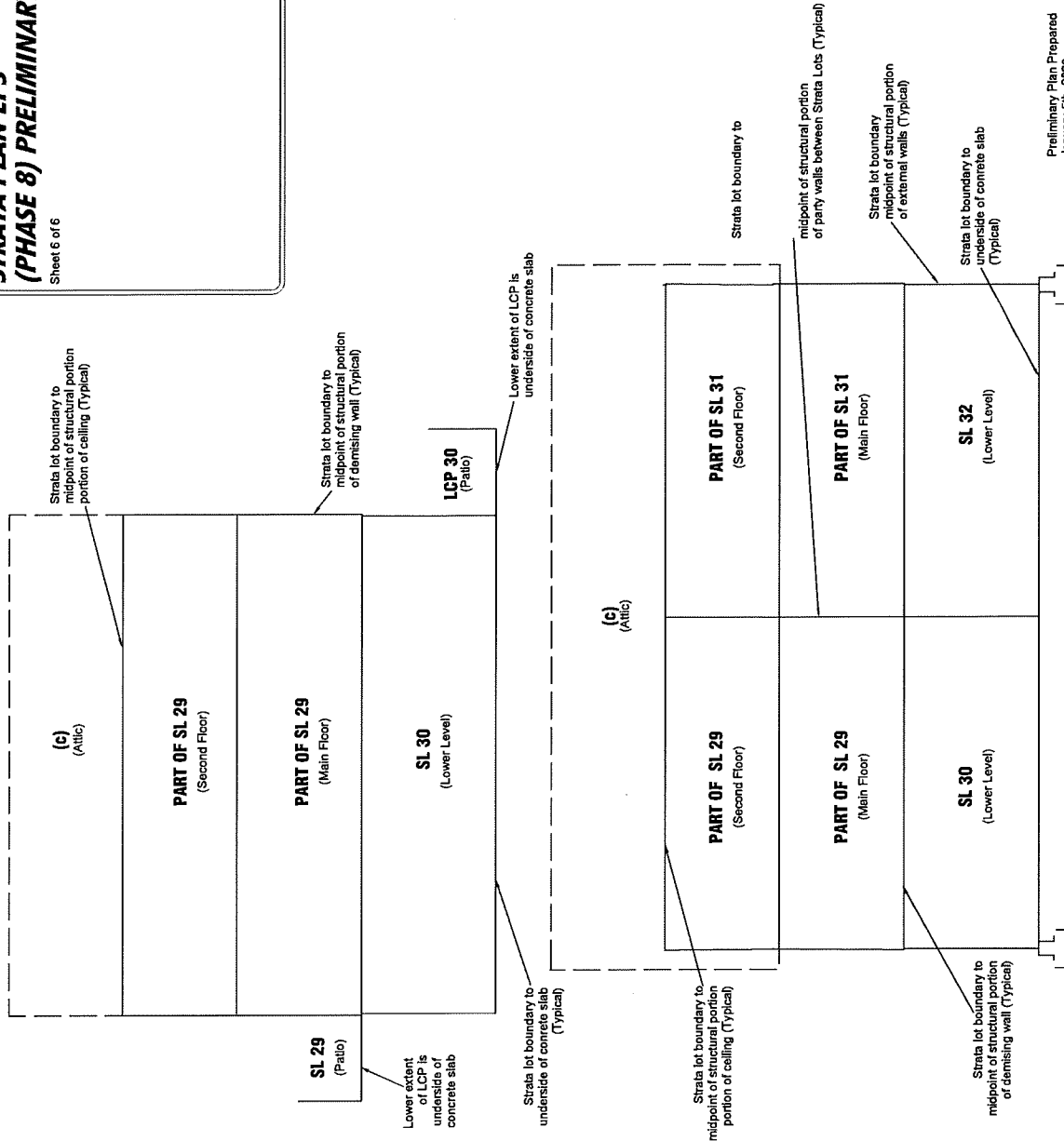
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS  
(PHASE 8) PRELIMINARY**

Sheet 6 of 6



Preliminary Plan Prepared  
January 5th, 2023

# Exhibit C4

Phase 1

# ASSEMBLY SCHEDULES

## EXTERIOR WALLS

- EW-1-6/12 EXTERIOR WALL
  - CLADDING AS PER ELEVATIONS
  - AIR BARRIER
  - 2 1/2" RIGID INSULATION
  - 5/8" OSB T-G SHEATHING
  - 1/2" GYPSUM WALL BOARD

- EW-2-6/12 GYPSUM WALL (H.R. FRB)
  - 1/2" GYPSUM WALL BOARD TYPE X
  - 2 1/2" RIGID INSULATION
  - 5" CONCRETE
  - 2 1/2" RIGID INSULATION
  - 1/2" GYPSUM WALL BOARD TYPE X

- EW-3-EXTERIOR ABOVE GRADE WALL
  - 1/2" GYPSUM WALL BOARD
  - 2 1/2" RIGID INSULATION
  - 6" CONCRETE
  - 2 1/2" RIGID INSULATION
  - 1/2" GYPSUM WALL BOARD

- EW-4-EXTERIOR SHEED WALL
  - CLADDING AS PER ELEVATIONS
  - AIR BARRIER
  - 1/2" PLYWOOD
  - 2x4 WOOD STUDS @ 16" O.C.
  - BATT INSULATION
  - 1/2" PLYWOOD

- EW-5-2x4 INTERIOR PARTITION
  - 1/2" GYPSUM WALL BOARD
  - 2x4 WOOD STUDS @ 16" O.C.
  - 1/2" GYPSUM WALL BOARD

- EW-6-2x6 PLUMBING/BEARING PARTITION
  - 1/2" GYPSUM WALL BOARD
  - 2x6 WOOD STUDS @ 16" O.C.
  - 1/2" GYPSUM WALL BOARD

- EW-7-2x6 FURRED PLUMBING PARTITION
  - 2x6 WOOD STUDS @ 16" O.C.
  - 1/2" GYPSUM WALL BOARD

- EW-8-2x4 EXTERIOR SHEED PARTITION
  - 1/2" PLYWOOD
  - 2x4 WOOD STUDS @ 16" O.C.
  - 1/2" PLYWOOD

- EW-9-PARTY WALL (H.R. FRB, STC 57)
  - 5/8" TYPE X GYPSUM WALL BOARD
  - 2x4 WOOD STUDS @ 16" O.C.
  - 1" AIR SPACE
  - 5/8" TYPE X GYPSUM WALL BOARD

NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

## FLOORS

- FL-1-11" T&I SOUND INSULATED (H.R. FRB)
  - VINYL PLANK FLOORING
  - 5/8" OSB T-G SHEATHING
  - 1 1/8" T&I
  - ACOUSTIC BATT FILLED JOIST CAVITY
  - 2 LAYERS 5/8" GYPSUM WALL BOARD, TYPE X

- FL-2-INSULATED BASEMENT SLAB
  - VINYL PLANK FLOORING
  - 5/8" OSB T-G SHEATHING
  - VAPOUR BARRIER
  - REINFORCED CONCRETE SLAB (AS PER STRUCTURAL)
  - 1" POLYSTYRENE INSULATION (HIGH DENSITY, BEARING)
  - COMPACTED GRAVEL (AS PER STRUCTURAL)

- FL-3-FINISHED CEILING
  - DIMENSIONAL LUMBER FRAMING (USINGS)
  - VAPOUR BARRIER (WHEN EXPOSED TO ATTIC)
  - 1/2" 5x5 RESISTANT GYPSUM BOARD
  - 1.0M PROFILE TEXTURED FINISH

- FL-4-INSULATED TRUSS ROOF
  - ASPHALT SHINGLES
  - UNDERLAY
  - PLYWOOD SHEATHING (AS PER STRUCTURAL)
  - OPEN WEB TRUSSES (AS PER STRUCTURAL)
  - BLOWN CELLULOSE R50 CM HEEL STOPS
  - SOFFITS AND FASCIA AS PER ELEVATIONS

- FL-5-UNINSULATED GANTRY ROOF
  - ASPHALT SHINGLES METAL?
  - UNDERLAY
  - AIR BARRIER
  - PLYWOOD SHEATHING (AS PER STRUCTURAL)
  - OPEN WEB TRUSSES (AS PER STRUCTURAL)
  - SOFFITS AND FASCIA AS PER ELEVATIONS

## CEILINGS

- CE-1-11" T&I SOUND INSULATED (H.R. FRB)

## ROOFS

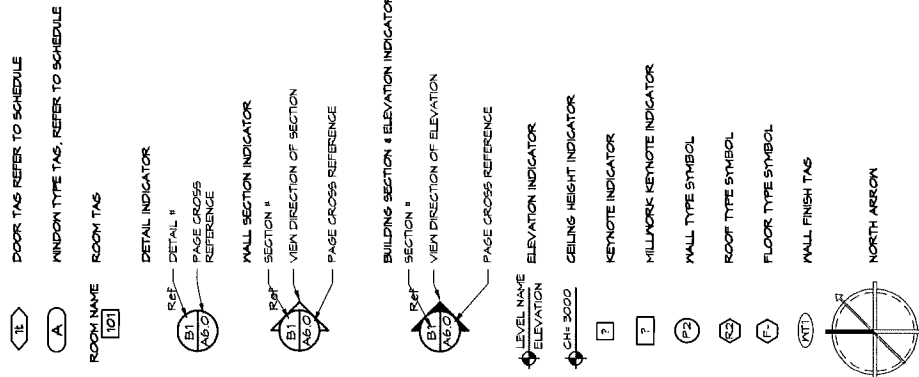
- RO-1-11" T&I SOUND INSULATED (H.R. FRB)

- RO-2-11" T&I SOUND INSULATED (H.R. FRB)

## GENERAL NOTES

- DO NOT SCALE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT.
- CONTRACTOR TO COMPARE DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
- ALL WORK COMPLIES WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE - 2015 CBC & LOCAL ORDINANCES.
- PROVIDE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL CONSULTANTS' DOCUMENTS, COORDINATE DIMENSIONS REQUIRED FOR THE FITTING OF ALL COMPONENTS AS NECESSARY TO ENSURE THEIR SOUND OPERATION UPON COMPLETION.
- ALL DOOR, WINDOW AND ROOF ASSEMBLIES SHOWN ON THE DRAWINGS SHALL BE ASSEMBLIES SHOWN ON THE REPRESENTATION OF COMPLETED CONSTRUCTION ASSEMBLY. REFER TO SPECIFICATIONS FOR ADDITIONAL ASSEMBLY INFORMATION. THESE ASSEMBLIES SUPERSEDE ALL COMPLETED DETAILS AND NOTATION COMPLETED ON THE FOLLOWING CONSTRUCTION DRAWINGS.
- THE DRAWINGS SHALL SHOW THE LOCATION OF ALL INTERIOR LOAD BEARING ASSEMBLIES AND BEAR WALL LOCATIONS.
- ALL GYPSUM BOARD IN BATHROOMS AND COMMERCIAL KITCHENS SHALL BE MOISTURE RESISTANT TYPE.
- ALL EXPOSED CONCRETE WALL CORNERS SHALL BE CHAMFERED.
- ALL G.I. FLASHING EXPOSED TO VIEW SHALL BE RE-FINISHED.
- CONTRACTOR TO PROVIDE FIRE RATED SEPARATION AROUND JANITOR ROOMS, STORAGE ROOMS, AND MECHANICAL ROOMS. CARRY WALLS TO UNDERSIDE OF STRUCTURE. PROVIDE CONTINUOUS SEALANT AROUND BOTH SIDES OF ALL DOOR AND WINDOW FRAMES.
- IN ALL LOCATIONS WHERE GYPSUM BOARD ABUTS DISSIMILAR MATERIAL, USE A MILCOR AND/OR JTRIM AT THE JOINT. PROVIDE FINISH OVER MILCOR OR JTRIM FRAME. CONCRETE WALL CORNERS SHALL BE CHAMFERED.
- PROVIDE CORNER BEAD FOR ALL EXPOSED GYPSUM WALL BOARD CORNERS.
- ALL WOOD COMPONENTS DIRECTLY ATTACHED TO CEMENTITIOUS MATERIALS AND DIRECTLY UNDER EXTERIOR ALUMINUM SILLS SHALL BE PRESSURE TREATED.
- FURRIN ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
- QUANTITY OF DIFFERENTIALS, FIXTURES, AND EQUIPMENT CO-ORDINATE SIZES AND EXACT LOCATIONS TO SUIT ARCHITECTURAL REFLECTED CEILING PLANS AND/OR DETAILS.
- CAULK AND SEAL AROUND ALL DUCTS AND PIPES PASSING THROUGH FIRE RATED PARTITIONS AND FLOOR ASSEMBLIES THROUGH ROOF ASSEMBLIES.
- PROVIDE ACOUSTICAL SEALANT AT JUNCTIONS OF SOUND RATED PARTITIONS.
- WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN SOUND RATED PARTITION STAGGER THESE OUTLETS 2 STD SPACES. PROVIDE ACOUSTICAL SEALANT ALL AROUND.

## DRAWING SYMBOLS LEGEND



berry architecture + associates

SEALS

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**REVISIONS + ISSUES**

NO.	DATE	DESCRIPTION
1	2022.02.02	ISSUED FOR PERMIT
2	2022.02.02	ISSUED FOR PERMIT
3	2022.02.17	ISSUED FOR PERMIT
4	2022.02.17	ISSUED FOR PERMIT

**Pinetree Meadows**  
**Phase 1, Lot 4**  
**Generation Homes BC**  
 15 Ave Invermere BC

PROJECT TITLE

**COVER SHEET**

DRAWING TITLE

SCALE: As indicated  
 DRAWN: RKD  
 CHECKED: JM / RFR  
 OCT 21 21-070  
**A0.0**

## ARCHITECTURAL SHEET...

Sheet Number	Sheet Name
A0.0	COVER SHEET
A1.0	COPE REVIEW
A2.0	SITE PLAN - BYLAW REVIEW
A3.0	BASEMENT FLOOR PLAN
A3.1	MAIN FLOOR PLAN
A3.4	ROOF PLAN
A4.0	EXTERIOR BUILDING ELEVATIONS
A4.1	EXTERIOR BUILDING ELEVATIONS
A4.2	EXTERIOR BUILDING ELEVATIONS
A4.4	EXTERIOR BUILDING ELEVATIONS
A5.0	BUILDING SECTIONS
A5.0	CONSTRUCTION DETAILS
A5.1	CONSTRUCTION DETAILS CONT.
A5.2	CONSTRUCTION DETAILS CONT.
A7.0	DOOR + WINDOW SCHEDULES

Berry Architecture + Associates  
 Suite 200 5218-50 Avenue  
 Red Deer, T4N 4B5  
 Phone: 403-914-4461  
 Contact: Rebecca Davidson



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**REVISIONS + ISSUES**

2022.04.01	ISSUED FOR PERMIT
2022.05.02	BUILDING DEPARTMENT
2022.07.17	RE-SHALED FOR DP
2022.07.03	RE-SHALED FOR DP
2022.04.14	ISSUED FOR PERMIT

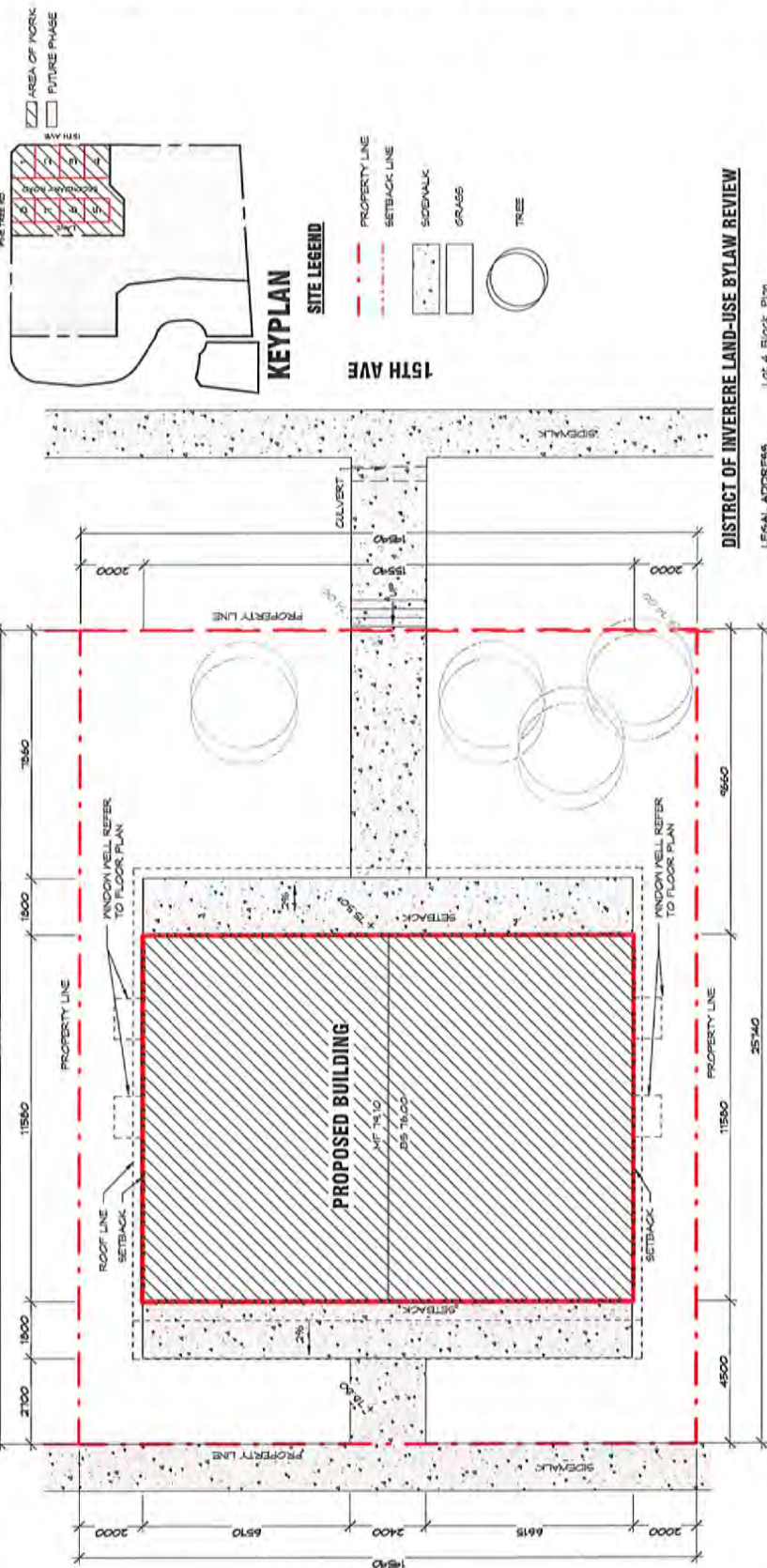
# Pinetree Meadows Phase 1, Lot 4 Generation Homes BC 15 Ave Invermere BC

## SITE PLAN + BY LAW REVIEW

SCALE: As Indicated  
DRAWN: JE  
CHECKED: RCD/M/RR  
OCT '21  
22-030  
**A2.0**

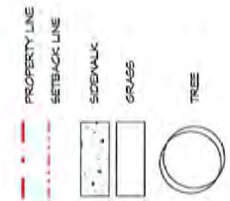
PROJECT TITLE

DRAWING TITLE



### KEYPLAN

### SITE LEGEND



### DISTRICT OF INVERMERE LAND-USE BYLAW REVIEW

LEGAL ADDRESS Lot 4, Block, Plan 21-24 2135 150 Ave. Invermere, BC, V0A 1K0  
Civic Address

Regulation:	Requirement:	Proposed:	Comment:
Site Data:			
Zoning:	R3	R3	Permitted Use
Total Lot Area:	5075 sq.m.	5075 sq.m.	
Total Building Footprint:	208 sq.m.	208 sq.m.	
Total Site Coverage:	48%	48%	Conforms
Setbacks:			
Front Yard:	4.5 m	4.5 m	Conforms
Interior Side Yard:	2 m	2 m	Conforms
Rear Yard:	1.3 m	5.6 m	Conforms
Building Height:	12.5 m	13.0 m	Measure to midpoint of roof eaves and ridge of primary roof from finished grade
Building Area:			
Basement Area:	Unit 1: 160 sq.m.	160 sq.m.	
	Unit 2: 80 sq.m.	80 sq.m.	
Main Floor Area:	Unit 3: 160 sq.m.	160 sq.m.	
	Unit 4: 80 sq.m.	80 sq.m.	
Total Floor Area:	320 sq.m.	320 sq.m.	
Parking:	1.5 stalls/unit	1.5 parking stall per unit	4 stalls + 2 off street parking
Standard Stall Size:	2.7 m x 6.0 m	2.7 m x 6.0 m	Conforms



### SITE PLAN - LOT 4

SCALE = 1:100



D

C

B

A

1

2

3

4

5

**BRITISH COLUMBIA BUILDING CODE - 2018 EDITION REVIEW**

Regulation:	Requirement:	Proposed:
<b>Occupancy Classification</b> 4.10.2.1. Building Height	Group C - Residential up to 3 stories	Group C - Residential 2 stories
<b>Building Area</b>	Not more than 600 sq.m.	320 sq.m
<b>Regulation:</b>	<b>Requirement:</b>	<b>Proposed:</b>
<b>Floor Rating</b> 4.10.9.4.1)	Except as permitted in Sentences (2) to (4), all floor assemblies shall be constructed as fire separations	45 min Fire Resistance Rating provided within dwellings, 1 hr Fire Resistance Rating provided between suites
<b>Ceilings</b> 4.10.9.1.4	Fire resistance rating not less than 45 min ...	45 min Fire Resistance Rating provided within dwellings, 1 hr Fire Resistance Rating provided between suites
<b>Roof Rating</b> 4.10.9.1.1)	No rating required	N/A
<b>Loadbearing Rating</b> 4.10.9.3.	Loadbearing walls, columns, and arches shall have a fire-resistance rating not less than that required for the supported assembly (45 min).	45 min Fire-Resistance Rating
<b>Regulation:</b>	<b>Requirement:</b>	<b>Proposed:</b>
<b>Separation of Residential Occupancies</b> 4.10.9.11.1)	... Residential occupancies shall be separated from all other major occupancies by a fire separation having a fire-resistance rating of not less than 1h	1 hr Fire-Resistance Rating provided
<b>Limiting Distance</b> 4.10.14.3.	... A limiting distance equal to half the actual limiting distance shall be used to input requirements where... Fire department response time exceed 10 min.	Limiting distance no less than 4.0m provided throughout. All openings comply with limits stated in Table 4.10.14.4. - A
<b>Smoke Alarms</b> 4.10.14.1.1)	... Smoke alarms conforming to CANULC-9531... shall be installed in a) each dwelling unit, each sleeping room within a dwelling unit, and ancillary and common spaces not in dwelling units in a house with a secondary suite Smoke detectors are permitted to be installed in lieu of smoke alarms as stated in sentence (3) are permitted to sound localized alarms within individual suites, and need not sound an alarm throughout the rest of the building.	Information only Information only
<b>Egress from Dwelling Units</b> 4.9.9.1.1)	... every dwelling unit containing more than 1 storey shall have exits or egress doors located so that 1) than 1 storey to reach a level served up or down more than 1 storey... OR 2) an exit doorway not more than 1.5m above ground level	Max travel distance 1 storey
<b>Egress from Bedrooms</b> 4.9.10.1.1/2)	... Each bedroom shall have at least one outside window or exterior door openable from inside without the use of keys, tools or special knowledge... The window shall provide an unobstructed opening of not less than 0.35 sq m with no dimension less than 300mm and maintain the required opening during an emergency without the need for additional support.	Windows comply, refer to schedule
4.9.10.1.3)	... A window well, a clearance of not less than 760mm shall be provided in front of the window	Window wells provided in conformance
4.10.20.1.1)	... A window or access panel providing an opening not less than 1100 mm high and 550 mm wide and having a sill height of not more than 400 mm above the floor shall be provided on the second and third storeys of every building in at least one wall facing a street if such storeys are not sprinklered	Window provided

**D**

**C**

**B**

**A**

Regulation:	Requirement:	Proposed:
<b>Thermal Characteristics Climate Zone 6</b> 4.36.2.6.1/b)	... The effective thermal resistance of above-ground opaque building assemblies or portions thereof shall be not less than that shown for the applicable heating-degree day category in b)... Where the ventilation system includes heat-recovery equipment	Heat Recovery Ventilators (HRV) provided
<b>Minimum Effective RSI</b> Ceilings below attics: Walls: Floors over unheated spaces:	0.67 2.97 4.67	0.67 4.01 N/A
4.36.2.6.	... The effective thermal resistance of building assemblies that are below-grade or in contact with the ground shall be not less than that shown for the applicable heating degree day category in b) where the ventilation system includes heat-recovery equipment	Heat Recovery Ventilators (HRV) provided
<b>Minimum Effective RSI</b> Foundation walls: Unheated floors below Frost line: Unheated floors above Frost line: Slab on grade with integral Footing:	2.49 Uninsulated 1.96 1.96	4.01 N/A 2.64 2.64
4.36.2.6.2)	Where an entire floor assembly falls into two categories noted above, the more stringent value shall apply	Entire walkout basement slab RSI value of 2.64
<b>Sound Transmission</b> 4.11.1.1.1)	... A dwelling unit shall be separated from every other space in a building in which noise may be generated by a separating assembly and adjoining constructions, which together provide an apparent sound transmission class (ASTC) rating of not less than 47	ASTC 47 walls provided (refer to schedule) these assemblies, need to review and revise if not meeting, please try and let me know
<b>Required Protection from Precipitation</b> 4.27.2.2.5)	... exterior walls exposed to precipitation shall be protected against precipitation ingress by an exterior cladding assembly consisting of a first plane of protection and second plane of protection incorporating a capillary break, where a) the number of degree-days is less than 2400 or more, and the moisture index is greater than 0.50 or b) the number of degree-days is 3400 or more, and the moisture index is greater than 1.00	Number of degree days 4750. Moisture Index of 0.57. Secondary plane of protection not required. this data can be found in appendix C. Find the closest city in the list
4.27.2.2.6)	... in exterior walls described in sentence (5), the first and second planes of protection need not incorporate a capillary break where a) it can be shown that omitting the capillary break will not adversely affect the performance of the building assemblies, c) the wall is constructed of non-moisture sensitive materials, and intersecting or supported floors are also constructed of non-moisture-sensitive materials, or b) is constructed as a mass wall of sufficient thickness to minimize the transfer of moisture to the interior	ICF wall construction complies with requirement as noted. Utilized non-moisture sensitive materials and does not include intersecting floor assemblies.

**SEALS**



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DATE	BY	REVISIONS + ISSUES
2022-05-02	BD	ISSUED FOR PERMIT
2022-05-17	BD	ISSUED FOR PERMIT
2022-07-05	BD	ISSUED FOR PERMIT
2022-08-15	BD	ISSUED FOR PERMIT

**Pinetree Meadows**  
**Phase 1, Lot 4**  
**Generation Homes**  
**15 Ave Invermere BC**

**PROJECT TITLE**

**DRAWING TITLE**

**CODE REVIEW**

SCALE:	1:1
DRAWN:	JF
CHECKED:	RKD/MRR
DATE:	OCT '21
PROJECT NO:	22-030
<b>A1.0</b>	



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REVISIONS + ISSUES	
NO.	REVISION FOR
2022.02.03	CLIENT REVIEW
2022.02.02	BUILDING PERMIT
2022.05.17	RE-CALLED FOR RF
2022.04.15	RE-CALLED FOR RF

# Pinetree Meadows Phase 1, Lot 4 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

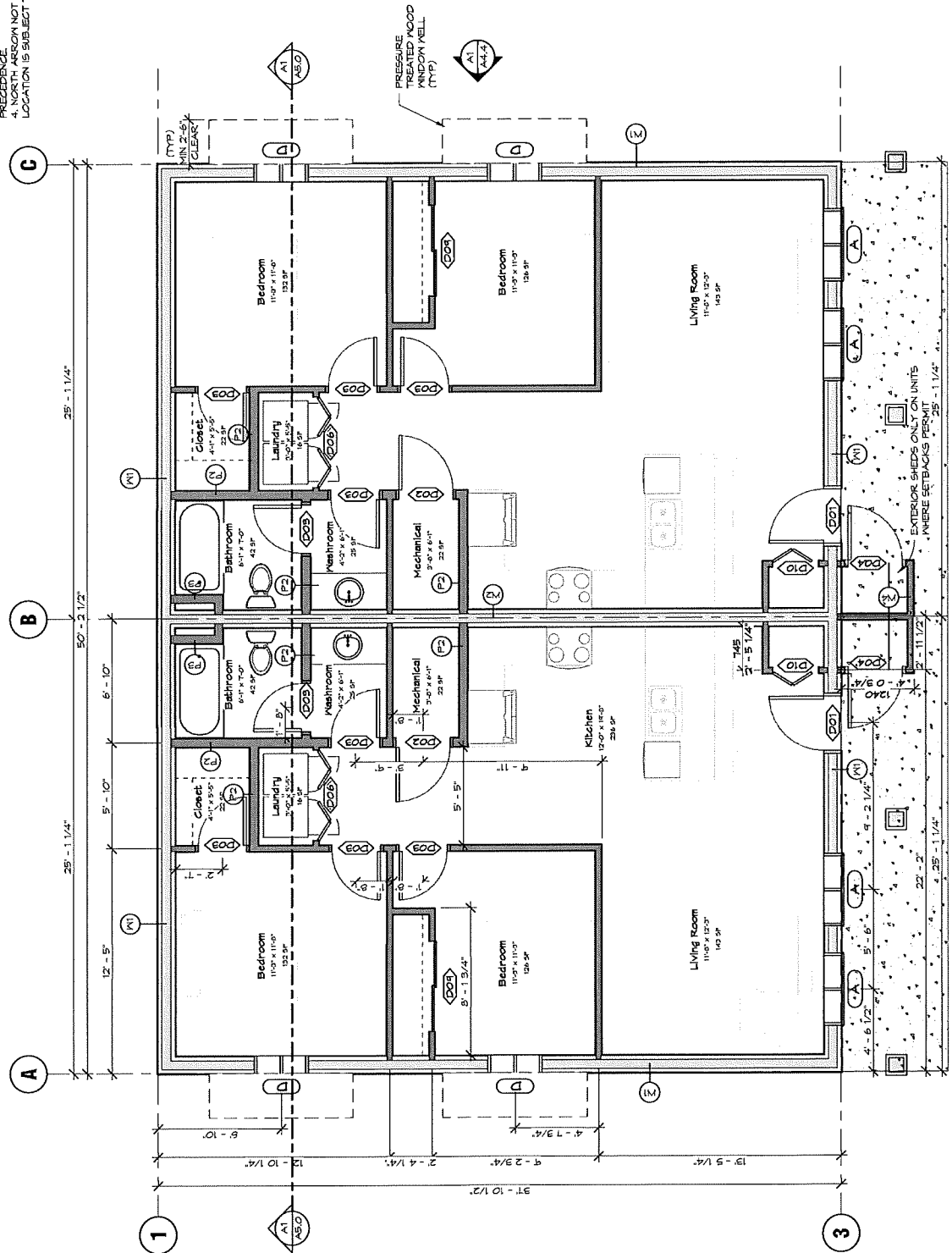
# BASEMENT FLOOR PLAN

DRAWING TITLE

SCALE:	As Indicated
DRAWN:	RKD
CHECKED:	M/R/R
OCT. 21	A3.0
21-070	

### GENERAL NOTES

1. ALL INTERIOR PARTITIONS TO BE ASSEMBLY TYPE PT UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE TO BE CENTRED IN OPENING UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS NOTED "CLR" TO TAKE FACE UNLESS OTHERWISE NOTED.
4. NORTH ARROW NOT SHOWN AS LOCATION IS SUBJECT TO CHANGE.



NOTE: DIMENSIONS THE SAME AS OPPOSITE SIDE, MIRROR IMAGE ONLY.

### BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



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REVISIONS + ISSUES

NOV 14 2022	ISSUED FOR
DEC 02 2022	CLIENT REVIEW
MAY 02 2022	BUILDING PERMIT
MAY 17 2022	RE-ISSUED FOR BP
MAY 15 2022	RE-ISSUED FOR BP

# Pinetree Meadows Phase 1, Lot 4 Generation Homes BC

PROJECT TITLE

# MAIN FLOOR PLAN

DRAWING TITLE

SCALE: As Indicated

DRAWN: RKD

CHECKED: IM/RR

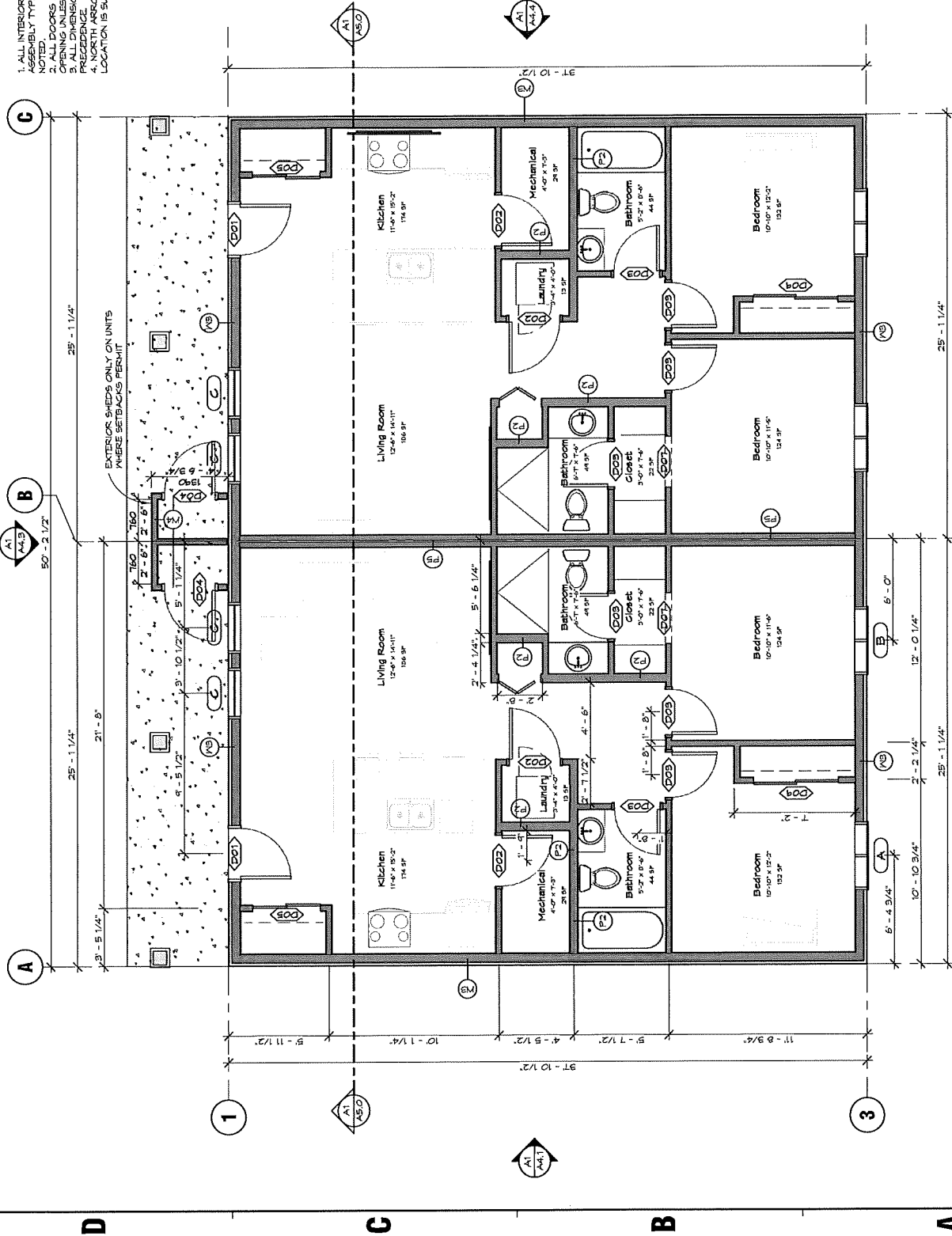
OCT. 21

## A3.1

21-070

### GENERAL NOTES

1. ALL INTERIOR PARTITIONS TO BE ASSEMBLY TYPE P1 UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE TO BE CENTRED IN OPENING UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS NOTED "CLR" TO TAKE
4. NORTH ARROW NOT SHOWN AS LOCATION IS SUBJECT TO CHANGE.



NOTE: DIMENSIONS THE SAME AS OPPOSITE  
SIDE, MIRROR IMAGE ONLY.

### MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"





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REVISIONS + ISSUES

NO.	DATE	BY	DESCRIPTION
01	2022.05.03	AK	ISSUED FOR PERMIT
02	2022.05.03	AK	BUILDING PERMIT
03	2022.05.17	AK	ISSUED FOR BP
04	2022.05.17	AK	ISSUED FOR BP

# Pinetree Meadows Phase 1, Lot 4

15 Ave Invermere BC

PROJECT TITLE

# ROOF PLAN

DRAWING TITLE

SCALE: 1" = 1/4"

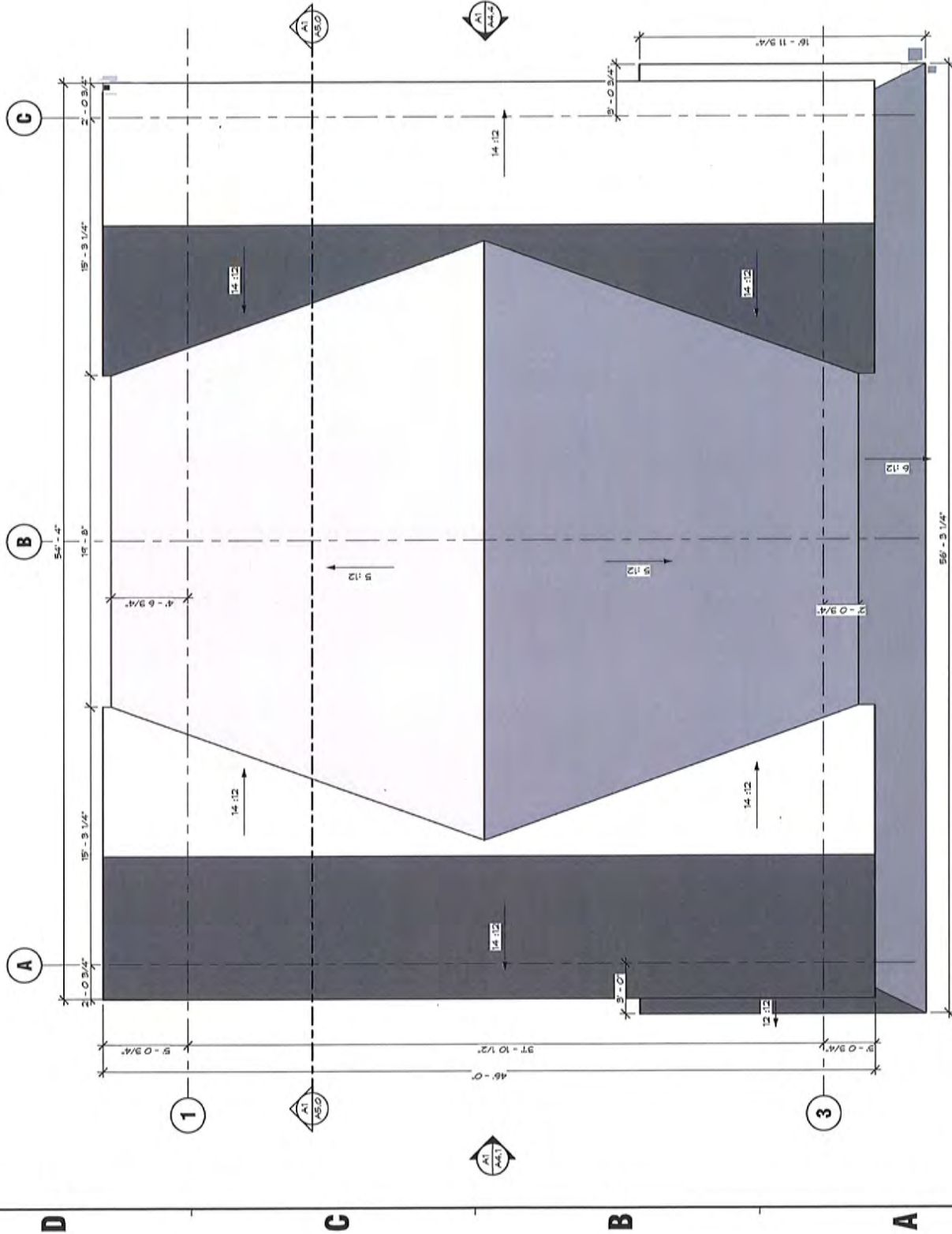
DRAWN: RKS/D/E

CHECKED: IM/RR

OCT. 21

21-070

## A3.4



### T.O. ROOF

SCALE 1" = 1/4"

A1  
A3.4

1 2 3 4 5



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REVISIONS + ISSUES

NO.	DATE	ISSUE	REASON FOR
001	2022.05.03	CLIENT REVIEW	
002	2022.05.03	BUILDING PERMIT	
003	2022.05.17	RE-CHECKED FOR RF	
004	2022.06.14	RE-CHECKED FOR RF	

# Pinetree Meadows Phase 1, Lot 4 Generation Homes BC

PROJECT TITLE

# EXTERIOR BUILDING ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKD/JE

CHECKED: IM/RR

OCT-21

21-070

## A4.0

### KEYNOTE LEGEND

01	ASPHALT SHINGLE
02	WHITE HORIZONTAL 1/2" HARDIE LAP
03	DARK TONE HARDIE VERTICAL PLANK
04	DARK TONE HARDIE BOARD AND BATTEN
05	SOLID WOOD COLUMN WITH FURRED HARDIE BASE
06	CONCRETE PATIO /V FAUX WOOD FASCIA AS REQD
07	PINE (OR FAUX ALUMINUM/POLY EQUIVALENT) SOFFIT



**ELEVATION A**  
SCALE: 1" = 1/4"



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REVISIONS + ISSUES

NO. 01	DATE	REVISION
02	03/03/20	CLIENT REVIEW
03	03/03/20	BUILDING PERMIT
04	03/17/20	RE-ASSUED FOR DP
05	04/14/20	RE-ASSUED FOR RP

Pinetree Meadows  
Phase 1, Lot 4  
Generation Homes  
15 Ave Invermere BC

PROJECT TITLE

EXTERIOR  
BUILDING  
ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKD/JE

CHECKED: RKD/M/RR

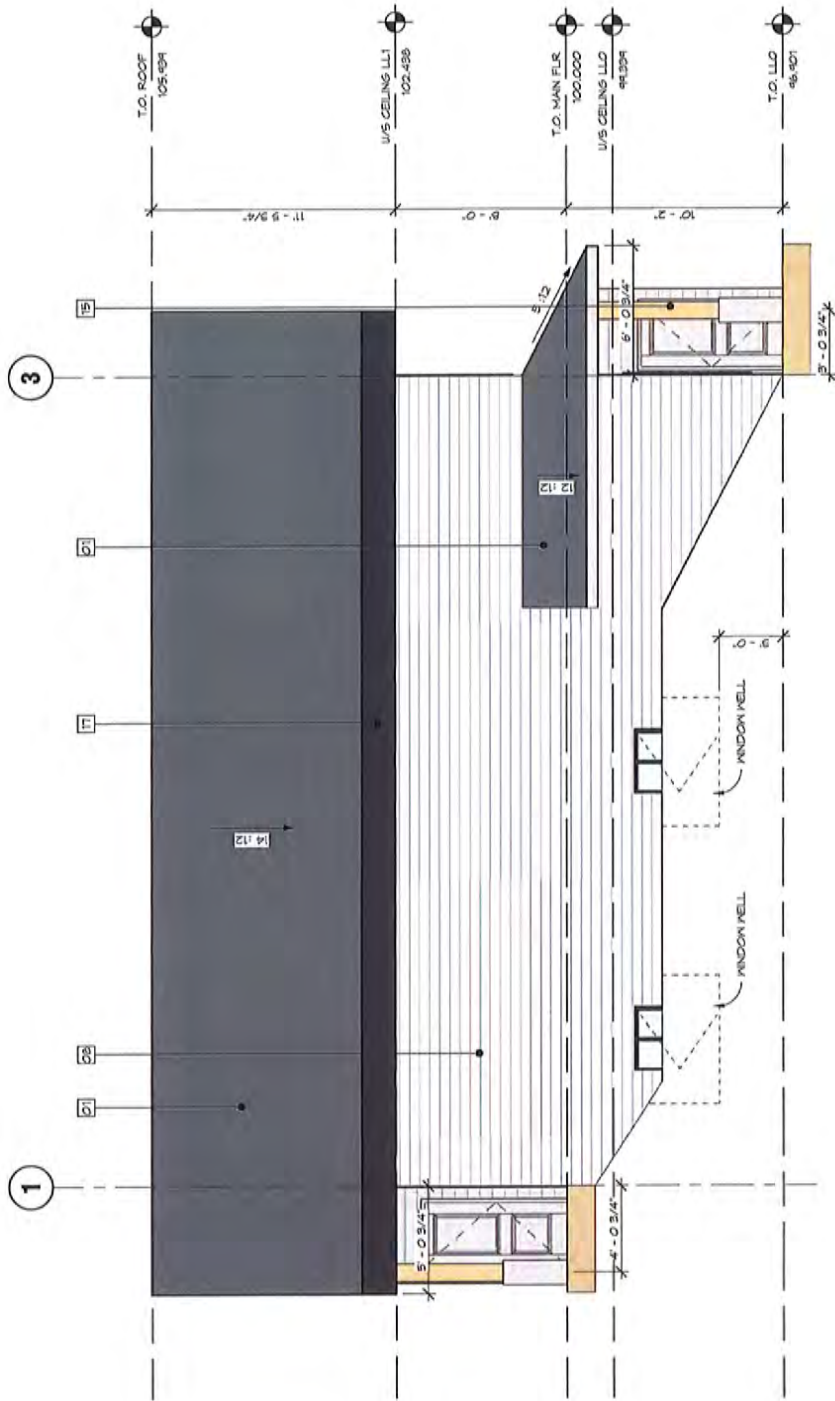
OCT. 21

A4.1

21-070

KEYNOTE LEGEND

01	ASPHALT SHINGLE
02	WHITE HORIZONTAL 1/2" HARDIE LAP
03	SOLID WOOD COLUMN WITH FERRED HARDIE BASE
04	PINE (OR FAUX ALUMINUM/POLY EQUIVALENT) SOFFIT



ELEVATION B

SCALE: 1" = 1/4"



5

4

3

2

1



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REVISIONS + ISSUES

NO.	DATE	ISSUE	REVISION FOR
0001	01.20.20	CLIENT REVIEW	ISSUED FOR PERMIT
0002	02.03.20	BUILDING PERMIT	ISSUED FOR PERMIT
0003	05.17.20	ISSUED FOR PERMIT	ISSUED FOR PERMIT
0004	06.15.20	ISSUED FOR PERMIT	ISSUED FOR PERMIT

# Pinetree Meadows Phase 1, Lot 4 Generation Homes BC 15 Ave Invermere BC

PROJECT TITLE

# EXTERIOR BUILDING ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: R/KD/JE

DESIGNED: M/R/R

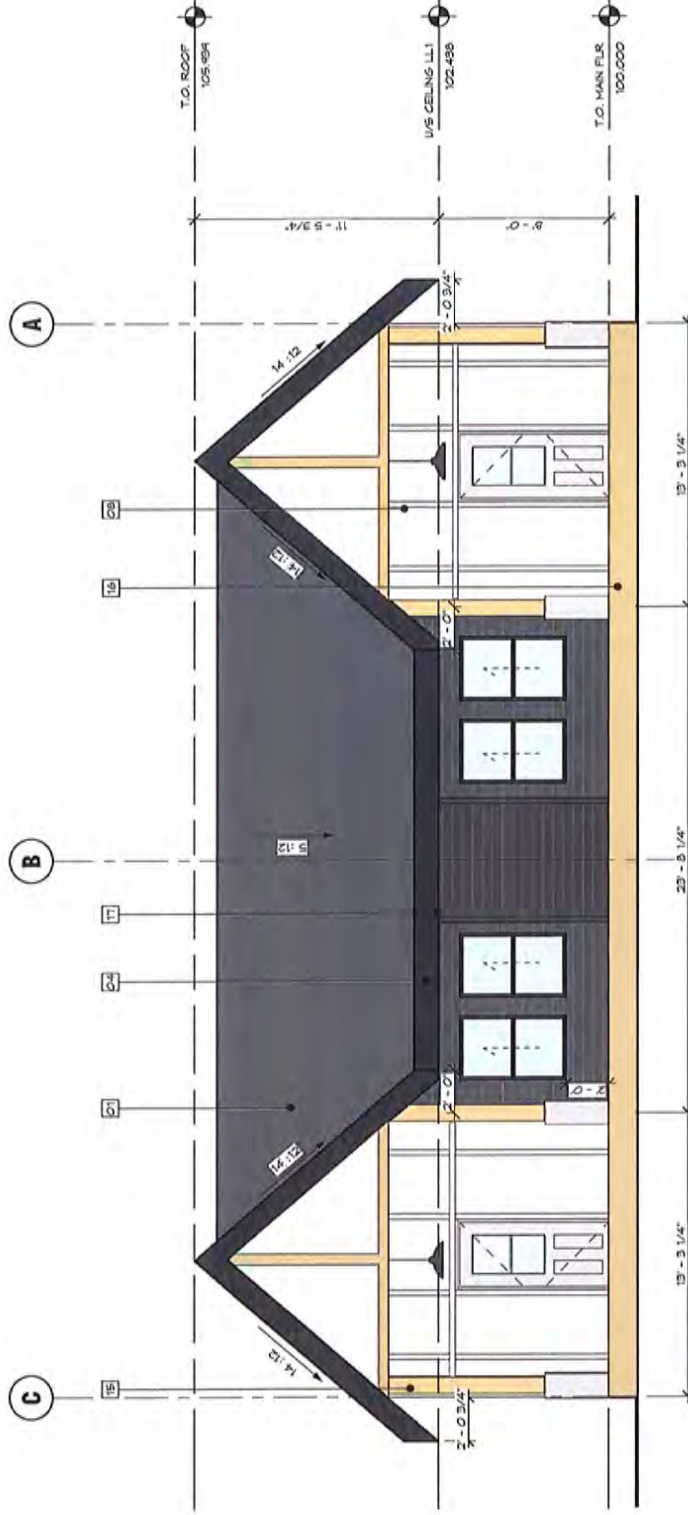
OCT. 21

21-070

## A4.3

### KEYNOTE LEGEND

01	ASPHALT SHINGLE
04	CHARCOAL FASCIA
08	WHITE HORIZONTAL 1/2" HARDIE LAP
10	SOLID WOOD COLUMN WITH FLURRED HARDIE BASE
15	CONCRETE PATIO W/ FAUX ALUM/POLY FASCIA AS REQ'D
16	PINE (OR FAUX ALUM/POLY EQUIVALENT) SOFFIT



### ELEVATION C

SCALE: 1/4" = 1"

A1  
A4.3

D

C

B

A

1

2

3

4

5



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REVISIONS + ISSUES

NO.	DATE	BY	REASON
01	2022.04.20	JE	ISSUED FOR PERMIT
02	2022.03.03	JE	CLIENT REVIEW
03	2022.03.03	JE	BUILDING PERMIT
04	2022.03.17	JE	ISSUED FOR BP
05	2022.04.14	JE	ISSUED FOR PERMIT

Pinetree Meadows  
Phase 1, Lot 4  
Generation Homes BC  
15 Ave Invermere BC

PROJECT TITLE

EXTERIOR  
BUILDING  
ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKD/JE

CHECKED: M/RS

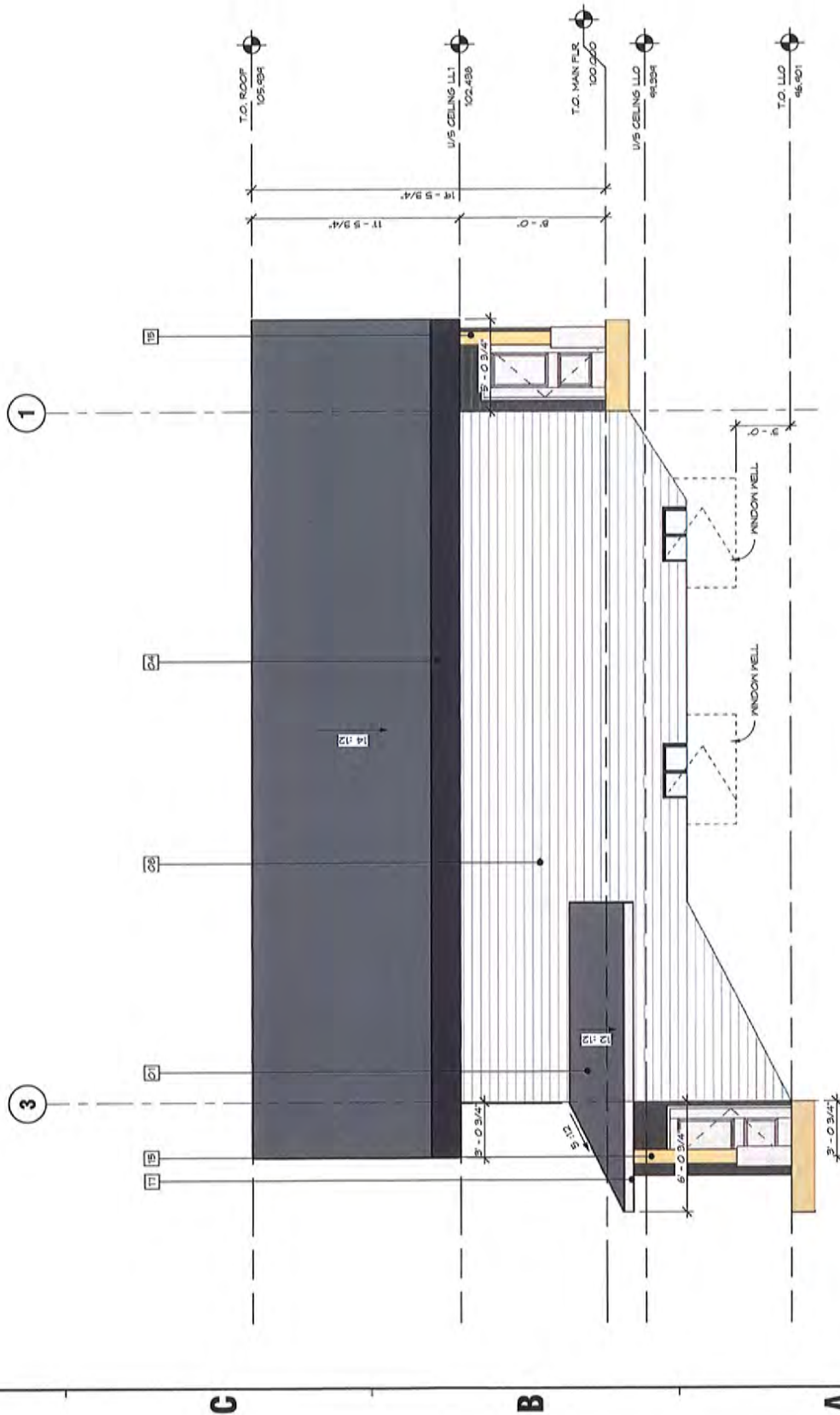
OCT 21

21-070

A4.4

KEYNOTE LEGEND

01	ASPHALT SHINGLE
04	CHARCOAL FASCIA
08	WHITE HORIZONTAL 1/2" HARDIE LAP
15	SOLID WOOD COLUMN WITH FURRED HARDIE BASE
17	PINE (OR FAUX ALUM./POLY EQUIVALENT) SOFFIT



ELEVATION D

SCALE: 1" = 1/4"

A1  
A4.4

5

4

3

2

1

D

C

B

A



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REVISIONS + ISSUES

NO.	DATE	ISSUE	REASON
001	04/20/22	ISSUED FOR PERMIT	
002	05/03/22	CLIENT REVIEW	
003	05/02/22	BUILDING PERMIT	
004	09/17/22	RE-ISSUED FOR BP	
005	04/15/22	PERMITTING MARKUP	

# Pinetree Meadows Phase 1, Lot 4 Generation Homes 15 Ave Invermere BC

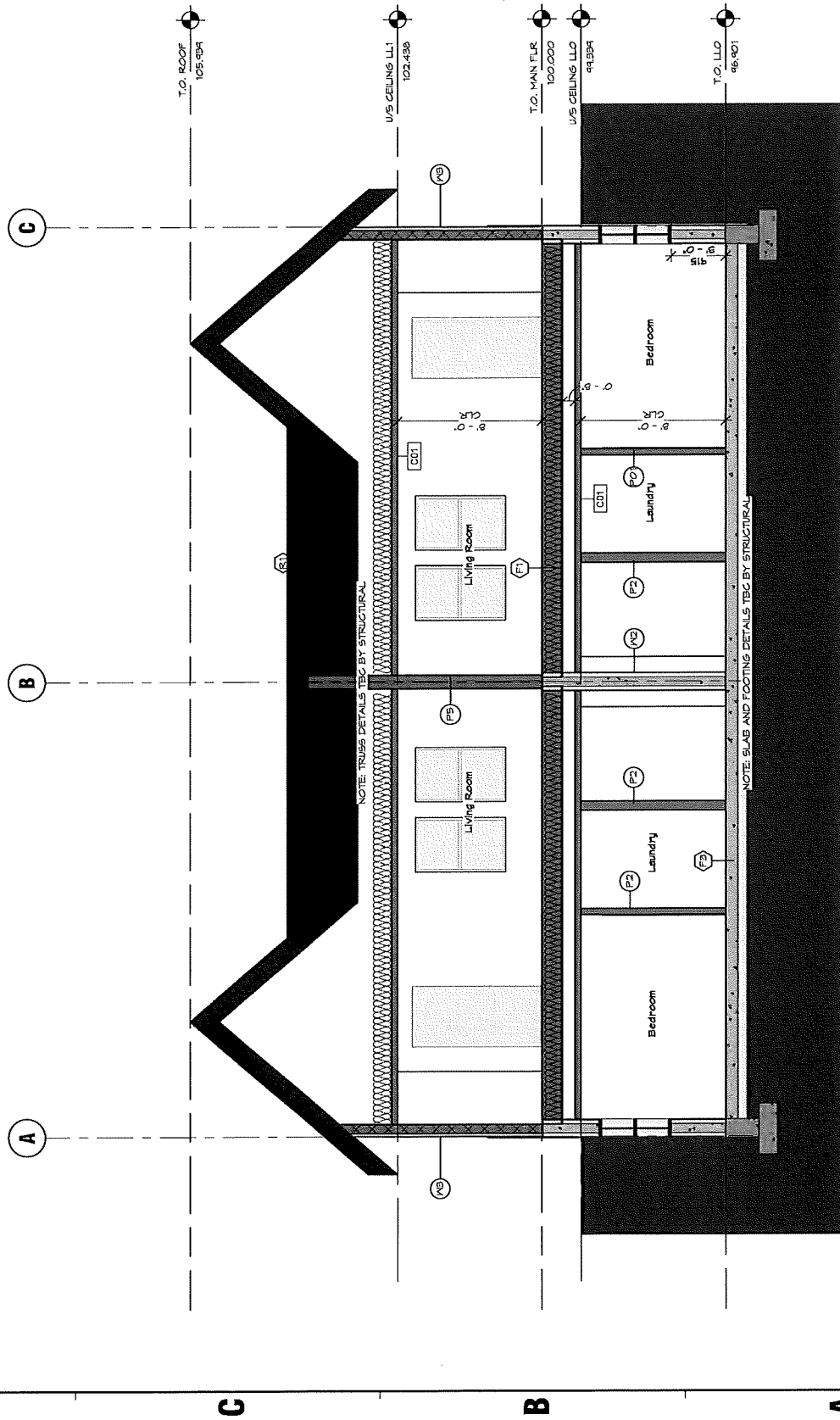
PROJECT TITLE

# BUILDING SECTIONS

DRAWING TITLE

SCALE:	1" = 1/4"
DRAWN:	RKD
CHECKED:	IM/RR
OCT 21	
21-070	

## A5.0



**SECTION A**  
A1  
A5.0 SCALE 1" = 1/4"



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REVISIONS + ISSUES

NO.	DATE	ISSUED FOR
2022-03-03	CLIENT REVIEW	
2022-05-02	BUILDING PERMIT	
2022-05-17	RE-SUBMITTED FOR BP	
2022-04-15	RE-SUBMITTED FOR BP	

Generation Homes  
15 Ave Invermere BC

PROJECT TITLE

DOOR +  
WINDOW  
SCHEDULES

DRAWING TITLE

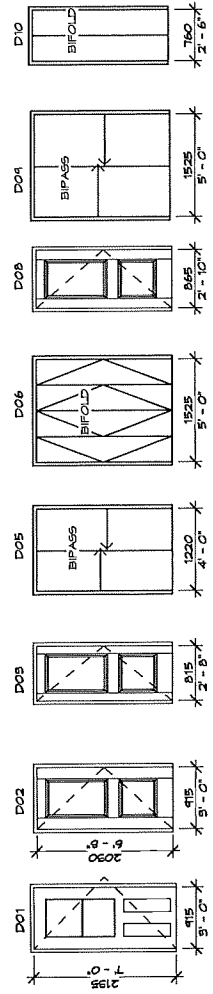
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DRAWN: R/KD

CHECKED: IM/RR

OCT. 21  
21-070  
A7.0

DOOR ELEVATIONS



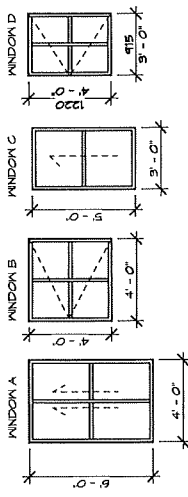
NOTE: SWING DIRECTION AS PER PLANS. DOOR STYLE/# PANELS SUBJECT TO CHANGE. ROUGH OPENING AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS. HARDWARE TEC.

DOOR SCHEDULE

Dimension are Nominal Only. Contractor to Verify on site

DOOR	ELEV.	WIDTH	HEIGHT	Door Style	Count	FINISH	F.R. LABEL	NOTES
D01	415	7'-0"	6'-9"	HMD (INSULATED) / PSF / PAINTED	4	TBC		Verteal - Must be Barrier-Free Compliant
D02	415	6'-9"	5'-0"	MD (HOLLOW) / PSF / PAINTED	6	TBC		
D03	415	5'-0"	4'-0"	MD (HOLLOW) / PSF / PAINTED	18	TBC		
D04	415	5'-0"	5'-0"	HMD (INSULATED) / PSF / PAINTED	4	TBC		Exterior door can double-leaf - Only applies if exterior sheds included
D05	1220	4'-0"	5'-0"	MD (HOLLOW) / PSF / PAINTED	2	TBC		
D06	1525	5'-0"	5'-0"	MD (HOLLOW) / PSF / PAINTED	2	TBC		
D07	0	5'-0"	4'-0"	(none)	2	TBC		
D08	1525	5'-0"	5'-0"	MD (HOLLOW) / PSF / PAINTED	4	TBC		
D09	1525	5'-0"	5'-0"	MD (HOLLOW) / PSF / PAINTED	4	TBC		
D10	1525	5'-0"	5'-0"	MD (HOLLOW) / PSF / PAINTED	4	TBC		Opening Only - No door

WINDOW ELEVATIONS



NOTE: REFER TO ELEVATIONS FOR OPERABLE WINDOW LOCATIONS. ROUGH OPENINGS AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS. ALL WINDOWS TO MEET BCBC 2018 PART 4.3.6. BEDROOM WINDOWS MUST MEET EGRESS REQUIREMENTS.

WINDOW SCHEDULE

Type Mark	Count	Height	Width	Comments
A	6	1520	1220	
B	3	1320	1320	1'-6" AFF UNO
C	4	1525	915	1'-6" AFF UNO
D	4	1220	915	TYP 3'-0" AFF UNO

## Phase 2



# LOGEPOLE MODEL ASSEMBLY SCHEDULES

## EXTERIOR WALLS

- M1- 6" ICE EXTERIOR MALL**
- CLADDING AS PER ELEVATIONS
  - AIR BARRIER
  - 1" RIGID INSULATION
  - 1" CONCRETE
  - 2 1/2" RIGID INSULATION
  - VAPOUR BARRIER
  - 1/2" GYPSUM MALL BOARD

- M2- 6" ICE CENTRE MALL (H.R. FR. STC 5/1)**
- 1/2" GYPSUM MALL BOARD
  - 2" RIGID INSULATION
  - 1" CONCRETE
  - 2 1/2" RIGID INSULATION
  - 1/2" GYPSUM MALL BOARD

- M3- EXTERIOR ABOVE GRADE MALL**
- 1/2" NON-COMBUSTIBLE CLADDING (AS PER ELEVATIONS)
  - 2" RIGID INSULATION
  - AIR/WEATHER BARRIER
  - 1/2" EXTERIOR GRADE SHEATHING
  - 3/8" MOOD STUDS @ 16" O.C.
  - CAVITY FILLED BATT INSULATION
  - LIQUID APPLIED VAPOUR BARRIER

- M3B- EXTERIOR ABOVE GRADE MALL**
- 1/2" NON-COMBUSTIBLE CLADDING (AS PER ELEVATIONS)
  - 1/2" SEMIRIGID MINERAL WOOL INSULATION
  - AIR/WEATHER BARRIER
  - 1/2" EXTERIOR DENSGLASS SHEATHING
  - 3/8" MOOD STUDS @ 16" O.C.
  - CAVITY FILLED MINERAL WOOL INSULATION
  - LIQUID APPLIED VAPOUR BARRIER

- M4- EXTERIOR SHEED MALL**
- CLADDING AS PER ELEVATIONS
  - 1/2" PLYWOOD
  - 3/8" MOOD STUDS @ 16" O.C.
  - BATT INSULATION
  - 1/2" PLYWOOD

## CEILING

- C01- FINISHED CEILING**
- DIMENSIONAL LUMBER FRAMING/TURSKING
  - VAPOUR BARRIER (WHEN EXPOSED TO ATTIC)
  - SOUND PANNELLING (ON LOWER LEVEL)
  - 1/2" SAC RESISTANT GYPSUM BOARD
  - LOW PROFILE TEXTURED FINISH

## FLOORS

- F1- II- FULL INSULATED JHR FRS**
- VINYL PLANK FLOORING
  - 1/2" OSB
  - 11 7/8" TJS
  - ACOUSTIC BATT FILLED JOIST CAVITY
  - 2 LAYERS 5/8" GYPSUM MALL BOARD, TYPE X

- F2- II- FULL 5/8" FRS**
- VINYL PLANK FLOORING
  - 5/8" OSB
  - 11 7/8" TJS
  - ACOUSTIC BATT FILLED JOIST CAVITY
  - 5/8" GYPSUM MALL BOARD, TYPE X

- F3- INSULATED BASEMENT SLAB**
- VINYL PLANK FLOORING
  - 5/8" FLOORING UNDERLAY
  - VAPOUR BARRIER
  - REINFORCED CONCRETE SLAB (AS PER STRUCTURAL)
  - 2" RIGID INSULATION (HIGH DENSITY, BEHIND RIGID INSULATION)
  - 5/8" COMPACTED GRAVEL (AS PER STRUCTURAL)

## INTERIOR PARTITIONS

- P1- 2x4 INTERIOR PARTITION**
- 1/2" GYPSUM MALL BOARD
  - 3x4 MOOD STUDS @ 16" O.C.
  - 1/2" GYPSUM MALL BOARD

- P2- 2x6 PLUMBING/BEARING PARTITION**
- 1/2" GYPSUM MALL BOARD
  - 3x4 MOOD STUDS @ 16" O.C.
  - 1/2" GYPSUM MALL BOARD

NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

- P3- 2x6 PARALLEL PARTITION**
- 2x6 MOOD STUDS @ 16" O.C.
  - 1/2" GYPSUM MALL BOARD
- NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

- P4- 2x4 EXTERIOR SHEED PARTITION**
- 1/2" PLYWOOD
  - 3x4 MOOD STUDS @ 16" O.C.
  - 1/2" PLYWOOD

- P5- PARTY MALL (H.R. FR. STC 5/1)**
- 2 LAYERS 5/8" TYPE X GYPSUM MALL BOARD
  - 3x4 MOOD STUDS @ 16" O.C.
  - ACOUSTIC BATT INSULATION
  - 1" AIR SPACE
  - 2 LAYERS 5/8" TYPE X GYPSUM MALL BOARD
  - 1" AIR SPACE
  - ACOUSTIC BATT INSULATION
  - 3 LAYERS 5/8" TYPE X GYPSUM MALL BOARD
- NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

- P6- 2x6 MOOD GABLE MALL**
- CLADDING (AS PER ELEVATIONS)
  - WEATHER BARRIER
  - 1/2" DENSGLASS SHEATHING
  - 3x6 MOOD STUDS @ 16" O.C.
  - CAVITY FILLED MINERAL WOOL INSULATION
  - 1/2" DENSGLASS SHEATHING

## ROOFS

- R1- INSULATED TRUSS ROOF**
- ASPHALT SHINGLES
  - UNDERLAY
  - AIR BARRIER
  - PLYWOOD SHEATHING (AS PER STRUCTURAL)
  - OPEN WEB TRUSSES (AS PER STRUCTURAL)
  - SOFFITS AND FASCIA (AS PER ELEVATIONS)

- R2- UNINSULATED GANTRY ROOF**
- ASPHALT SHINGLES
  - UNDERLAY
  - PLYWOOD SHEATHING (AS PER STRUCTURAL)
  - DIMENSIONAL FRAMING (AS PER STRUCTURAL)
  - SOFFITS AND FASCIA (AS PER ELEVATIONS)

- R3- INSULATED PORTNER ROOF**
- ASPHALT SHINGLES
  - UNDERLAY
  - AIR BARRIER
  - PLYWOOD SHEATHING (AS PER STRUCTURAL)
  - OPEN WEB TRUSSES (AS PER STRUCTURAL)
  - 5" FTI FILL (AS PER M.I.C.)
  - 2" RIGID INSULATION UNDERSIDE FINISH
  - 1/2" GYPSUM MALL BOARD (SMOOTH FINISH)
  - SOFFITS AND FASCIA (AS PER ELEVATIONS)

## DRAWING SYMBOLS LEGEND

- DOOR TAG REFER TO SCHEDULE
- WINDOW TYPE TAG, REFER TO SCHEDULE
- ROOM NAME
- DETAIL INDICATOR
- DETAIL #
- PAGE CROSS REFERENCE
- SECTION # ELEVATION INDICATOR
- SECTION #
- VIEW DIRECTION OF ELEVATION
- PAGE CROSS REFERENCE
- ELEVATION INDICATOR
- CEILING HEIGHT INDICATOR
- KEYNOTE INDICATOR
- MALL TYPE SYMBOL
- ROOF TYPE SYMBOL
- FLOOR TYPE SYMBOL
- NORTH ARROW

## GENERAL NOTES

- DO NOT SCALE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND CONTRACTOR TO COMPARE DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
- ALL WORK COMPLIES WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE - 2018 CBC/ECB EDITION AND LOCAL ORDINANCES.
- COORDINATE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS. ALL DIMENSIONS REQUIRED FOR THE FITTING OF ALL COMPONENTS AS NECESSARY TO ENSURE THEIR SOUND OPERATION UPON COMPLETION.
- ALL WALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE CONSTRUCTION ASSEMBLY PAGE SHOW TRUE REPRESENTATION OF COMPLETED CONSTRUCTION. INFORMATION FROM THESE ASSEMBLIES SUPERSEDES ALL COMPLETED DETAILS AND NOTATION COMPLETED ON THE FOLLOWING CONSTRUCTION DRAWINGS.
- REFER TO STRUCTURAL FRAMING PLANS FOR LOCATIONS OF ALL INTERIOR LOAD BEARING ASSEMBLIES AND SHEAR WALL LOCATIONS.
- ALL EXPOSED CONCRETE WALL CORNERS SHALL BE CHAMFERED.
- ALL 6:1 FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.
- MAINTAIN CONTINUOUS FIRE RATED SEPARATION AROUND JANITOR ROOMS, STORAGE ROOMS, AND MECHANICAL ROOMS TO UNDERSIDE OF STRUCTURE.
- PROVIDE CONTINUOUS SEPARATION AROUND BOTH SIDES OF ALL DOOR AND WINDOW FRAMES.
- IN ALL LOCATIONS WHERE GYPSUM BOARD ABUTS DISSIMILAR MATERIAL, USE A MILOR AND/OR J-TREIM AT EDGE SURFACES ALLOW 3MM 1/8" GAP EX DOOR, WINDOW FRAME, CONCRETE MALL, CONCRETE BRICK ETC.
- PROVIDE CORNER BEAD FOR ALL EXPOSED GYPSUM MALL BOARD CORNERS.
- ALL FINISHES SHALL BE DIRECTLY ATTACHED TO GYPSUM BOARD OR OTHER FINISH MATERIALS AND NOT TO GYPSUM BOARD OR OTHER FINISH MATERIALS.
- ALL GYPSUM BOARD SHALL BE PRESSURE TREATED.
- PERFORM ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED. SEE MECHANICAL AND ELECTRICAL FOR EXACT TYPES AND QUANTITY OF DIFFUSERS, GRILLES, FIXTURES AND EQUIPMENT. PROVIDE MECHANICAL AND ELECTRICAL DRAWINGS TO SUIT ARCHITECTURAL RELATED CEILING PLANS AND/OR DETAILS.
- CAULK AND SEAL AROUND ALL DUCTS AND PIPES PASSING THROUGH FIRE RATED PARTITIONS AND FLOOR ASSEMBLIES WITH APPROVED (ULC) MASTIC GULLIONS.
- PROVIDE ACOUSTICAL SEALANT AT JUNCTIONS OF SOUND RATED PARTITIONS.
- WHERE ELECTRICAL AND MECHANICAL EQUIPMENT IS TO BE INSTALLED IN SOUND RATED SPACES, PROVIDE ACOUSTICAL SEALANT ALL AROUND.



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REVISIONS + ISSUES

NO.	DATE	ISSUED FOR
2723	04/02	REQUIRED FOR BUILDING PERMIT
2723	04/21	CONSTRUCTION
2724	03/17	ISSUED MAIL ASSEMBLY

PROJECT TITLE

**Pinetree Meadows  
Phase 1, Lots 1,3,5  
Generation Homes  
15 Ave Invermere BC**

Berry Architecture + Associates  
Suite 200, 5210-50 Avenue  
Red Deer, T4N 4B5  
Phone: 403-314-4461  
Contact:

## ARCHITECTURAL SHEET...

Sheet Number	Sheet Name
A0.0	COVER SHEET
A1.0	COVER REVIEW
A2.0	SITE PLAN - BYLAW REVIEW
A3.0	BASEMENT FLOOR PLAN
A3.1	MAIN FLOOR PLAN
A3.2	SECOND FLOOR PLAN
A3.4	ROOF PLAN
A4.0	EXTERIOR BUILDING ELEVATIONS
A4.1	EXTERIOR BUILDING ELEVATIONS
A4.3	EXTERIOR BUILDING ELEVATIONS
A4.4	EXTERIOR BUILDING ELEVATIONS
A5.0	BUILDING SECTIONS
A5.1	CONSTRUCTION DETAILS CONT.
A5.2	CONSTRUCTION DETAILS CONT.
A5.3	DOOR AND WINDOW DETAILS CONT.
A5.4	DOOR AND WINDOW SCHEDULES
A5.5	SPECIFICATIONS

DRAWING TITLE

**COVER SHEET**

SCALE: As indicated

DRAWING: RCD

CHECKED: IM/RR

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REVISIONS + ISSUES	
0000 MAY 02	ISSUED FOR
2022 05 02	BUILDING PERMIT
2023 04 05	RE-SEALED FOR BUILDING PERMIT
2023 08 21	CONSTRUCTION

**Pinetree Meadows  
Phase 1, Lots 1,3,5  
Generation Homes BC  
15 Ave Invermere BC**

PROJECT TITLE

**BASEMENT  
FLOOR PLAN**

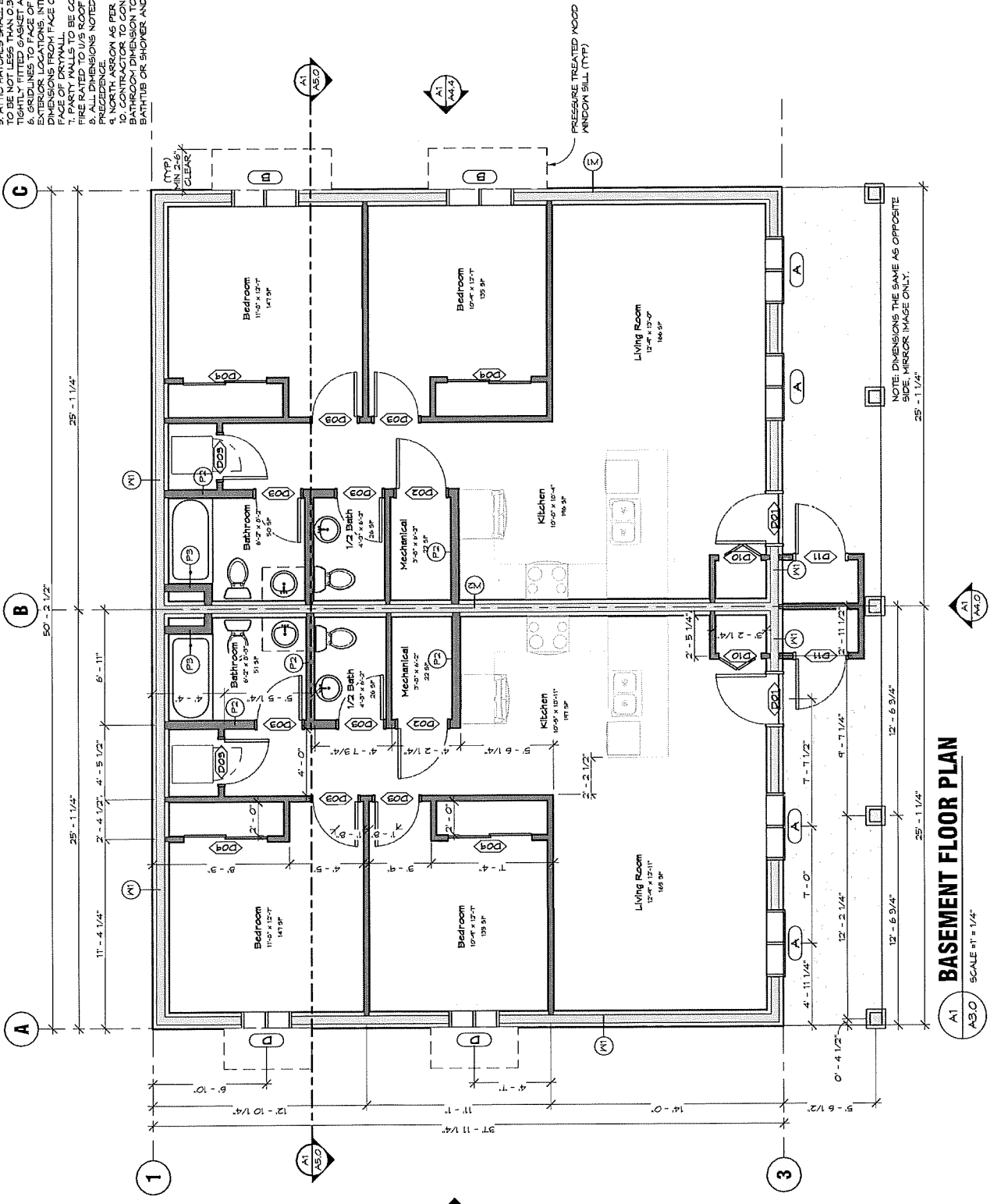
DRAWING TITLE

SCALE:	As Indicated
DRAWN:	RKD
CHECKED:	IM/RR
OCT 21	
21-070	

**A3.0**

**GENERAL NOTES**

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTRED IN OPENING UNLESS NOTED OTHERWISE.
3. ALL DOORS TO HAVE MIN. TO CLEARANCE BELOW.
4. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE.
5. ATTIC HATCHES SHALL BE PROVIDED. HATCHES TO BE TIGHTLY FITTED, GASKET AND COVERS.
6. GRIDLINES TO FACE OF EXTERIOR, AT EXTERIOR LOCATIONS. INTERIOR DIMENSIONS FROM FACE OF DRYWALL TO FACE OF PARTITION TO BE CONTIGUOUS AND TYPE OF PARTITION TO BE CONTIGUOUS AND FIRE RATED TO U/S ROOF DECK.
7. ALL DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE.
8. NORTH ARROW AS PER SITE PLAN.
9. ALL DIMENSIONS TO BE SUPPLIED THROUGHOUT DIMENSION TO SUIT SUPPLIED BATHTUB OR SHOWER AND SURROUND.



NOTE: DIMENSIONS THE SAME AS OPPOSITE SIDE MIRROR IMAGE ONLY.

**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



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REVISIONS + ISSUES	
2023 04 02	ISSUED FOR PERMIT
2023 06 21	CONSTRUCTION PERMIT
2024 03 07	REVISED WALL ASSEMBLY

# Pinetree Meadows Phase 1, Lots 1,3,5 15 Ave Invermere BC

PROJECT TITLE

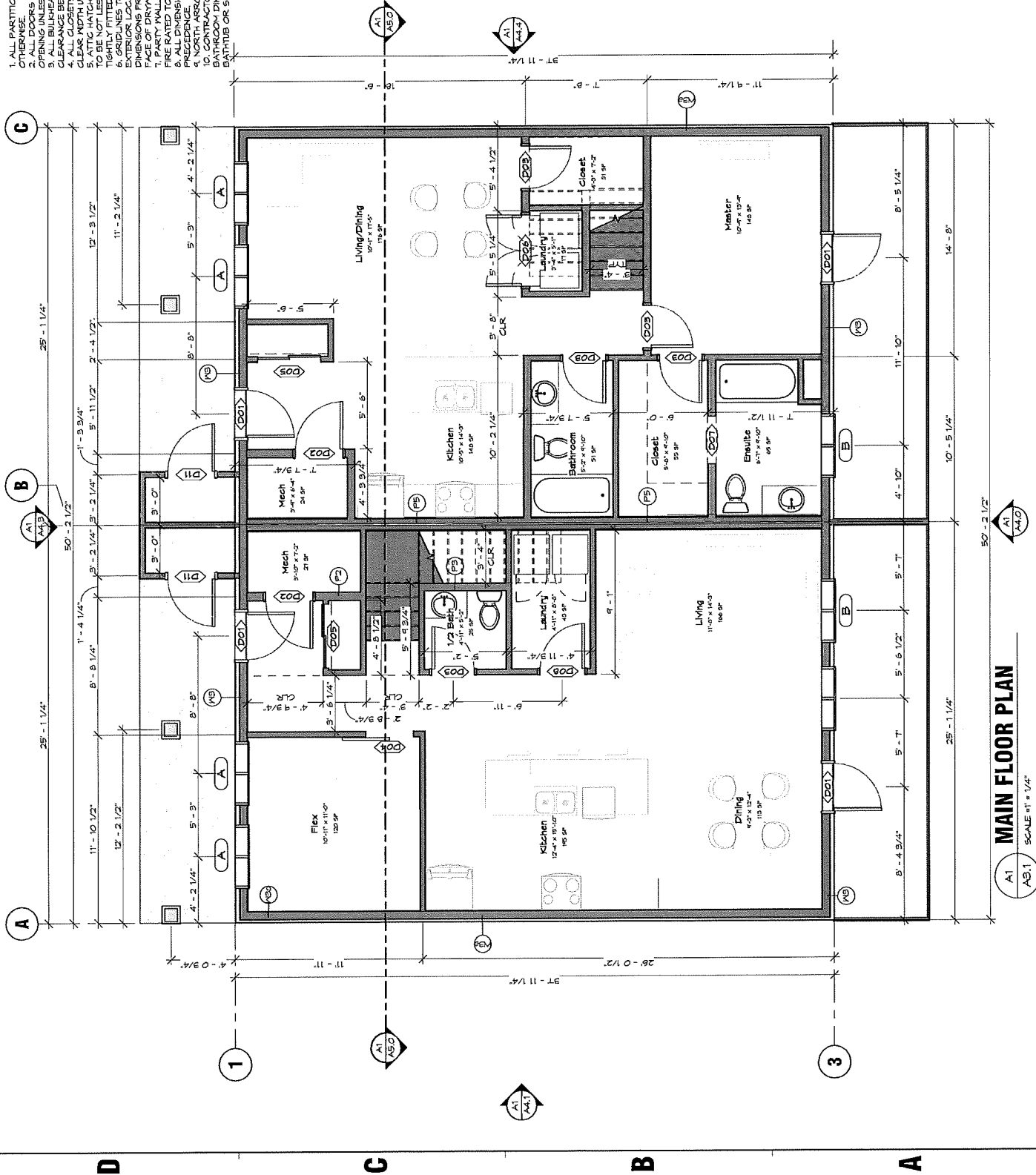
# MAIN FLOOR PLAN

DRAWING TITLE

SCALE:	As Indicated
DRAWN:	RKD
CHECKED:	IM/RR
OCT 21	A3.1
21-070	

### GENERAL NOTES

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTRED IN PARTITION UNLESS NOTED OTHERWISE.
3. ALL WALLS TO HAVE MIN. 10" CLEARANCE BELOW.
4. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE.
5. ALL PARTITIONS SHALL BE FINISHED TO THE FINISHES SHOWN OR NOTED TO BE FINISHED TO MATCH ADJACENT PARTITIONS.
6. GRIDLINES TO FACE OF EXTERIOR, AT EXTERIOR LOCATIONS. INTERIOR DIMENSIONS FROM FACE OF DRYMALL TO FACE OF PARTITION.
7. PASTY WALLS TO BE CONTIGUOUS AND FIRE RATED TO US ROOF DECK.
8. ALL DIMENSIONS NOTED 'CLR.' TO TAKE PRECEDENCE.
9. NORTH ARROW AS PER SITE PLAN.
10. NORTH ARROW TO CONFORM TO BATHROOM DIMENSION TO BUILT SUPPLIED BATH/TUB OR SHOWER AND SURROUND.



MAIN FLOOR PLAN  
SCALE 1/4" = 1'-0"



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REVISIONS + ISSUES

DATE	DESCRIPTION	BY	CHK
2023 04 05	ISSUED FOR BUILDING PERMIT		
2023 09 21	CONSTRUCTION		
2024 03 07	REVISED WALL ASSEMBLY		

# Pinetree Meadows Phase 1, Lots 1,3,5 15 Ave Invermere BC

PROJECT TITLE

## SECOND FLOOR PLAN

DRAWING TITLE

SCALE: As Indicated

DRAWN: RKO

CHECKED: M/RR

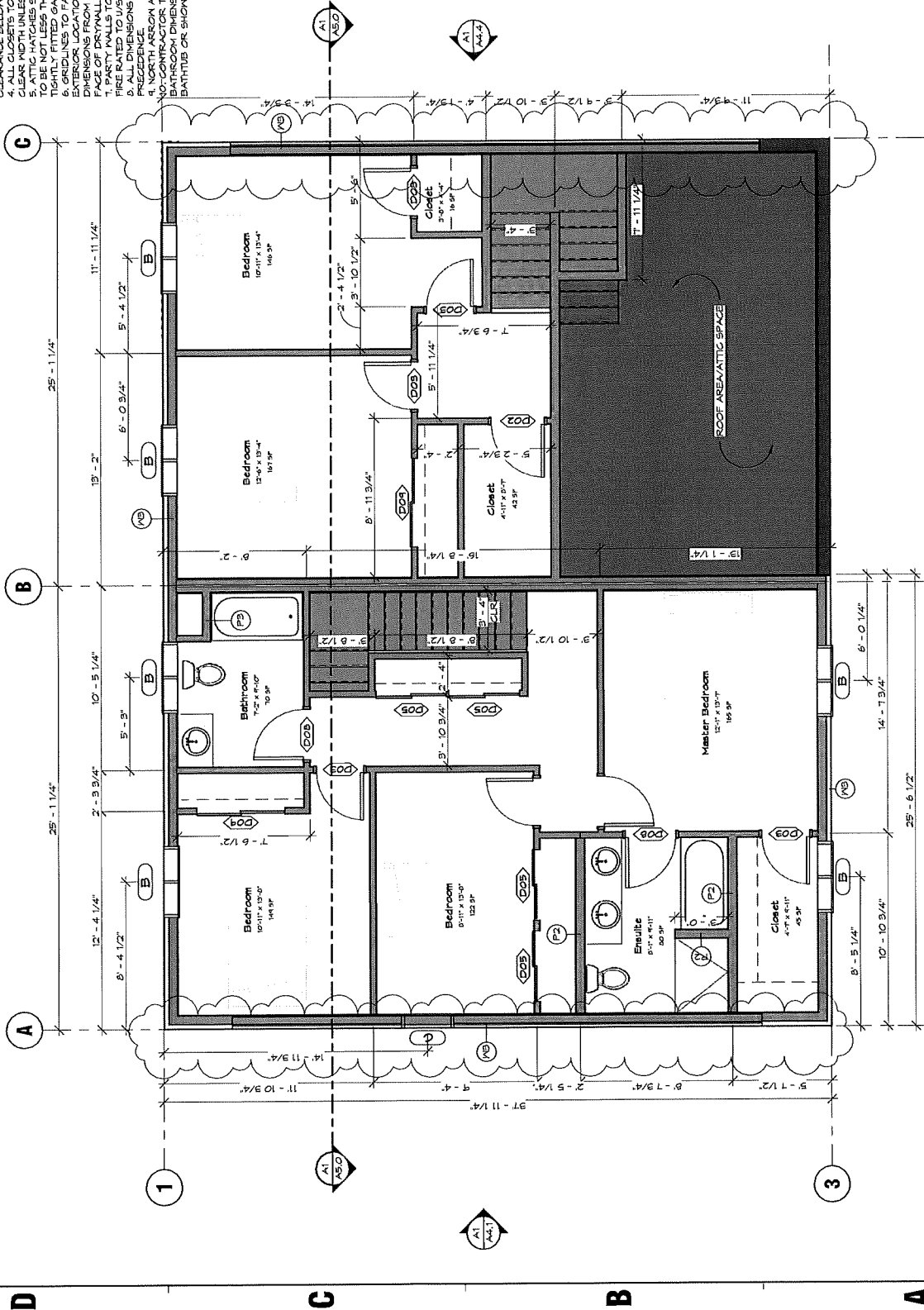
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### A3.2

#### GENERAL NOTES

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTRED IN OPENING UNLESS NOTED OTHERWISE.
3. ALL BULHEADS TO HAVE MIN. 10" CLEARANCE.
4. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE.
5. ATTIC HATCHES SHALL BE PROVIDED TO BE NOT LESS THAN 0.32 sq ft WITH TIGHTLY FITTED GASKET AND COVERS.
6. ALL DIMENSIONS UNLESS NOTED OTHERWISE, AT EXTERIOR LOCATIONS, INTERIOR, AT DIMENSIONS FROM FACE OF DRYWALL TO FACE OF DRYWALL.
7. PARTY WALLS TO BE CONTINUOUS AND FINISH TO BOTH SIDES.
8. ALL DIMENSIONS NOTED 'CLR' TO TAKE PRECEDENCE.
9. NORTH ARROW AS PER SITE PLAN.
10. CONTRACTOR TO CONFIRM BATHROOM DIMENSION TO SUIT SUPPLIED BATHING OR SHOWER AND SURROUNDING.



### SECOND FLOOR PLAN

SCALE: 1/4"



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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION
1	2022 05 02	BUILDING TRMNT
2	2023 04 02	REVISED FOR BUILDING PERMIT
3	2023 06 21	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 15 Ave Invermere BC

PROJECT TITLE

## ROOF PLAN

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: R/KD

CHECKED: M/RR

OCT 21

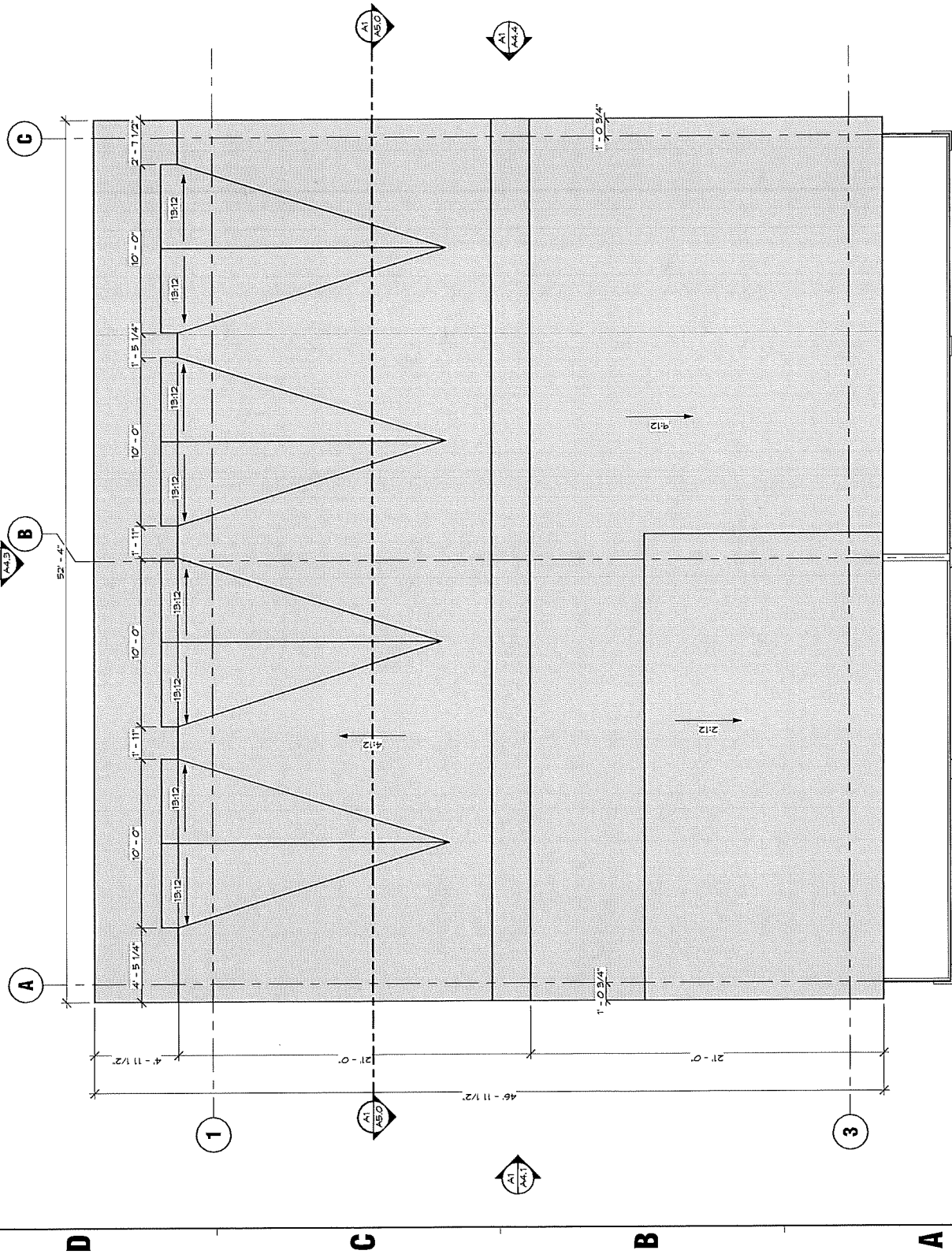
21-070

### A3.4

### T.O. ROOF

SCALE: 1" = 1/4"

A1  
A3.4





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REVISIONS + ISSUES	
11/11/24 (D)	ISSUED FOR
02/22/25 (D)	BUILDING PERMIT
02/23/25 (D)	RE-SUBMITTED FOR BUILDING PERMIT
02/23/25 (D)	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

# EXTERIOR BUILDING ELEVATIONS

DRAWING TITLE

SCALE	1" = 1/4"
DRAWN	RKD/JE
CHECKED	IM/RR
OCT 21	
21-070	

**A4.0**

### KEYNOTE LEGEND

01	ASPHALT SHINGLE
07	MID TONE HORIZONTAL 1.25" HARDE LAP
12	DARK TONE HARDE BOARD AND BATTEN
13	MID TONE HARDE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH FLURRED HARDE BASE



**ELEVATION A**

A4.0 SCALE 1" = 1/4"

1 2 3 4 5



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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION
01	2022 05 02	BUILDING TOOK
02	2023 04 05	REVISION FOR BUILDING PERMIT
03	2023 08 21	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes BC 15 Ave Invermere BC

PROJECT TITLE

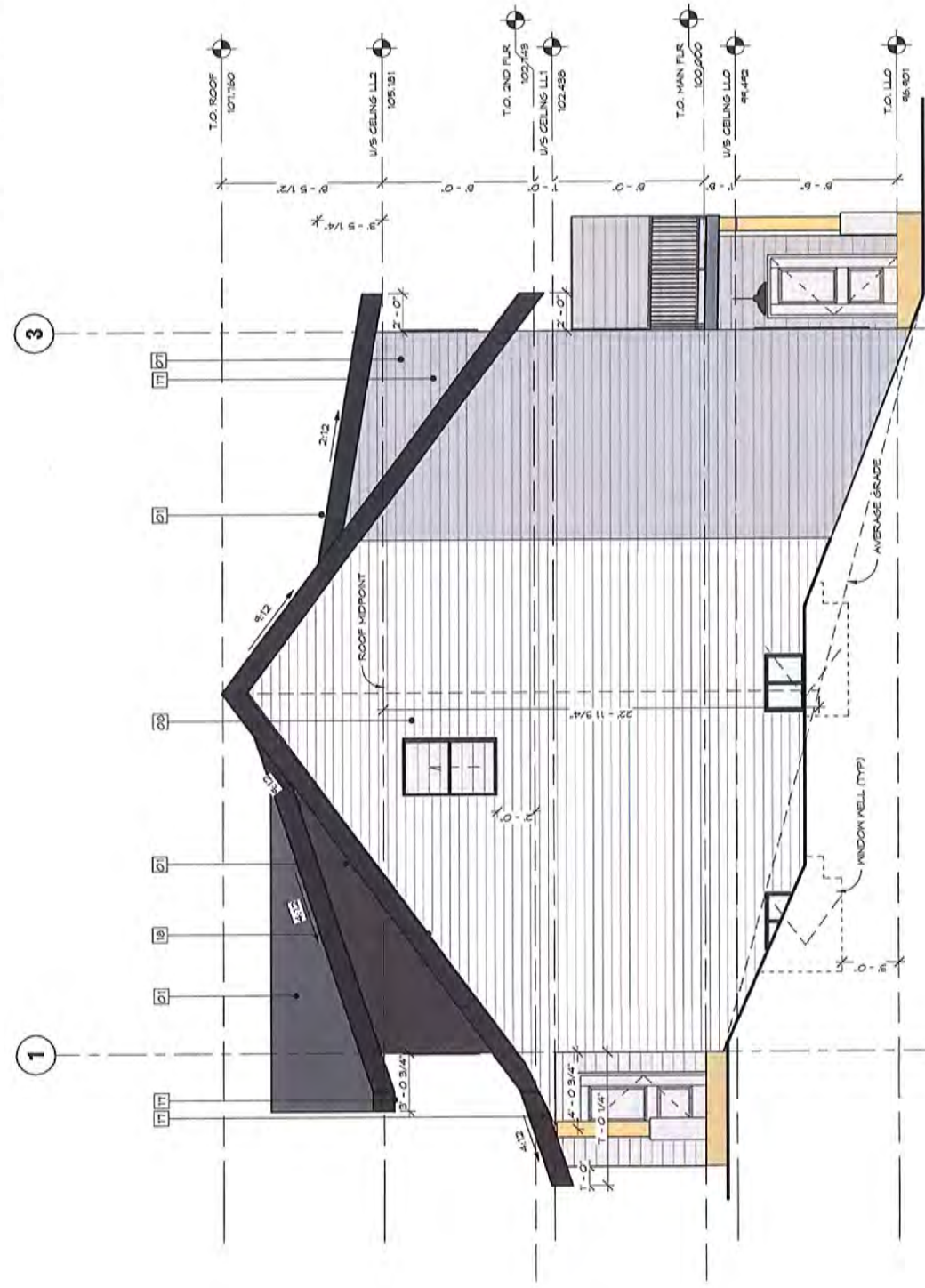
## EXTERIOR BUILDING ELEVATIONS

DRAWING TITLE

SCALE	1" = 1/4"
DRAWN	RKD/JE
CHECKED	IM/RJR
OCT 21	A4.1
21-070	

### KEYNOTE LEGEND

01	ASPHALT SHINGLE
07	MID TONE HORIZONTAL 1.25" HARDE LAP
08	WHITE HORIZONTAL 1.25" HARDE LAP
11	PINE (OR PAUX ALUM/POLY EQUIVALENT) SOFFIT
19	STANDARD WHITE ALUMINUM SOFFIT



### ELEVATION B

SCALE = 1" = 1/4"



1 2 3 4 5

D C B A



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REVISIONS + ISSUES

DATE	BY	ISSUE
2022 05 02	MM	ISSUED FOR BUILDING PERMIT
2022 04 02	MM	RE-ASSIGNED FOR BUILDING PERMIT
2022 02 21	MM	CONSTRUCTION

Pinetree Meadows  
Phase 1, Lots 1,3,5  
Generation Homes BC  
15 Ave Invermere BC

PROJECT TITLE

EXTERIOR  
BUILDING  
ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: R/KD/JE

CHECKED: IM/RR

OCT 21

21-070

A4.3

KEYNOTE LEGEND

01	ASPHALT SHINGLE
04	CHARCOAL FASCIA
05	WHITE HORIZONTAL 1.5" HARDE LAP
11	WHITE HARDE VERTICAL PLANK
12	DARK TONE HARDE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH PURRED HARDE BASE
16	CONCRETE PATIO W/ FAUX WOOD FASCIA AS REQ'D



ELEVATION C

SCALE: 1" = 1/4"



5

4

3

2

1





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REVISIONS + ISSUES

NO.	DATE	ISSUE
01	11/17/14	ISSUED FOR PERMIT
02	02/02/15	BUILDING PERMIT
03	04/02/15	RE-CALLED FOR BUILDING PERMIT
04	08/21/15	CONSTRUCTION

Pinetree Meadows  
Phase 1, Lots 1,3,5  
Generation Homes BC  
15 Ave Invermere BC

PROJECT TITLE

EXTERIOR  
BUILDING  
ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: R/KD/JE

CHECKED: IM/RR

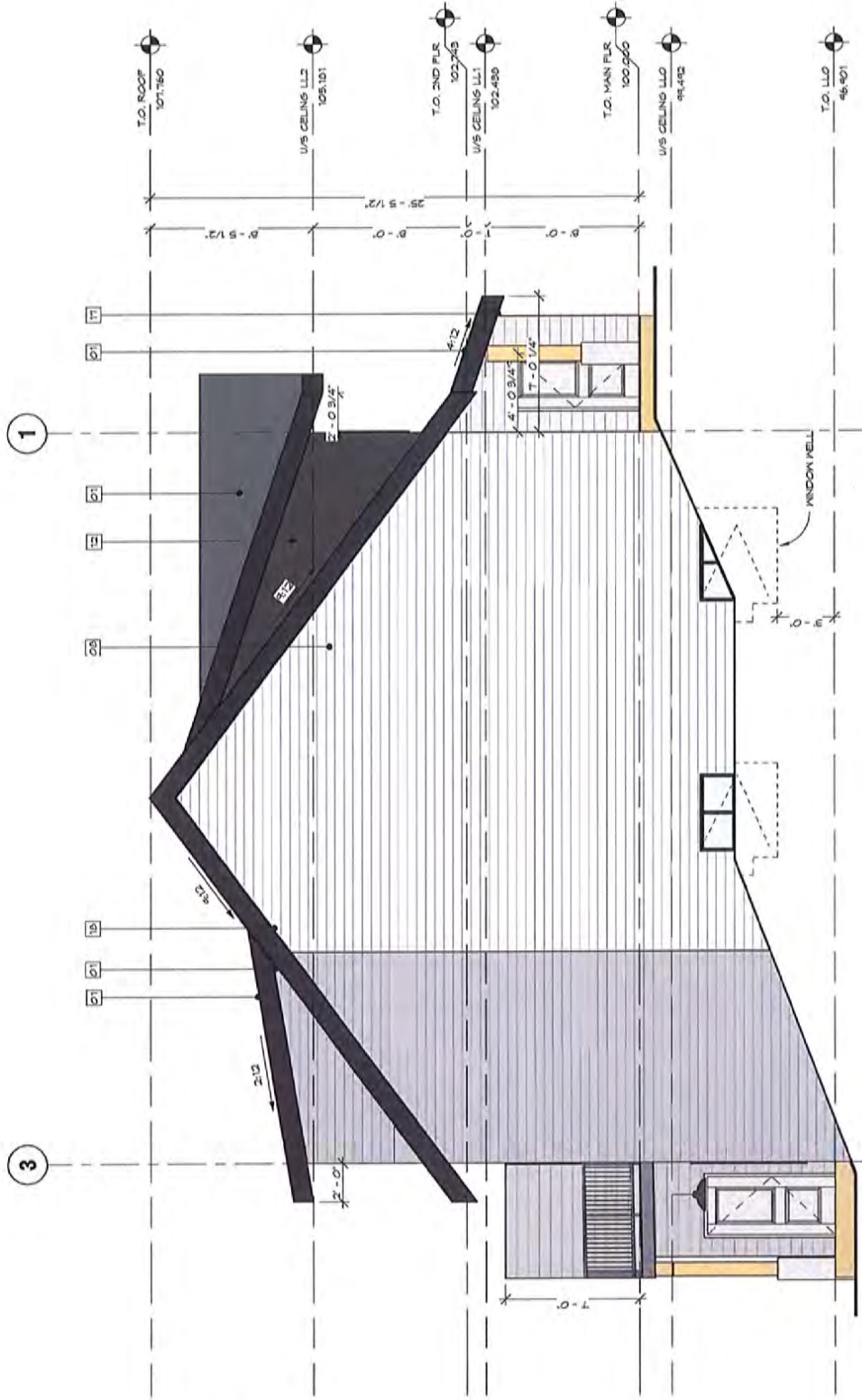
OCT 21

21-070

A4.4

KEYNOTE LEGEND

01	ASPHALT SHINGLE
02	WHITE HORIZONTAL 1/2" HARDE LAP
12	DARK TONE HARDE BOARD AND BATTEN
17	PINE (OR FAUX ALUM/POLY EQUIVALENT) SOFFIT
18	STANDARD WHITE ALUMINUM SOFFIT



A1 ELEVATION D  
SCALE 1/4" = 1'-0"



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REVISIONS + ISSUES

NO.	DATE	ISSUED FOR
001	04/22/20	BUILDING PERMIT
002	04/23/20	RE-ISSUED FOR BUILDING PERMIT
003	08/21/20	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

## BUILDING SECTIONS

DRAWING TITLE

SCALE 1" = 1/4"

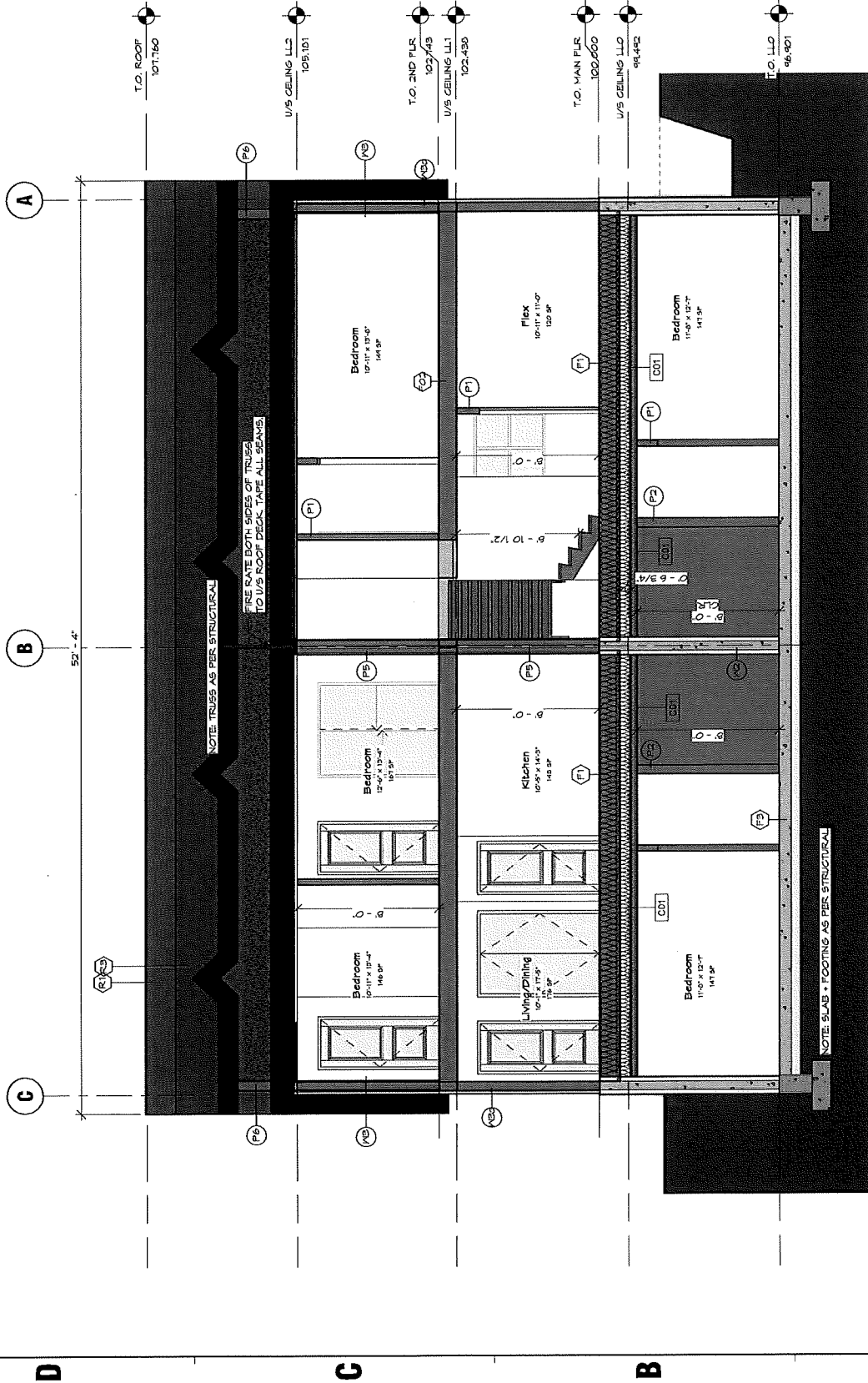
DRAWN: R/KD

CHECKED: IM/RR

OCT. 21

21-070

### A5.0



**SECTION A**  
SCALE 1/4" = 1/4"



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REVISIONS + ISSUES	
XXXX MM DD	ISSUED FOR
2023 06 24	CONSTRUCTION
XXXX MM DD	CONSTRUCTION
2024 02 07	REVISED WALL ASSEMBLY

**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
15th Ave, Invermere BC**

PROJECT TITLE

**CONSTRUCTION  
DETAILS**

DRAWING TITLE

SCALE: AS INDICATED

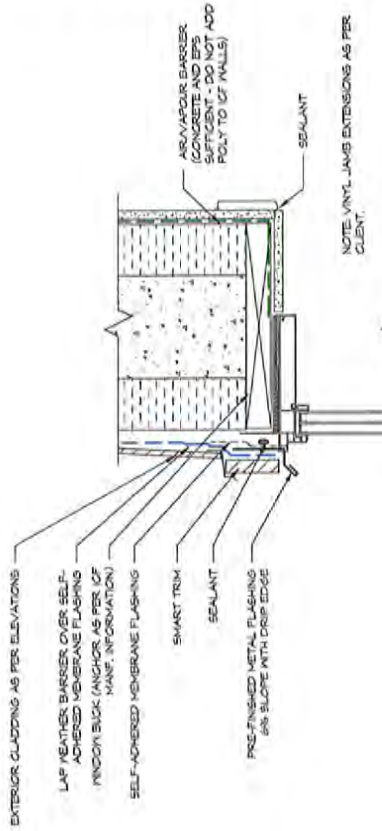
DRAWN: RKC

CHECKED: RRC

OCT '21

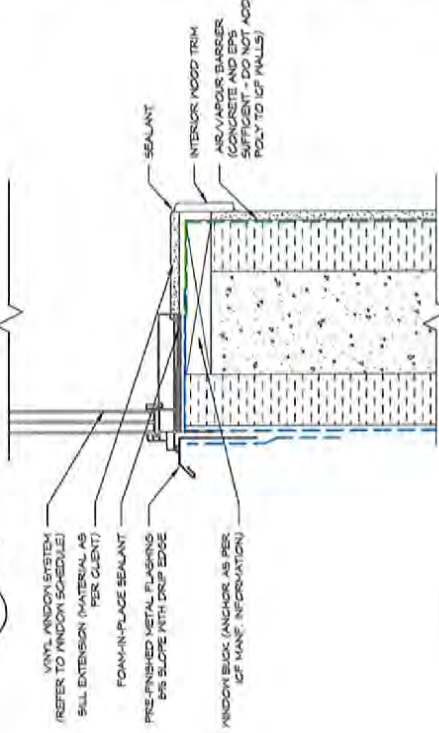
21-070

**A6.0**

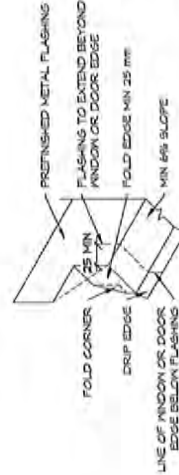


**ICF WALL WINDOW HEADER**

D4 A6.0 SCALE: 1/1.5



**B4 A6.0 SCALE: 1/1.5**



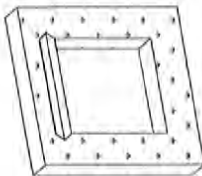
NOTE CLOSED END DAM FLASHING AS DETAILED ABOVE REQUIRED AT BOTH JAMBS OF ALL WINDOWS AND DOORS

**A4 A6.0 SCALE: 1/1.4**

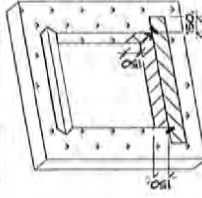
**WINDOW MEMBRANE FLASHING DETAIL**

A1 A6.0 SCALE: INTS

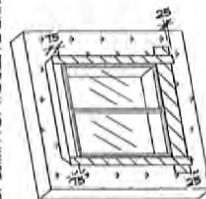
1. APPLY AIR BARRIER TO WALL, CUT AIR BARRIER AND WRAP JAMBS, CREATE AIR BARRIER FLAP AT WINDOW HEAD



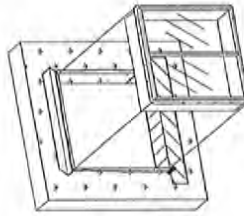
2. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE BOTTOM SILL THAT IS 300MM LONGER THAN THE WIDTH OF THE ROUGH OPENING. COVER THE ENTIRE SILL MEMBRANE WITH 300MM OF EACH ANGLE. LAF OVER WINDOW BARRIER. APPLY BOTTLE PATCH TO BOTTOM CORNERS.



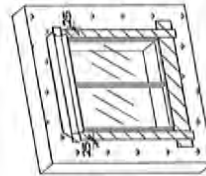
4. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE SIDES (JAMBS) OF THE WINDOW. FLASHING SHOULD BE A MINIMUM OF 75mm ABOVE WINDOW HEAD AND A MINIMUM OF 25mm PAST THE SILL FLASHING.



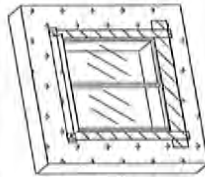
3. APPLY SEALANT TO WINDOW MOUNTING FLANGE. SEALANT SHOULD BE APPLIED TO THE WINDOW HEAD AND SIDES ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.



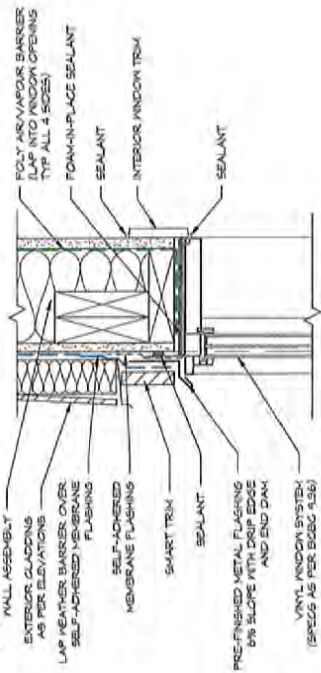
5. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE HEAD OF THE WINDOW. FLASHING SHOULD BE A MINIMUM OF 25mm PAST THE JAMB FLASHING. INSTALL PRE-FINISHED METAL FLASHING AT WINDOW HEAD.



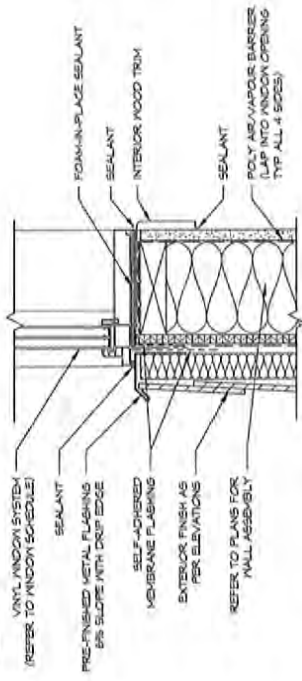
6. RELEASE AIR BARRIER FLAP AND SEAL.



FLASHING WIDTH: THE WIDTH OF ALL FLASHINGS ARE DETERMINED BY THE NAILING FLANGE OF THE WINDOW. THE FLASHING MUST EXTEND PAST THE EXTENTS OF THE NAILING FLANGE OF WINDOW.

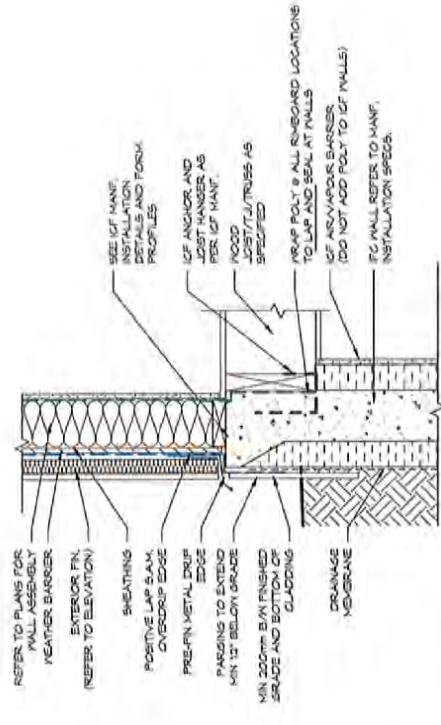


**D1 WINDOW HEADER DETAIL**  
SCALE = 1:1.5

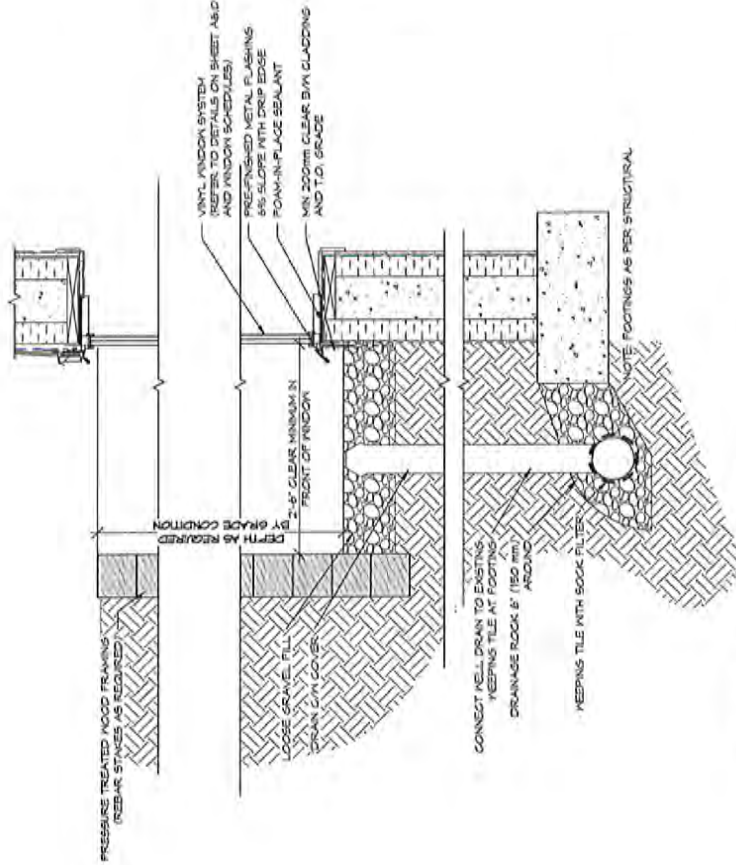


**C1 WINDOW SILL DETAIL**  
SCALE = 1:1.5

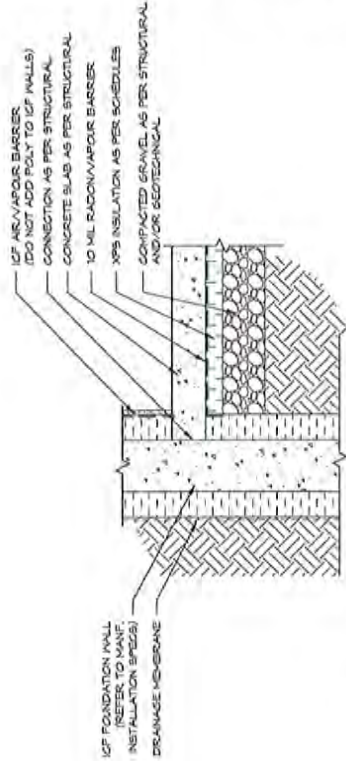
NOTE: WOOD SILL OR DRYWALL RETURNS AS PER CLIENT.



**A1 ICF TO WOOD FRAME EXT. WALL**  
SCALE = 1:1.0



**C3 ICF WINDOW WELL DETAIL**  
SCALE = 1:1.0



**A3 SLAB TO FOUNDATION WALL**  
SCALE = 1:1.0



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REVISIONS + ISSUES	
NO. DATE	DESCRIPTION
01 10/21/21	CONSTRUCTION
02 10/21/21	CONSTRUCTION
03 10/21/21	REVISED WALL ASSEMBLY

**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES  
15th Ave, Invermere BC**

PROJECT TITLE

**CONSTRUCTION  
DETAILS  
CONT.**

DRAWING TITLE

SCALE: As Indicated
DRAWN: RKD
CHECKED: RKR
OCT '21
21-070
<b>A6.1</b>



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REVISIONS + ISSUES	
TTTT N4 D01	ISSUED FOR
2023.06.24	CONSTRUCTION
RR44 UP 4.1	CONSTRUCTION
RR24 C3 C7	REVISED WALL ASSEMBLY

**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES  
15th Ave, Invermere BC**

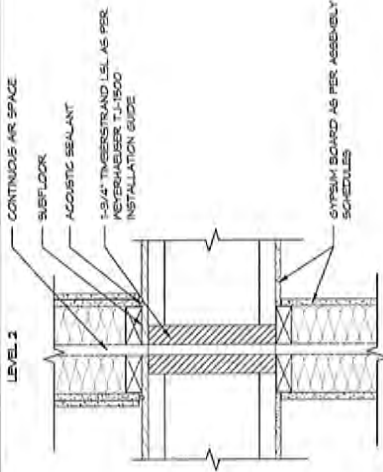
PROJECT TITLE

**CONSTRUCTION  
DETAILS  
CONT.**

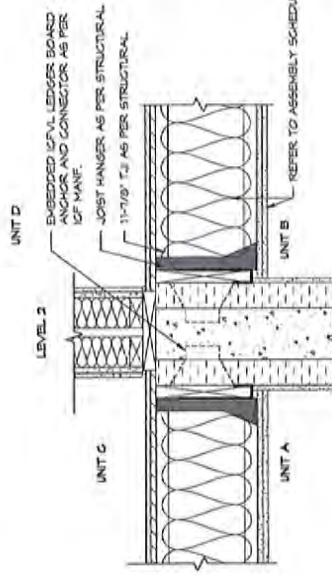
SCALE: As Indicated  
DRAWN: RKC  
CHECKED: RRC

OCT '21  
21-010  
**A6.2**

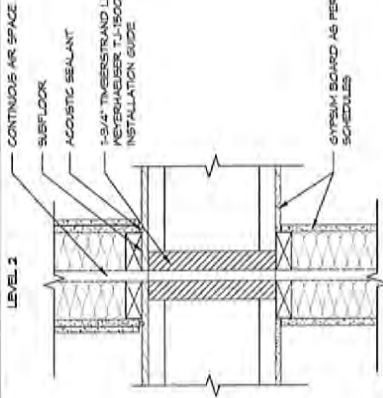
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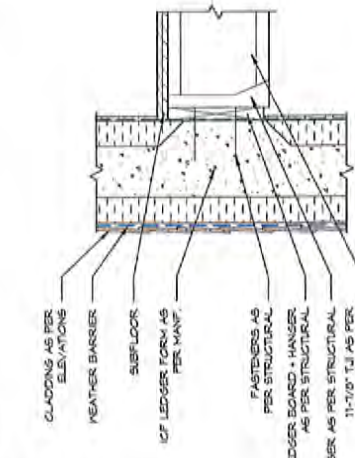
**D1**  
A6.2  
SCALE = 1:10  
**ICF TO WOOD PARTY WALL**



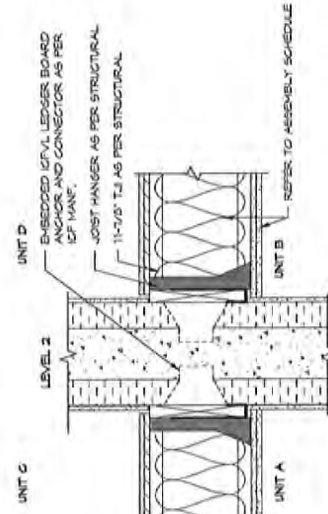
**D2**  
A6.2  
SCALE = 1:10  
**WOOD PARTY WALL TO INT. FLOOR**



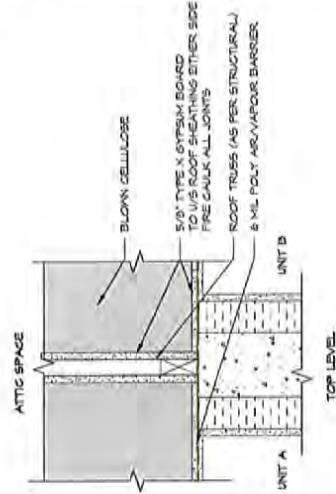
**D3**  
A6.2  
SCALE = 1:10  
**WOOD PARTY WALL TO INT. FLOOR**



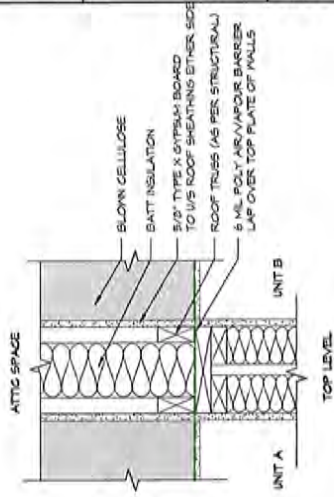
**B1**  
A6.2  
SCALE = 1:10  
**ICF WALL TO FLOOR CONNECTION**



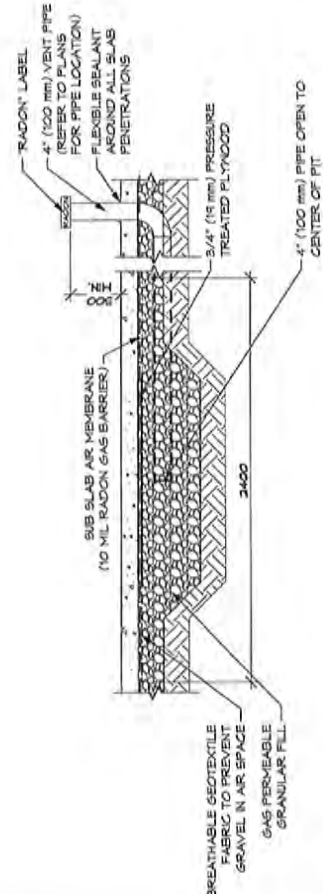
**B2**  
A6.2  
SCALE = 1:10  
**ICF PARTY WALL TO FLOOR**



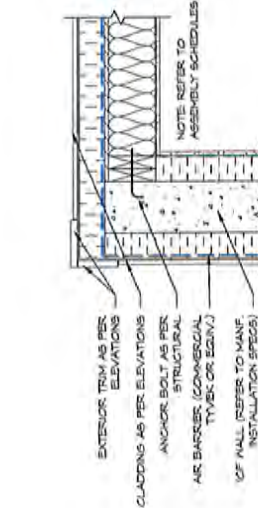
**B4**  
A6.2  
SCALE = 1:8  
**ICF PARTY WALL TO ROOF**



**D4**  
A6.2  
SCALE = 1:8  
**WOOD PARTY WALL TO ROOF**



**A1**  
A6.2  
SCALE INTS  
**RADON PIT**



**A4**  
A6.2  
SCALE = 1:10  
**ICF TO WOOD WALL CORNER PLAN DETAIL**



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REVISIONS + ISSUES	
1	ISSUED FOR:
2	CONSTRUCTION
3	CONSTRUCTION
4	CONSTRUCTION
5	REVISED WALL ASSEMBLY

# PINETREE MEADOWS PHASE 1, LOTS 1-8 GENERATION HOMES 15th Ave, Invermere BC

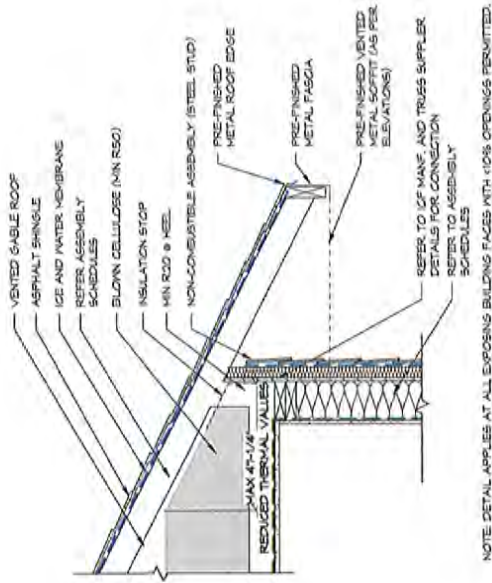
PROJECT TITLE

# CONSTRUCTION DETAILS CONT.

DRAWING TITLE

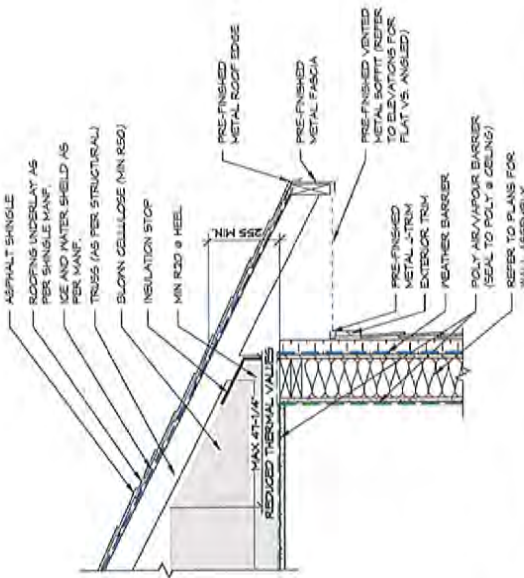
SCALE:	1"=1'
DRAWN:	RND
CHECKED:	RRJ/AM
OCT 21	
21-070	

## A6.3



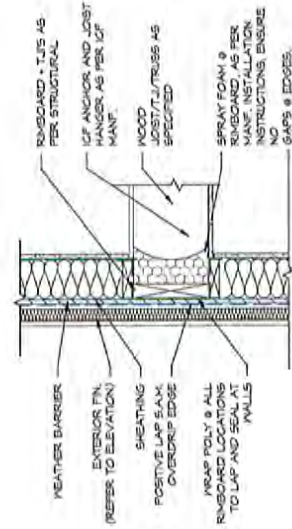
**C3 WALL/ROOF CONNECTION FIRE RATED WALL**

SCALE 1/4" = 1'-0"



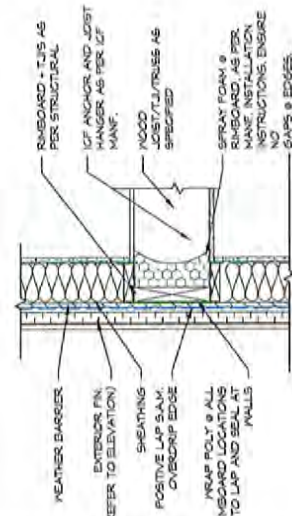
**C1 WOOD WALL TO ROOF CONNECTION**

SCALE 1/4" = 1'-0"



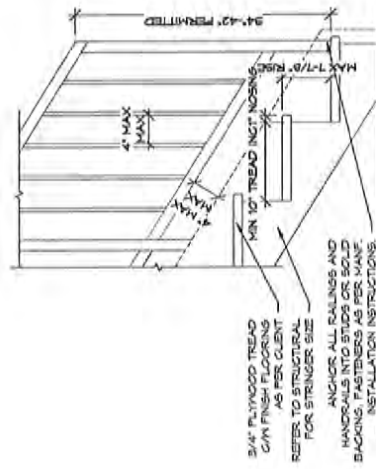
**A3 INT. FLOOR/WALL CONNECTION FIRE RATED WALL**

SCALE 1/4" = 1'-0"



**A1 INT. FLOOR/WALL CONNECTION**

SCALE 1/4" = 1'-0"



**A4 TYPICAL STAIR DETAIL**

SCALE 1/4" = 1'-0"

Phase 3

# COULTER MODEL ASSEMBLY SCHEDULES

## EXTERIOR WALLS

**M1-6-1/2" EXTERIOR WALL**

- CLADDING AS PER ELEVATIONS
- AIR BARRIER
- 3 1/2" RIGID INSULATION
- 3 1/2" RIGID INSULATION
- 1/4" POLYURETHANE BARRIER
- 1/2" GYPSUM WALL BOARD

**M2-6-1/2" CENTRE WALL (1HS PER 31)**

- 1/2" GYPSUM WALL BOARD
- 1/2" 5/8" RIGID INSULATION
- 6" CONCRETE
- 3 1/2" RIGID INSULATION
- 1/2" GYPSUM WALL BOARD

**M3-EXTERIOR ABOVE GRADE WALL**

- EXTERIOR CLADDING (EXPOSED LOCATIONS)
- 3 1/2" RIGID INSULATION
- 1/2" EXTERIOR GRADE SHEATHING
- 2x6 MOOD STUDS @ 16" O.C.
- POLY AIR/VAPOR BARRIER
- 1/2" GYPSUM WALL BOARD

**M3B-EXTERIOR ABOVE GRADE WALL**

- EXTERIOR CLADDING (EXPOSED LOCATIONS)
- 1 1/2" SEMIRIGID MINERAL WOOL INSULATION
- WEATHER BARRIER
- 2x6 MOOD STUDS @ 16" O.C.
- CAVITY FILLED MINERAL WOOL INSULATION
- POLY AIR/VAPOR BARRIER
- 1/2" GYPSUM WALL BOARD

**M4-EXTERIOR SHEET WALL**

- CLADDING AS PER ELEVATIONS
- AIR BARRIER
- 1/2" PLYWOOD
- 2x4 P.T. MOOD STUDS @ 16" O.C.
- MINERAL WOOL BATT INSULATION
- 1/2" PLYWOOD

## CEILINGS

**S01-FINISHED CEILING**

- DIMENSIONAL LUMBER FRAMING/TRUSSING
- SOUND PANELING (ON LOWER LEVEL)
- 1/2" 5/8" RESISTANT GYPSUM BOARD
- LOW PROFILE TEXTURED FINISH

## ROOFS

**R1-INSULATED TRUSS ROOF**

- ASPHALT SHINGLES
- UNDERLAY
- PLYWOOD SHEATHING (AS PER STRUCTURAL)
- OPEN WEB TRUSSES (AS PER STRUCTURAL)
- BLOWN CELLULOSE R50 C/M HEEL STOPS
- SOFFITS AND FASCIA AS PER ELEVATIONS

**R2-UNINSULATED GANTRY ROOF**

- ASPHALT SHINGLES
- UNDERLAY
- AIR BARRIER
- PLYWOOD SHEATHING (AS PER STRUCTURAL)
- MINERAL WOOL INSULATION
- SOFFITS AND FASCIA AS PER ELEVATIONS

## INTERIOR PARTITIONS

**P1-2x4 INTERIOR PARTITION**

- 1/2" GYPSUM WALL BOARD
- 2x4 MOOD STUDS @ 16" O.C.
- 1/2" GYPSUM WALL BOARD

**P2-2x6 PLUMBING/BEARING PARTITION**

- 1/2" GYPSUM WALL BOARD
- 2x6 MOOD STUDS @ 16" O.C.
- 1/2" GYPSUM WALL BOARD

NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

**P2-2x6 DRESSED PLUMBING PARTITION**

- 2x6 MOOD STUDS @ 16" O.C.
- 1/2" GYPSUM WALL BOARD

NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

**P2-PARTY WALL (1HS PER 31C/31)**

- 2 LAYERS 5/8" TYPE X GYPSUM WALL BOARD
- 2x4 MOOD STUDS @ 16" O.C.
- 1" AIR SPACE
- 2x4 MOOD STUDS @ 16" O.C.
- 3 LAYERS 5/8" TYPE X GYPSUM WALL BOARD

NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

**P2-2x6 WOOD GABLE WALL**

- CLADDING (AS PER ELEVATIONS)
- WEATHER BARRIER
- 1/2" DENSGLASS SHEATHING
- 2x6 MOOD STUDS @ 16" O.C.
- 2" DENSGLASS SHEATHING
- 1/2" DENSGLASS SHEATHING

NOTE: REFER TO SECTIONS

## FLOORS

**F1-11" T.I.L. SOUND INSULATED 1HS PER**

- VINYL PLANK FLOORING
- 5/8" OSB 1x6 SUBFLOOR
- ACROSTIC BATT FILLED JOIST CAVITY
- 3 LAYERS 5/8" GYPSUM WALL BOARD, TYPE X

**F2-11" T.I.L. 45MIN IFRS**

- VINYL PLANK FLOORING
- 5/8" OSB 1x6 SUBFLOOR
- 11" RIGID INSULATION
- ACROSTIC BATT FILLED JOIST CAVITY
- 5/8" GYPSUM WALL BOARD, TYPE X

**F2-INSULATED BASEMENT SLAB**

- VINYL PLANK FLOORING
- POLYURETHANE UNDERLAY
- 4" POLYURETHANE BARRIER
- REINFORCED CONCRETE SLAB (AS PER STRUCTURAL)
- 5" RIGID INSULATION (HIGH DENSITY, BEARING)
- COMPACTED GRAVEL (AS PER STRUCTURAL)

## GENERAL NOTES

- DO NOT SCALE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO ARCHITECT.
- CONTRACTOR TO COMPARE DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE - 2018 BC EDITION AND ALL ORDINANCES.
- COORDINATE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL CONSULTANTS DOCUMENTS. COORDINATE DIVISIONS REQUIRED FOR THE FITTING OF ALL OPERATIONS TO ENSURE THEIR SOUND OPERATION UPON COMPLETION.
- ALL WALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE CONSTRUCTION ASSEMBLY SHALL BE TRUE REPRESENTATION OF COMPLETED CONSTRUCTION ASSEMBLY. REFER TO SPECIFICATIONS FOR ADDITIONAL ASSEMBLY DETAILS AND NOTATION COMPLETED ON THE FOLLOWING CONSTRUCTION DRAWINGS:
  - INTERIOR WALLS
  - EXTERIOR WALLS
  - CEILING
  - FLOOR
  - ROOF
- REFER TO STRUCTURAL FRAMING PLANS FOR LOCATIONS OF ALL INTERIOR LOAD BEARING ASSEMBLIES AND SHEAR WALL LOCATIONS.
- ALL GYPSUM BOARD IN BATHROOMS AND COMMERCIAL KITCHENS SHALL BE MOISTURE RESISTANT TYPE.
- ALL EXPOSED CONCRETE WALL CORNERS SHALL BE CHAMFERED.
- ALL G.I. FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.
- MAINTAIN CONTINUOUS FIRE RATED SEPARATION AROUND JANITOR ROOMS, STORAGE ROOMS, AND MECHANICAL ROOMS. CARRY WALLS TO UNDERSIDE OF STRUCTURE.
- PROVIDE CONTINUOUS SEALANT AROUND BOTH SIDES OF WALL JOINTS AND ROOF FLASHING.
- ALL DOOR AND WINDOW THRESHOLD CORNER BOARD ASBESTOS DISMILAR MATERIAL USE A WILCOX AND/OR L-TRIM AT EDGE SURFACES. ALLOW 3mm V.V. GAP EX DOOR, WINDOW FRAME, CONCRETE WALL, CONCRETE, BRICK ETC.
- PROVIDE CORNER BEAD FOR ALL EXPOSED GYPSUM WALL BOARD CORNERS.
- ALL MOOD COMPONENTS DIRECTLY ATTACHED TO STRUCTURE SHALL BE TREATED TO PREVENT CORROSION. EXTERIOR ALUMINUM SILLS SHALL BE PRESURE TREATED.
- FINISH ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
- SEE MECHANICAL AND ELECTRICAL FOR EXACT TYPES AND QUANTITY OF DIFFUSERS, GRILLES, FIXTURES, AND EQUIPMENT. CO-ORDINATE SIZES AND EXACT LOCATIONS WITH MECHANICAL AND ELECTRICAL CONTRACTORS AND/OR DETAILS.
- CAULK AND SEAL AROUND ALL DUCTS AND PIPES PASSING THROUGH FIRE RATED PARTITIONS AND FLOOR ASSEMBLIES WITH APPROVED (ULC) MASTIC CAULKING.
- PROVIDE ACOUSTICAL SEALANT AT JUNCTIONS OF SOUND RATED PARTITIONS.
- WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN SOUND RATED PARTITIONS, PROVIDE ACOUSTICAL SEALANT AT ALL SPACES. PROVIDE ACOUSTICAL SEALANT ALL AROUND.

## DRAWING SYMBOLS LEGEND

DOOR TAG REFER TO SCHEDULE

WINDOW TYPE TAG, REFER TO SCHEDULE

ROOM NAME ROOM TAG

DETAIL INDICATOR

DETAIL \* PAGE CROSS REFERENCE

MALL SECTION INDICATOR

SECTION \* VIEW DIRECTION OF SECTION PAGE CROSS REFERENCE

BUILDING SECTION # ELEVATION INDICATOR

SECTION # VIEW DIRECTION OF ELEVATION PAGE CROSS REFERENCE

ELEVATION INDICATOR

CEILING HEIGHT INDICATOR

KEYNOTE INDICATOR

MILLWORK KEYNOTE INDICATOR

MALL TYPE SYMBOL

ROOF TYPE SYMBOL

FLOOR TYPE SYMBOL

MALL FINISH TAG

NORTH ARROW

## ARCHITECTURAL SHEET LIST

Sheet Number	Sheet Name
A0.0	COVER SHEET
A1.0	CODE REVIEW
A2.0	SITE PLAN + BYLAW REVIEW
A3.0	BASEMENT FLOOR PLAN
A3.1	MAIN FLOOR PLAN
A3.2	SECOND FLOOR PLAN
A3.3	ROOF PLAN
A4.0	EXTERIOR BUILDING ELEVATIONS
A4.1	EXTERIOR BUILDING ELEVATIONS
A4.2	EXTERIOR BUILDING ELEVATIONS
A4.4	EXTERIOR BUILDING ELEVATIONS
A5.0	BUILDING SECTIONS
A6.0	CONSTRUCTION DETAILS
A6.1	CONSTRUCTION DETAILS CONT.
A6.2	CONSTRUCTION DETAILS CONT.
A7.0	DOOR + WINDOW SCHEDULE

Berry Architecture + Associates  
 Suite 202, 5218-56 Avenue  
 Red Deer, T4N 4B5  
 Phone: 403-314-4461  
 Contact:



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REVISIONS + ISSUES

NO	DATE	REASON	BY
001	2023 04 27	BUILDING PERMIT	MM
002	2023 08 21	CONSTRUCTION	MM
003	2024 02 07	RE-DESIGN IFC	MM

Pinetree Meadows  
 Phase 1, Lot 2  
 Generation Homes BC  
 15 Ave Invermere BC

PROJECT TITLE

DRAWING TITLE

SCALE: As Indicated  
 DRAWN: R/KD  
 CHECKED: M/RSR

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 21-0710  
**A0.0**





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REVISIONS + ISSUES

2023 04 27	BUILDING PERMIT
2023 06 21	CONSULTATION
2024 03 07	ISSUE FOR BC

# Pinetree Meadows Phase 1, Lot 2 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

# BASEMENT FLOOR PLAN

DRAWING TITLE

SCALE: As Indicated

DRAWN: RKD/LE

CHECKED: M/R/S

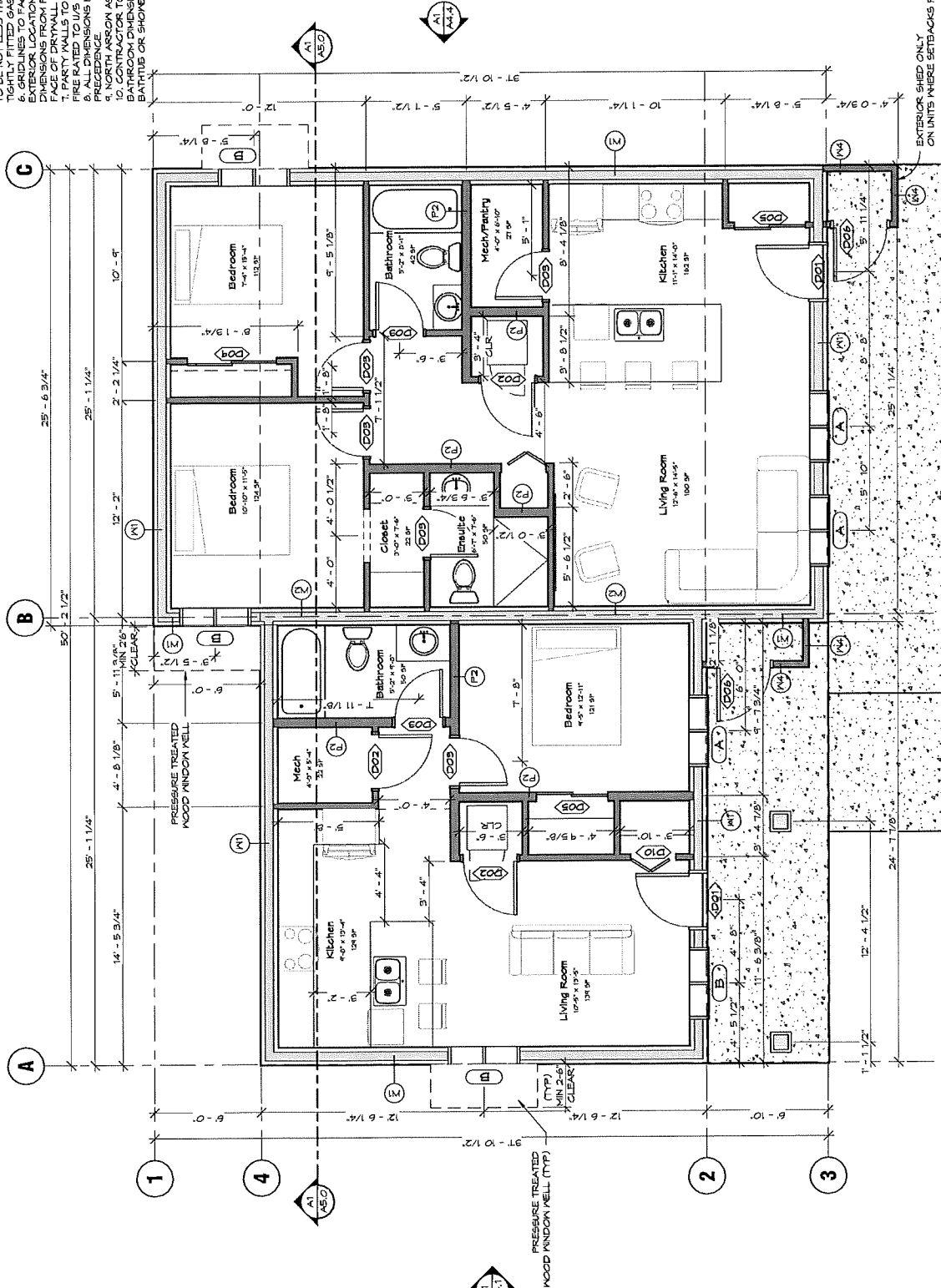
OCT 21

21-070

# A3.0

### GENERAL NOTES

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTRED IN OPENING UNLESS NOTED OTHERWISE.
3. ALL DOORS TO HAVE MIN. 10" CLEARANCE BELOW.
4. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE.
5. ALL CLOSET HATCHES SHALL BE PROVIDED TO BE NOT LESS THAN 0.34 m WITH MINIMUM 100 mm CLEARANCE AT EXTERIOR LOCATIONS. INTERIOR, AT DIMENSIONS FROM FACE OF DRYWALL TO FACE OF DRYWALL.
6. ALL PARTITIONS SHALL BE CONTIGUOUS AND FREESTANDING TO ITS ROOT DECK.
7. ALL DIMENSIONS NOTED 'CLR.' TO TAKE PRECEDENCE.
8. NORTH ARROW AS PER SITE PLAN.
9. CONTRACTOR TO CONFIRM SUPPLIED DIMENSIONS FOR ALL BATHS, SHOWER AND BATHROOM.



### BASEMENT FLOOR PLAN

SCALE: 1/4"



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1	ISSUED FOR
2	BUILDING PERMIT
3	CONSTRUCTION
4	RE-ISSUE IFC

# Pinetree Meadows Phase 1, Lot 2 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

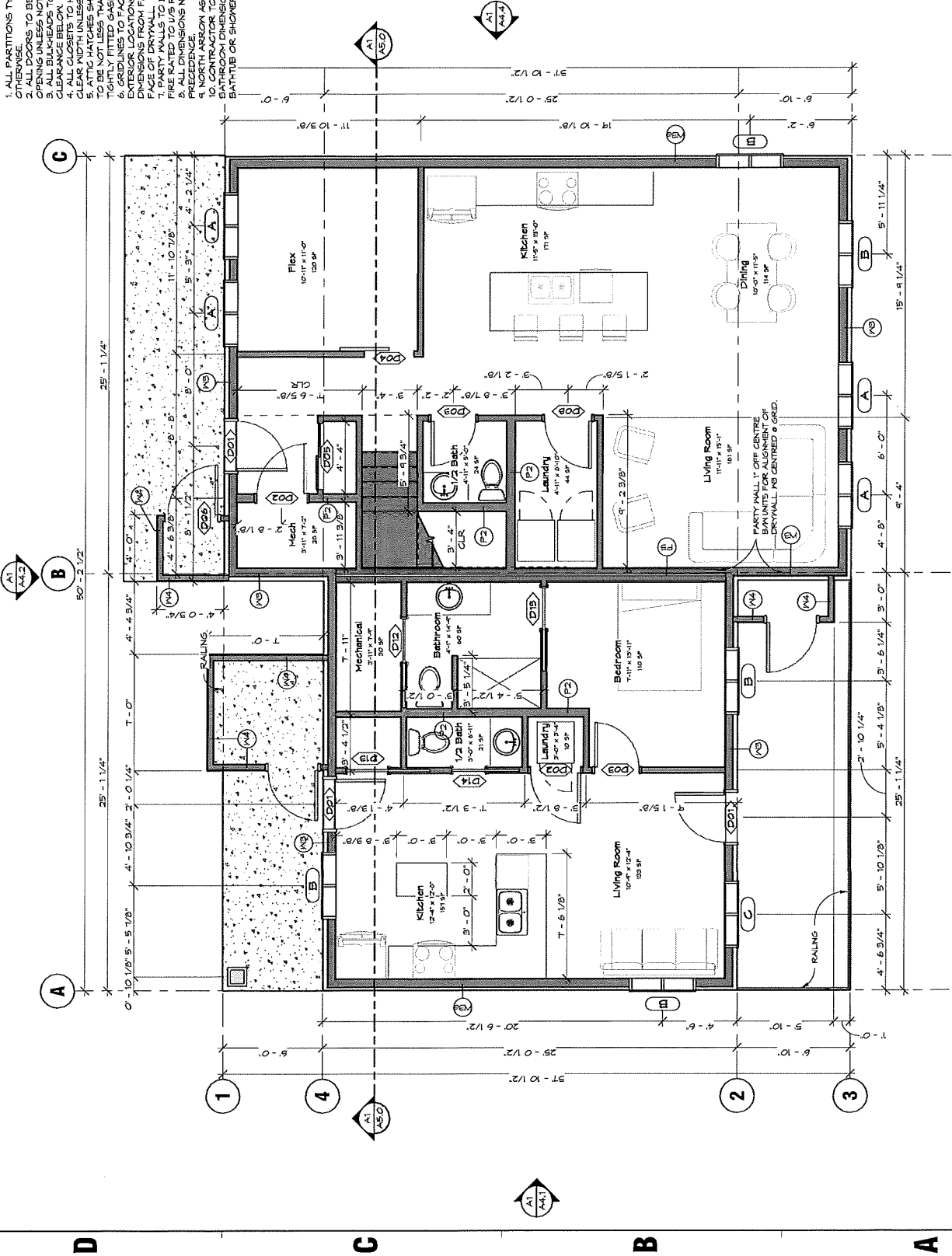
# MAIN FLOOR PLAN

DRAWING TITLE

SCALE:	AS INDICATED
DRAWN:	RKD/JE
CHECKED:	IM/RJR
OCT 21	A3.1
21-OTO	

## GENERAL NOTES

1. ALL DIMENSIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTRED IN OPENING UNLESS NOTED OTHERWISE.
3. ALL BULKHEADS TO HAVE MIN. TO CLEARANCE BELOW.
4. ALL INTERIORS SHALL HAVE 2" O" INTERIOR CLEAR UNLESS NOTED OTHERWISE.
5. ATTIC HATCHES SHALL BE PROVIDED TO BE NOT LESS THAN 0.33 M WITH TIGHTLY FITTED GASKET AND COVERS.
6. GRIDDING TO FACE OF EXTERIOR, AT DIMENSIONS FROM FACE OF DRYWALL TO FACE OF DRYWALL.
7. PARTY WALLS TO BE CONTINUOUS AND FIRE RATED TO 1/2 ROOF DECK.
8. DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE.
9. NORTH ARROW AS PER SITE PLAN.
10. CONTRACTOR TO CONFIRM BATHROOM DIMENSION TO SUIT SUPPLIED BATHUB OR SHOWER AND SURROUND.



MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"

1 2 3 4 5



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2023-04-21	CONSTRUCTION	
2024-02-07	RE-ISSUE IFC	

# Pinetree Meadows Phase 1, Lot 2 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

## SECOND FLOOR PLAN

DRAWING TITLE

SCALE: As Indicated

DRAWN: R/KD/JE

CHECKED: IM/RR

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21-010

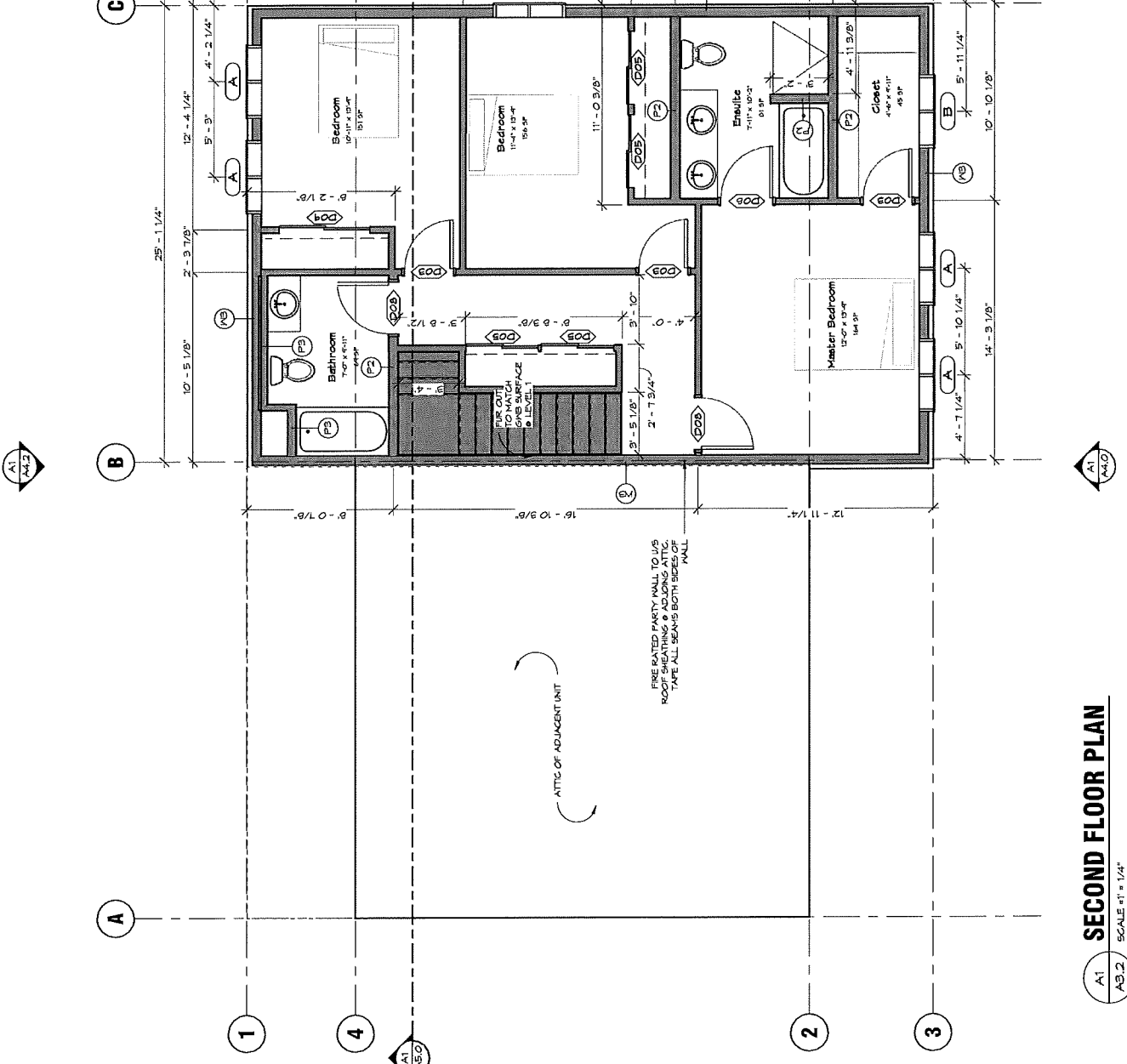
### A3.2

### GENERAL NOTES

1. ALL DIMENSIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTRED IN OPENING UNLESS NOTED OTHERWISE.
3. ALL BULLHEADS TO HAVE MIN. 10" CLEARANCE BELOW.
4. ALL DOORS TO HAVE 210" INTERIOR CLEARANCE UNLESS NOTED OTHERWISE.
5. ATTIC HATCHES SHALL BE PROVIDED TO BE NOT LESS THAN 0.92 M<sup>2</sup> WITH TIGHTLY FITTED GASKET AND COVERS.
6. GRIDLINES TO FACE OF EXTERIOR. AT DIMENSIONS FROM FACE OF DRYWALL TO FACE OF DRYWALL.
7. PARTY WALLS TO BE CONTINUOUS AND FIRE RATED TO U/S ROOF DECK PRECEDENCE.
8. NORTH ARROW AS PER SITE PLAN.
9. CONTRACTOR TO CONFIRM BATHROOM DIMENSION TO SUIT SUPPLIED BATHTUB OR SHOWER AND SURROUND.

ATTIC OF ADJACENT UNIT

FIRE RATED PARTY WALL TO U/S ROOF SHEATHING & ADJOINING ATTIC. TAPE ALL SEAMS BOTH SIDES OF WALL.



### SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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0023-04-27	BUILDING PERMIT		
0023-06-21	CONSTRUCTION		
0024-02-07	RE-ISSUE BC		

**Pinetree Meadows  
Phase 1, Lot 2**  
Generation Homes  
15 Ave Invermere BC

PROJECT TITLE

**ROOF PLAN**

DRAWING TITLE

SCALE 1" = 1/4"

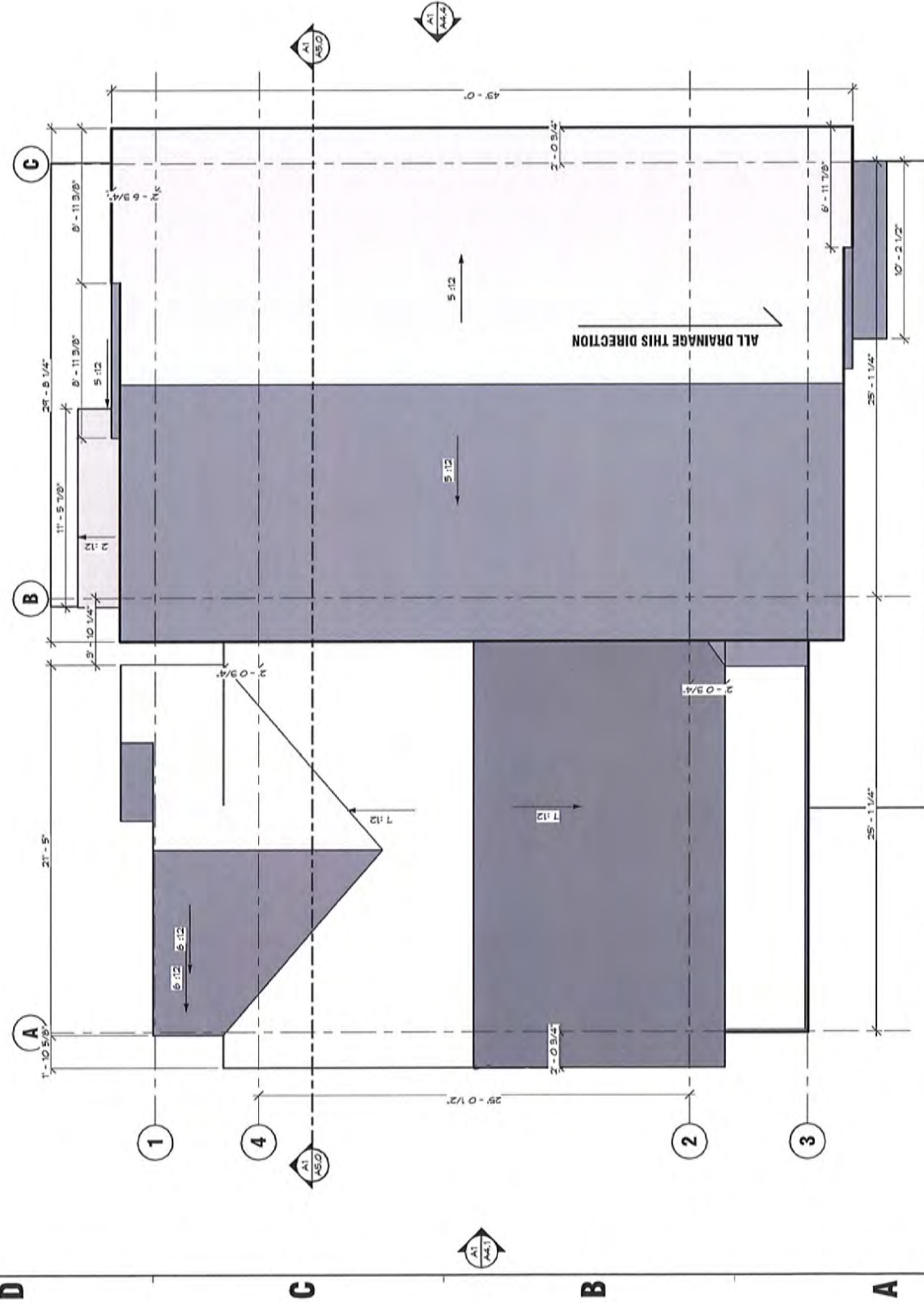
DRAWN: RKD

CHECKED: M/RR

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21-070

**A3.3**



**T.O. ROOF**  
SCALE 1" = 1/4"

1 2 3 4 5



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001	04/27	BUILDING PERMIT	
002	06/21	CONSTRUCTION	
003	08/07	FOR ISSUE ETC	

**Pinetree Meadows  
Phase 1, Lot 2  
Generation Homes  
15 Ave Invermere BC**

PROJECT TITLE

**EXTERIOR  
BUILDING  
ELEVATIONS**

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: R/KD

CHECKED: M/R/R

OCT 21

**A4.0**

21-010

**KEYNOTE LEGEND**

01	ASPHALT SHINGLE
02	WHITE FASCIA
03	DARK-TONE HORIZONTAL 1/2" HARDE LAP
04	MID-TONE HORIZONTAL 1/2" HARDE LAP
05	WHITE HORIZONTAL 1/2" HARDE LAP
06	MID-TONE HORIZONTAL 1/2" HARDE LAP
07	WHITE HORIZONTAL 1/2" HARDE LAP
08	MID-TONE HORIZONTAL 1/2" HARDE LAP
09	WHITE HORIZONTAL 1/2" HARDE LAP
10	MID-TONE HORIZONTAL 1/2" HARDE LAP
11	WHITE HORIZONTAL 1/2" HARDE LAP
12	MID-TONE HORIZONTAL 1/2" HARDE LAP
13	WHITE HORIZONTAL 1/2" HARDE LAP
14	WHITE HARDE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH FLURRED HARDE BASE
16	CONCRETE PATIO W/ FAUX WOOD FASCIA AS REQ'D
17	PINE (OR FAUX ALUM POLY EQUIVALENT) SOFFIT
18	STANDARD WHITE ALUMINUM SOFFIT



**ELEVATION A**

A1

SCALE: 1/4" = 1'

5

4

3

2

1



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REVISIONS + ISSUES

NO.	DATE	ISSUES
01	2023 04 27	BUILDING PERMIT
02	2023 08 21	CONSTRUCTION
03	2024 03 07	RE-ISSUE IFC

Pinetree Meadows  
Phase 1, Lot 2  
Generation Homes  
15 Ave Invermere BC

PROJECT TITLE

EXTERIOR  
BUILDING  
ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKD

CHECKED: JM/RR

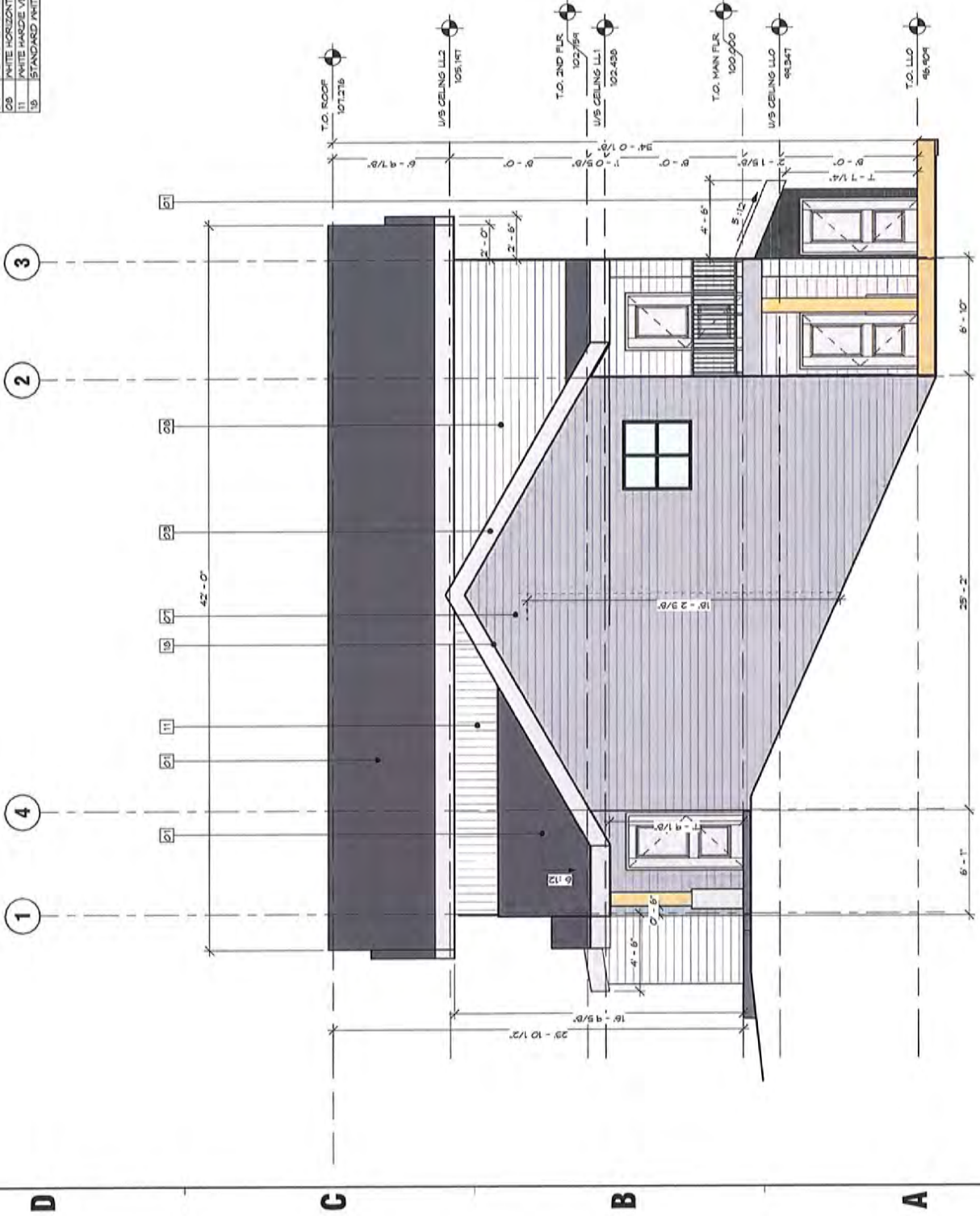
OCT 21

21-070

A4.1

KEYNOTE LEGEND

01	ASPHALT SHINGLE
02	WHITE FASCIA
03	MID TONE HORIZONTAL 1/2" HARDIE LAP
04	WHITE HORIZONTAL 1/2" HARDIE LAP
05	WHITE HARDIE VERTICAL PLANK
06	STANDARD WHITE ALUMINUM BOVFTT



ELEVATION B

SCALE: 1" = 1/4"

A1  
A4.1

5

4

3

2

1



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2023	04/27	BUILDING PERMIT	
2023	08/11	CONSTRUCTION	
2024	03/07	RE-ISSUE BC	

**Pinetree Meadows**  
**Phase 1, Lot 2**  
**Generation Homes BC**  
**15 Ave Invermere BC**

PROJECT TITLE

**EXTERIOR**  
**BUILDING**  
**ELEVATIONS**

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: R/KD

DRAWN: M/R/R

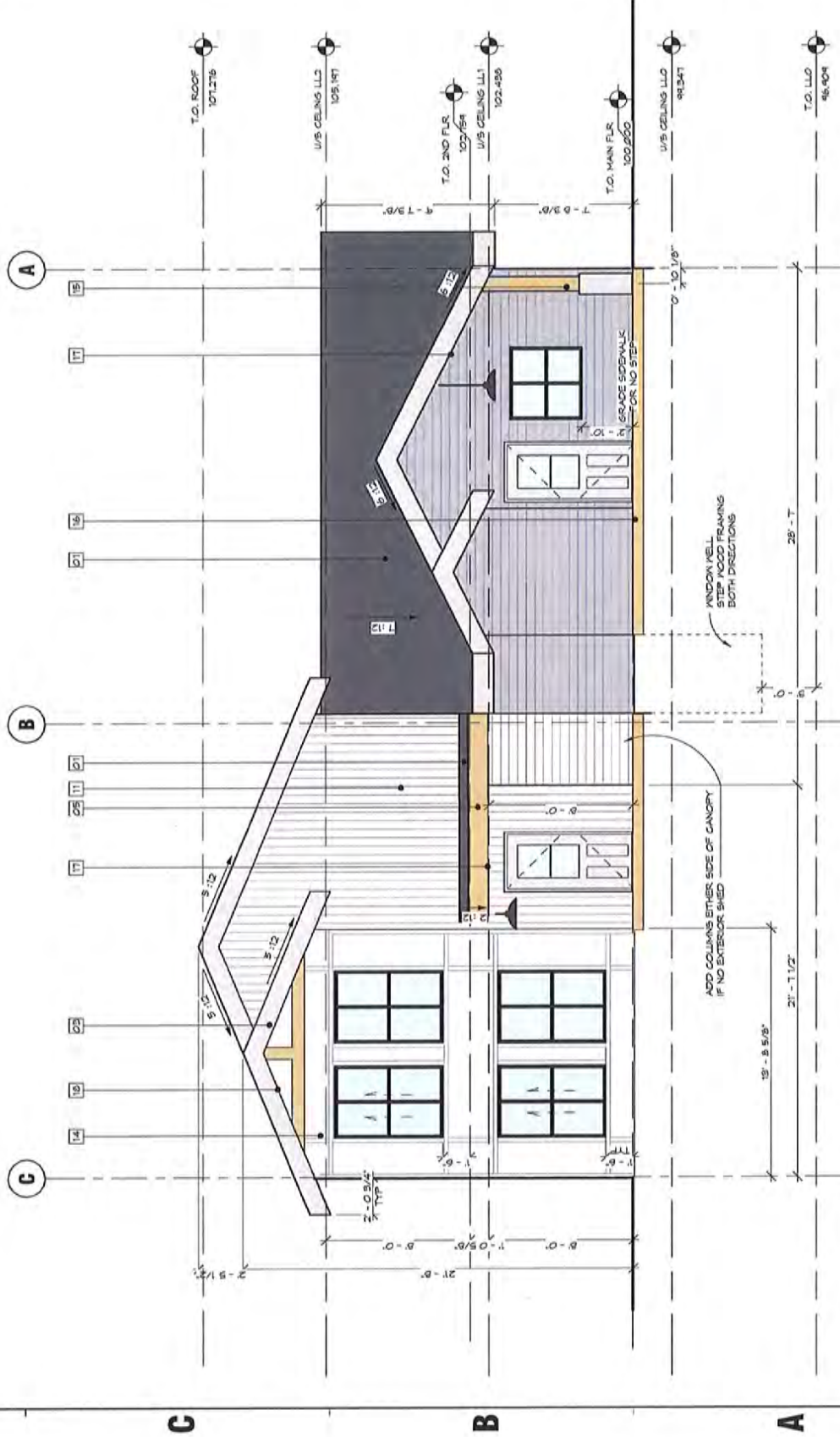
OCT 21

21-070

**A4.2**

**KEYNOTE LEGEND**

01	ASPHALT SHINGLE
02	WHITE FASCIA
03	WOOD FASCIA
11	WHITE ROSE BERTCAL PLANK
12	WHITE ROSE BERTCAL BATTEN
13	SOLID WOOD COLUMN WITH FLUSH HARDIE BASE
14	CONCRETE PATIO W/ FAUX WOOD FASCIA AS READ
17	PINE (OR FAUX ALUM/POLY EQUIVALENT) SOFFIT
18	STANDARD WHITE ALUMINUM SOFFIT



**ELEVATION C**

A1

A4.2

SCALE: 1" = 1/4"

5

4

3

2

1

Key Value	Keynote Text
01	ASPHALT SHINGLE
03	WHITE FASCIA
06	DARK-TONE HORIZONTAL 1.25" HARDFE LAP
18	STANDARD WHITE ALUMINUM SOFFIT

**KEYNOTE LEGEND**

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2023	04-27	BUILDING PERMIT	
2023	04-21	CONSULTATION	
2024	03-07	RF-65016, INC	

**Pinetree Meadows  
Phase 1, Lot 2  
Generation Homes  
15 Ave Invermere BC**

PROJECT TITLE

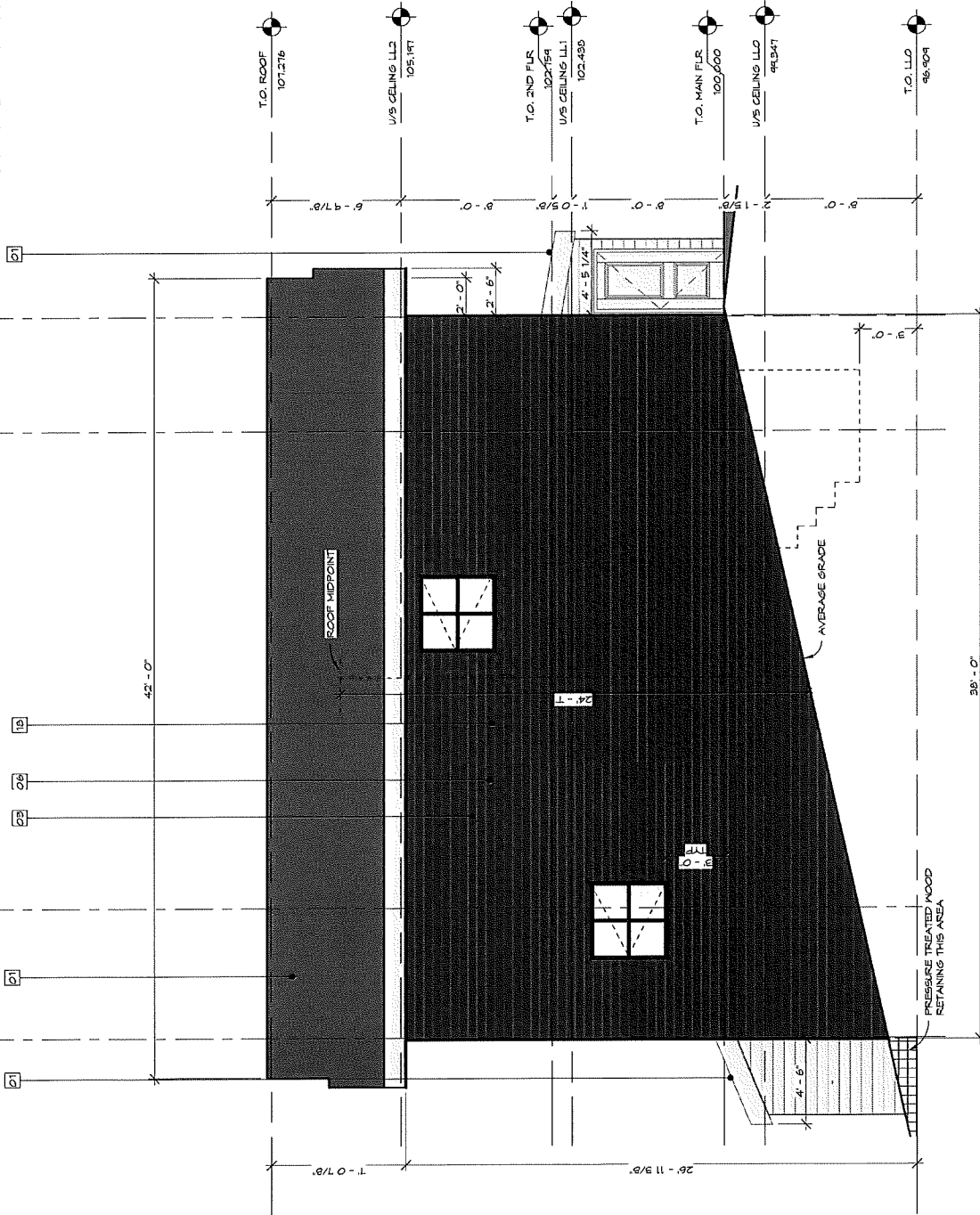
**EXTERIOR  
BUILDING  
ELEVATIONS**

DRAWING TITLE

SCALE:	1" = 1/4"
DRAWN:	RKD
CHECKED:	IM/RR
OCT 21	
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**ELEVATION D**

A1  
A4.4  
SCALE: 1" = 1/4"







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NO.	DATE	DESCRIPTION
001	04/27	BUILDING PERMIT
002	06/21	CONSTRUCTION
003	07/07	RESUBMIT EC

# Pinetree Meadows Phase 1, Lot 2 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

# BUILDING SECTIONS

DRAWING TITLE

SCALE: 1" = 1/4"

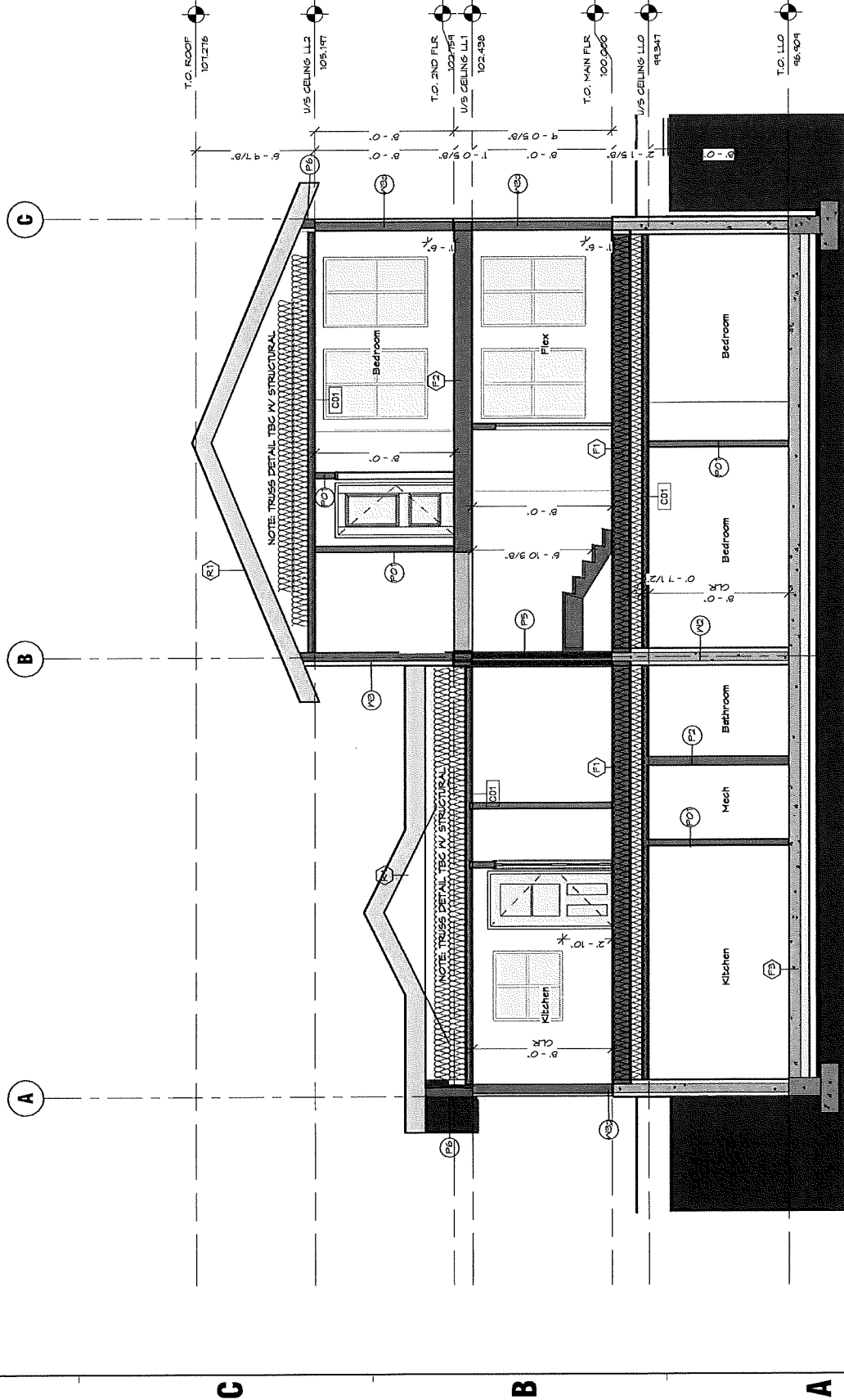
DRAWN: R/KD

CHECKED: IM/RR

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# A5.0



NOTE: SLAB + FOOTING DETAIL TBC NV STRUCTURAL

## BUILDING SECTION A

SCALE 1" = 1/4"

A1  
A5.0



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REVISIONS + ISSUES

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001	10/21/15	ISSUE FOR PERMITS	MM
002	01/21/16	FOR CONSTRUCTION	MM
003	02/02/16	FOR CONSTRUCTION	MM
004	02/02/16	REVISED WALL ASSEMBLY	MM

PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES  
15th Ave, Invermere BC

PROJECT TITLE

CONSTRUCTION  
DETAILS

DRAWING TITLE

SCALE: As Indicated

DRAWN: RND

CHECKED: RRR

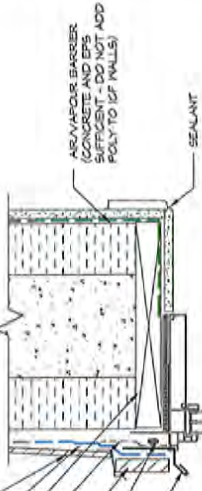
OCT 21

21-070

A6.0

EXTERIOR CLADDING AS PER ELEVATIONS

- LAP WEATHER BARRIER OVER SELF-ADHERED MEMBRANE FLASHING
- WINDOW BUCK (ANCHOR AS PER OF MANF. INFORMATION)
- SELF-ADHERED MEMBRANE FLASHING
- SMART TRIM
- SEALANT
- PRE-FINISHED METAL FLASHING 6% SLOPE WITH DRIP EDGE

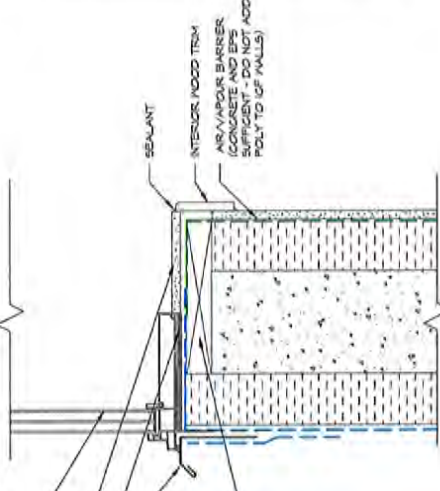


NOTE VINYL JAMB EXTENSIONS AS PER CLIENT.

### ICF WALL WINDOW HEADER

D4  
A6.0  
SCALE: 1:5

- VINYL WINDOW SYSTEM (REFER TO WINDOW SCHEDULE)
- SILL EXTENSION (MATERIAL AS PER CLIENT)
- FOAM-IN-PLACE SEALANT
- PRE-FINISHED METAL FLASHING 6% SLOPE WITH DRIP EDGE
- WINDOW BUCK (ANCHOR AS PER OF MANF. INFORMATION)



### ICF WALL WINDOW SILL

B4  
A6.0  
SCALE: 1:5

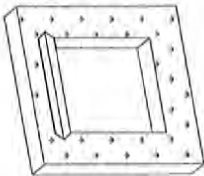


NOTE CLOSED END DAM FLASHING AS DETAILED ABOVE REQUIRED AT BOTH JAMBS OF ALL WINDOWS AND DOORS

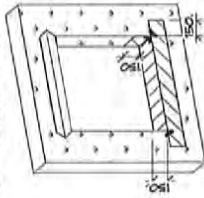
### CLOSED END DAM FLASHING

A4  
A6.0  
SCALE: 1:4

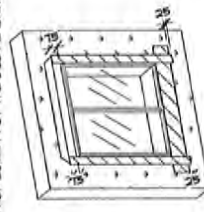
1. APPLY AIR BARRIER TO WALL, CUT AIR BARRIER AND WRAP JAMBS, CREATE AIR BARRIER FLAP AT WINDOW HEAD



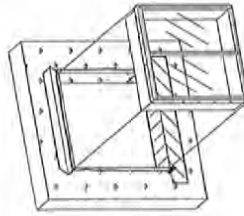
2. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE BOTTOM SILL THAT IS 300mm LONGER THAN THE WIDTH OF THE ROUGH OPENING. COVER THE ENTIRE SILL. MEMBRANE MUST CONTINUE DOWN UP EACH JAMB. LAP THE OVERLAPPING MEMBRANE TO THE INSIDE WALL. LAP THE AIR BARRIER APPLY BOUTE PATCH TO BOTTOM CORNERS



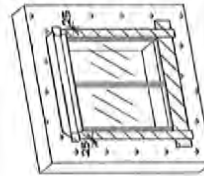
3. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE SIDES (JAMBS) OF THE WINDOW. FLASHING SHOULD BE A MINIMUM OF 75mm ABOVE WINDOW HEAD AND A MINIMUM OF 25mm PAST THE SILL FLASHING.



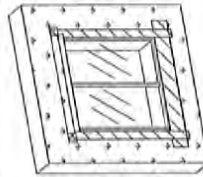
4. APPLY SEALANT TO WINDOW MOUNTING FLANGE. JAMBS MUST BE SEALED TO THE MANUFACTURER'S INSTRUCTIONS.



5. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE HEAD OF THE WINDOW. FLASHING SHOULD BE A MINIMUM OF 25mm PAST THE JAMB FLASHING. INSTALL PRE-FINISHED METAL FLASHING AT WINDOW HEAD.



6. RELEASE AIR BARRIER FLAP AND SEAL



FLASHING NOTE:  
THE WIDTH OF ALL FLASHINGS ARE DETERMINED BY THE NAILING FLANGE OF THE WINDOW. THE FLASHING MUST EXTEND PAST THE EXTENTS OF THE NAILING FLANGE OF WINDOW.

### WINDOW MEMBRANE FLASHING DETAIL

A1  
A6.0  
SCALE: 1:5

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**REVISIONS + ISSUES**

NO.	DATE	DESCRIPTION	ISSUED FOR
0023	06-24	CONSTRUCTION	
0024	08-21	CONSTRUCTION	
0024	08-27	REVISED WALL ASSEMBLY	

**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES  
15th Ave, Invermere BC**

PROJECT TITLE

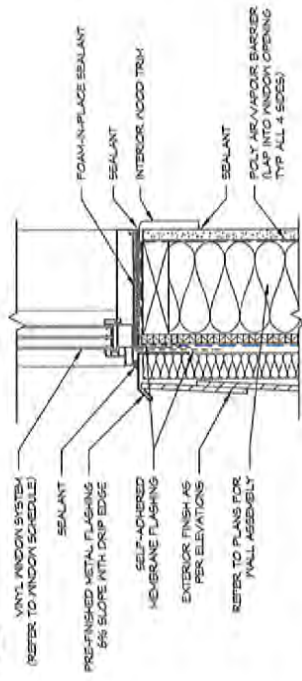
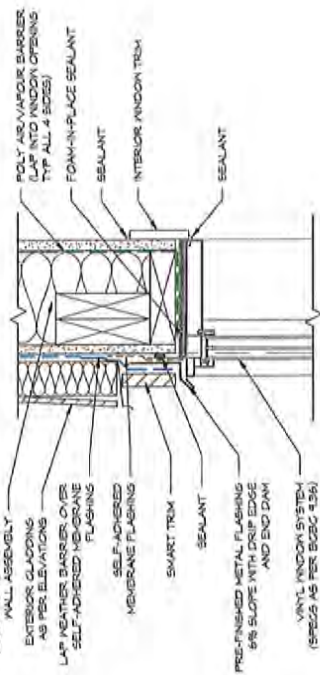
**CONSTRUCTION  
DETAILS  
CONT.**

DRAWING TITLE

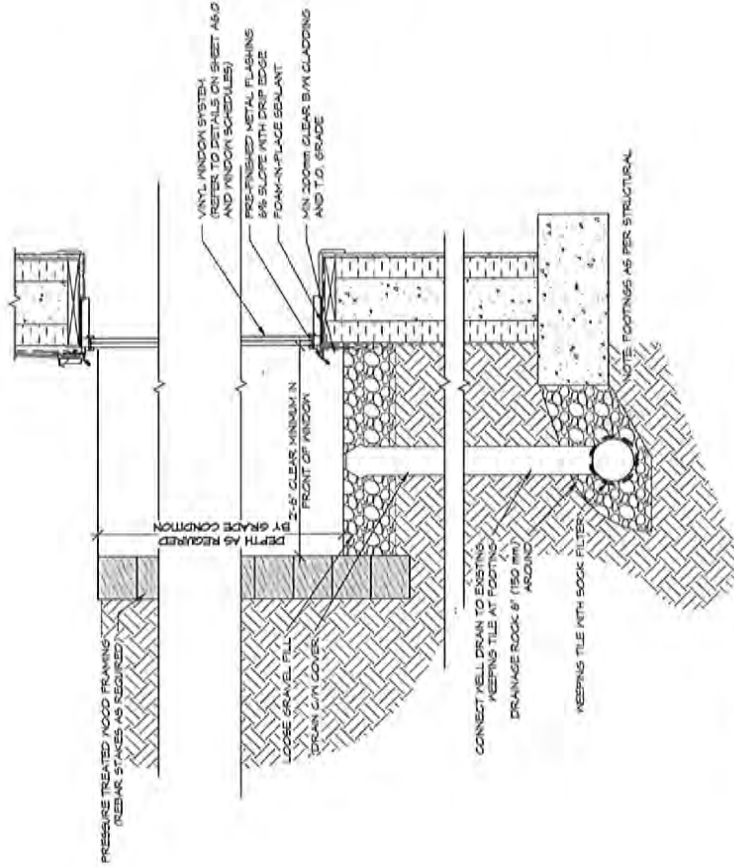
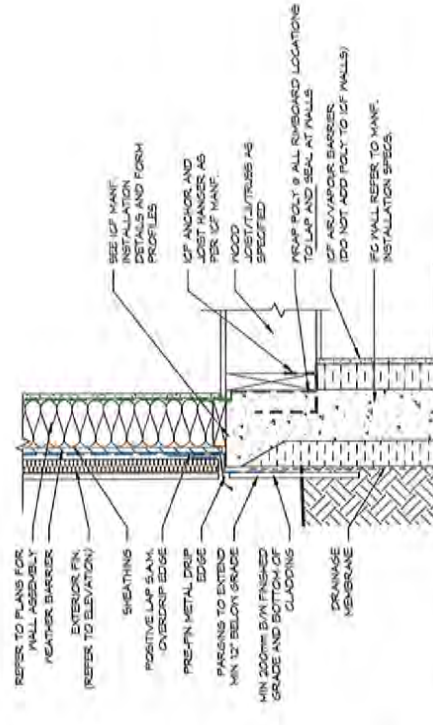
SCALE: As Indicated  
DRAWN: RJK  
CHECKED: RJK

OCT '21  
21-010

**A6.1**



NOTE: WOOD SILL OR DRYWALL RETURNS AS PER CLIENT.

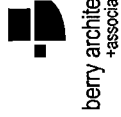


**SLAB TO FOUNDATION WALL**

A5  
A6.1  
SCALE: 1:1.0

**ICF TO WOOD FRAME EXT. WALL**

A1  
A6.1  
SCALE: 1:1.0



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+associates

SEALS

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REVISIONS + ISSUES	
2023 06 24	ISSUED FOR CONSTRUCTION
2023 06 21	CONSTRUCTION
2024 03 07	REVISED WALL ASSEMBLY

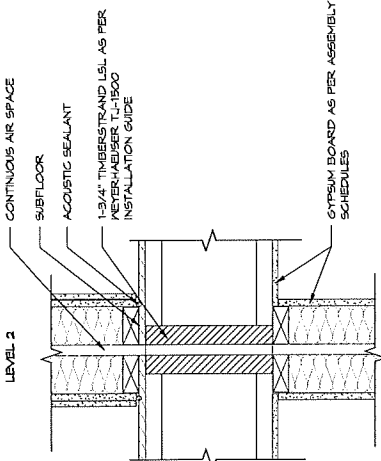
**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES  
15th Ave, Invermere BC**

PROJECT TITLE

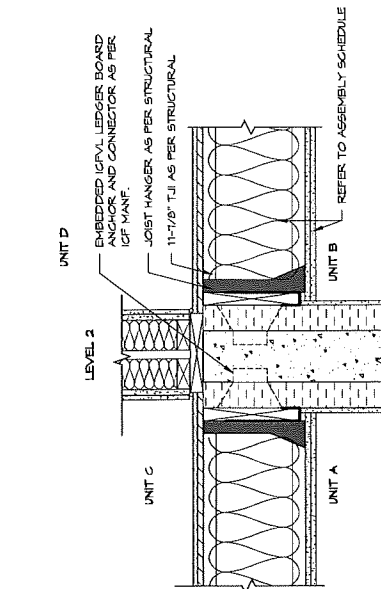
**CONSTRUCTION  
DETAILS  
CONT.**

DRAWING TITLE

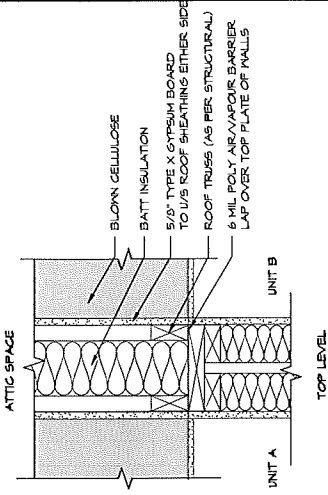
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DRAWN:	RKD
CHECKED:	RR
OCT 21	A6.2
21-OTO	



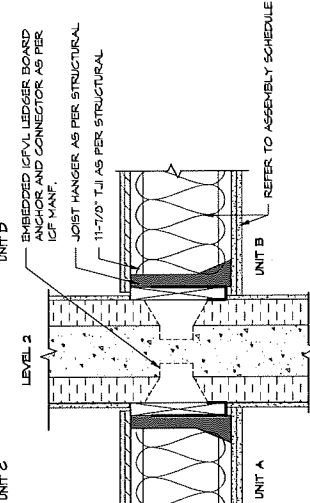
**D3 WOOD PARTY WALL TO INT. FLOOR**  
SCALE = 1:8



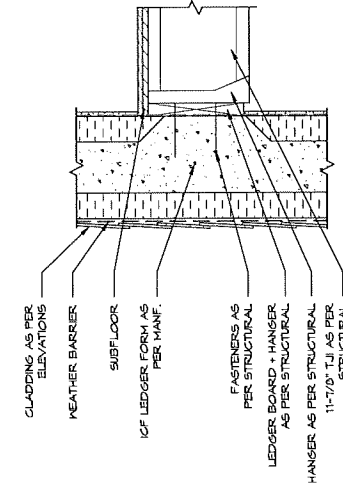
**D1 ICF TO WOOD PARTY WALL**  
SCALE = 1:10



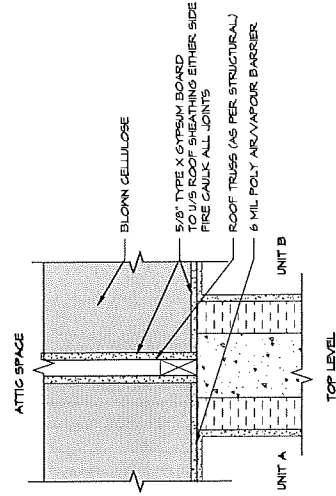
**D4 WOOD PARTY WALL TO ROOF**  
SCALE = 1:8



**D3 WOOD PARTY WALL TO INT. FLOOR**  
SCALE = 1:8



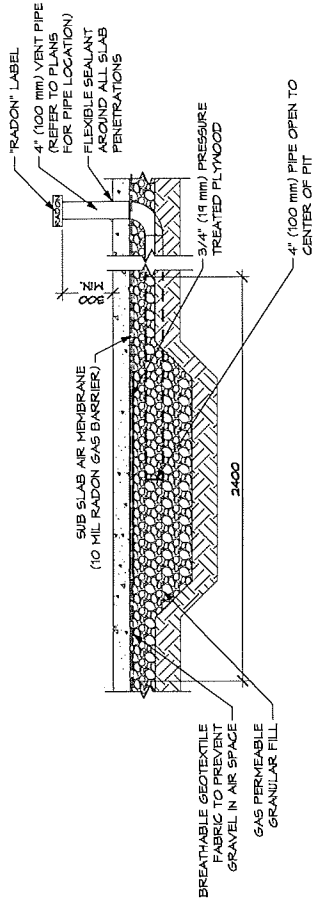
**D1 ICF TO WOOD PARTY WALL**  
SCALE = 1:10



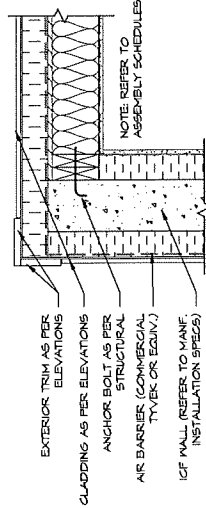
**D4 WOOD PARTY WALL TO ROOF**  
SCALE = 1:8

**B2 ICF PARTY WALL TO FLOOR**  
SCALE = 1:10

**B4 ICF PARTY WALL TO ROOF**  
SCALE = 1:8



**A1 RADON PIT**  
SCALE = 1:10



**A4 ICF TO WOOD WALL CORNER PLAN DETAIL**  
SCALE = 1:10

SEALS

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REVISIONS + ISSUES	
2224 04 20	ISSUED FOR CONSTRUCTION
2224 05 24	CONSTRUCTION
2224 06 01	CONSTRUCTION
2224 03 07	REVISED WALL ASSEMBLY

**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES  
15th Ave, Invermere BC**

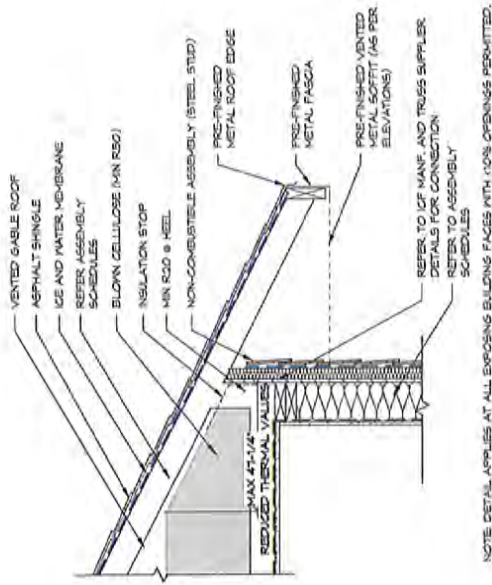
PROJECT TITLE

**CONSTRUCTION  
DETAILS  
CONT.**

DRAWING TITLE

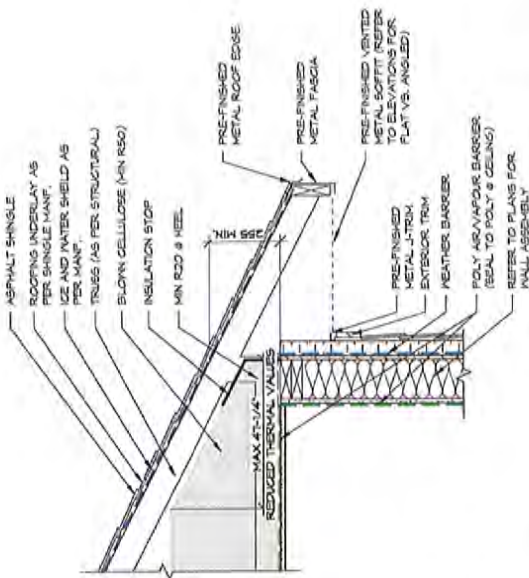
SCALE	1"=1'
DRAWN	RKD
DESIGNED	RRJ/AM
OCT '21	
21-070	

**A6.3**



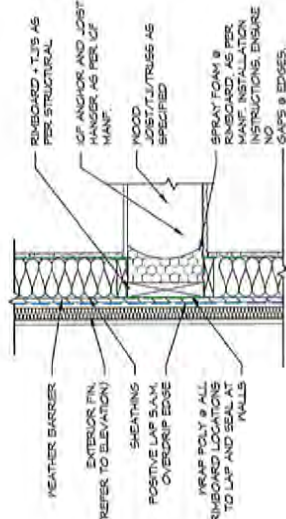
**C2 WALL/ROOF CONNECTION FIRE RATED WALL**

SCALE 1/4" = 1'-0"



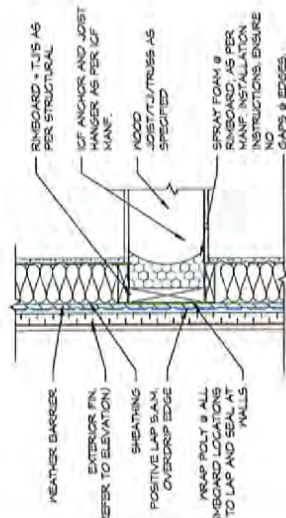
**C1 WOOD WALL TO ROOF CONNECTION**

SCALE 1/4" = 1'-0"



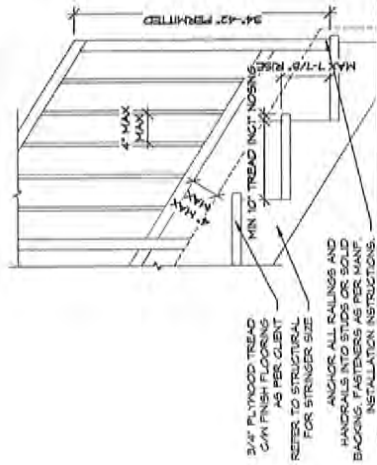
**A3 INT. FLOOR/WALL CONNECTION FIRE RATED WALL**

SCALE 1/4" = 1'-0"



**A1 INT. FLOOR/WALL CONNECTION**

SCALE 1/4" = 1'-0"



**A4 TYPICAL STAIR DETAIL**

SCALE 1/4" = 1'-0"

NOTE: STYLE OF RAILING SUBJECT TO CHANGE, COORDINATE W/ CLIENT. MUST MEET ALL REQUIREMENTS OF BDDG SECTION 9.8.1, AND APPLIES TO ALL INTERIOR STAIRS HAVING MORE THAN 2 RISERS.  
STAIR SUPPLIER TO VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. SUBMIT SHOP DRAWINGS TO CONTRACTOR FOR APPROVAL.

## Phase 4

# LOGEPOLE MODEL ASSEMBLY SCHEDULES

## EXTERIOR WALLS

**M1-6-1/2" EXTERIOR WALL**  
 -GLAZING AS PER ELEVATIONS  
 -AIR BARRIER  
 -5/8" WEATHER BARRIER  
 -2" RIGID INSULATION  
 -2" RIGID INSULATION  
 -1/2" GYPSUM WALL BOARD

## M2-6-1/2" CENTRE WALL (1 HR. FRR)

-1/2" GYPSUM WALL BOARD  
 -5/8" WEATHER BARRIER  
 -5" CONCRETE  
 -2" RIGID INSULATION  
 -1/2" GYPSUM WALL BOARD

## M3-EXTERIOR ABOVE GRADE WALL

-1/2" NON-COMBUSTIBLE CLADDING (AS PER ELEVATIONS)  
 -1/2" RIGID INSULATION  
 -AIR/WEATHER BARRIER  
 -1/2" EXTERIOR GRADE SHEATHING  
 -2x6 MOOD STUDS @ 16" O.C.  
 -CAVITY FILLED BATT INSULATION  
 -LIQUID APPLIED VAPOUR BARRIER

## M3B-EXTERIOR ABOVE GRADE WALL

-1/2" NON-COMBUSTIBLE CLADDING (AS PER ELEVATIONS)  
 -1/2" EMERALD MINERAL WOOL INSULATION  
 -AIR/WEATHER BARRIER  
 -1/2" EXTERIOR DENSGLASS SHEATHING  
 -2x6 MOOD STUDS @ 16" O.C.  
 -CAVITY FILLED MINERAL WOOL INSULATION  
 -LIQUID APPLIED VAPOUR BARRIER

## M4-EXTERIOR SHEED WALL

-GLAZING AS PER ELEVATIONS  
 -1/2" PLYWOOD  
 -2x4 MOOD STUDS @ 16" O.C.  
 -BATT INSULATION  
 -1/2" PLYWOOD

## CEILING

### CE01-FINISHED CEILING

-DIMENSIONAL LUMBER FRAMING/FURRING  
 -VAPOUR BARRIER (WHEN EXPOSED TO ATTIC)  
 -SOUND PANNELLING (ON LOWER LEVEL)  
 -1/2" RIGID INSULATION (OPTIONAL)  
 -LGA PROFILE TEXTURED FINISH

## FLOORS

### F1-11 SOUND INSULATED FLOORS

-VINYL PLANK FLOORING  
 -5/8" CGS TIG SUBFLOOR  
 -ACGUSTIC BATT FILLED JOIST CAVITY  
 -11 7/8" TJI'S  
 -3 LAYERS 5/8" GYPSUM WALL BOARD, TYPE X

### F2-11 1/4" SLAB FLOORS

-VINYL PLANK FLOORING  
 -5/8" CGS TIG SUBFLOOR  
 -ACGUSTIC BATT FILLED JOIST CAVITY  
 -9/8" GYPSUM WALL BOARD, TYPE X

### F3-INSULATED BASEMENT SLAB

-VINYL PLANK FLOORING  
 -5/8" FLOORING UNDERLAY  
 -VAPOUR BARRIER  
 -REINFORCED CONCRETE SLAB (AS PER BEARING)  
 -9" RIGID INSULATION (HIGH DENSITY, BEARING)  
 -COMPACTED GRAVEL (AS PER STRUCTURAL)

## DRAWING SYMBOLS LEGEND

DOOR TAGS REFER TO SCHEDULE

WINDOW TYPE TAG, REFER TO SCHEDULE

ROOM NAME

DETAIL INDICATOR  
 DETAIL #  
 PAGE CROSS REFERENCE

SECTION # ELEVATION INDICATOR  
 SECTION #  
 VIEW DIRECTION OF ELEVATION  
 PAGE CROSS REFERENCE

ELEVATION  
 CH-3000  
 CEILING HEIGHT INDICATOR

KEYNOTE INDICATOR

MALL TYPE SYMBOL

ROOF TYPE SYMBOL

FLOOR TYPE SYMBOL

NORTH ARROW

## GENERAL NOTES

- DO NOT SCALE DRAWINGS, CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT.
- CONDICIONS TO CONTRIBUTE DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
- ALL WORK COMPLIES WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE - 2018 BCBC EDITION AND LOCAL ORDINANCES.
- COORDINATE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. PROVIDE ALL NECESSARY DIMENSIONS FOR THE FITTING OF ALL COMPONENTS AS NECESSARY TO ENSURE THEIR SOUND OPERATION UPON COMPLETION.
- ALL WALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE CONSTRUCTION ASSEMBLY PAGE SHOW TRUE REPRESENTATION OF COMPLETED CONSTRUCTION. REVISIONS TO THESE ASSEMBLIES SUPERSEDE ALL COMPLETED DETAILS AND NOTATION COMPLETED ON THE FOLLOWING CONSTRUCTION DRAWINGS.
- REFER TO STRUCTURAL FRAMING PLANS FOR LOCATIONS OF ALL INTERIOR LOAD BEARING ASSEMBLIES AND BEAR PARTITIONS. PROVIDE ALL DIMENSIONS AND MATERIALS. KITCHENS SHALL BE MOISTURE RESISTANT TYPE CHAMFERED.
- ALL EXPOSED CONCRETE MALL CORNERS SHALL BE CHAMFERED.
- ALL 6.1 FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.
- MAINTAIN CONTINUOUS FIRE RATED SEPARATION AROUND JANITOR ROOMS, STORAGE ROOMS, AND MECHANICAL ROOMS. PROVIDE CONTINUOUS SEALANT AROUND BOTH SIDES OF ALL DOOR AND WINDOW FRAMES.
- IN ALL LOCATIONS WHERE GYPSUM BOARD ABUTS DISMILAR MATERIAL, USE A MILLOR AND/OR J-TRIM AT EDGE SURFACES. ALLOW 3mm 7/ 64F EX DOOR, MINOR FRAME, CONCRETE MALL, CONCRETE BRICK ETC.
- ALL MOOD COMPONENTS DIRECTLY ATTACHED TO GEMENTIONED MATERIALS AND DIRECTLY UNDER EXTERIOR ALUMINUM SKILLS SHALL BE PRESSURE TREATED.
- FUR-IN ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
- SEE MECHANICAL AND ELECTRICAL FOR EXACT TYPES AND QUANTITIES OF DIFFUSERS, GRATES, SIZES, AND FINISHES TO SUIT ARCHITECTURAL REFLECTED CEILING PLANS AND/OR DETAILS.
- CAULK AND SEAL AROUND ALL DUCTS AND PIPES PASSING THROUGH FIRE RATED PARTITIONS AND FLOOR ASSEMBLIES WITH APPROVED (ULC) ELASTIC CAULKING.
- PROVIDE ACOUSTICAL SEALANT AT JUNCTIONS OF SOUND RATED PARTITIONS, STAGGER THESE OUTLETS, 2 STUD SPACES. PROVIDE ACOUSTICAL SEALANT ALL AROUND.
- PROVIDE CORNER BEAD FOR ALL EXPOSED GYPSUM WALL
- ALL MOOD COMPONENTS DIRECTLY ATTACHED TO GEMENTIONED MATERIALS AND DIRECTLY UNDER EXTERIOR ALUMINUM SKILLS SHALL BE PRESSURE TREATED.
- FUR-IN ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
- SEE MECHANICAL AND ELECTRICAL FOR EXACT TYPES AND QUANTITIES OF DIFFUSERS, GRATES, SIZES, AND FINISHES TO SUIT ARCHITECTURAL REFLECTED CEILING PLANS AND/OR DETAILS.
- CAULK AND SEAL AROUND ALL DUCTS AND PIPES PASSING THROUGH FIRE RATED PARTITIONS AND FLOOR ASSEMBLIES WITH APPROVED (ULC) ELASTIC CAULKING.
- PROVIDE ACOUSTICAL SEALANT AT JUNCTIONS OF SOUND RATED PARTITIONS, STAGGER THESE OUTLETS, 2 STUD SPACES. PROVIDE ACOUSTICAL SEALANT ALL AROUND.

## REVISIONS + ISSUES

NO	DATE	REVISION
2023 04 02	RE ISSUED FOR BUILDING PERMIT	
2023 05 21	CONSTRUCTION	
2024 02 07	REVISED WALL ASSEMBLY	

## SEALS

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# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes BC 15 Ave Invermere BC

## PROJECT TITLE

Berry Architecture + Associates  
 Suite 200, 5218-50 Avenue  
 Red Deer, T4N 4B5  
 Phone: 403-314-4461  
 Contact:

## ARCHITECTURAL SHEET

Sheet Number	Sheet Name
A0.0	COVER SHEET
A1.0	CODE REVIEW
A2.0	SITE PLAN + UTILITY REVIEW
A3.0	BASEMENT FLOOR PLAN
A4.0	1ST FLOOR PLAN
A5.0	2ND FLOOR PLAN
A6.0	EXTERIOR BUILDING ELEVATIONS
A7.0	EXTERIOR BUILDING ELEVATIONS
A8.0	EXTERIOR BUILDING ELEVATIONS
A9.0	BUILDING SECTIONS
A10.0	CONSTRUCTION DETAILS
A11.0	CONSTRUCTION DETAILS CONT.
A12.0	CONSTRUCTION DETAILS CONT.
A13.0	CONSTRUCTION DETAILS CONT.
A14.0	DOOR + WINDOW SCHEDULES
A15.0	SPECIFICATIONS

SCALE: As Indicated  
 DRAWN: RKD  
 CHECKED: JMR  
 OCT 21  
 21-070

# COVER SHEET

# A0.0



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REVISIONS + ISSUES

DATE	ISSUE
2022 05 02	BUILDING TRIM
2023 04 02	RE-SEAL FOR BUILDING PERMIT
2023 06 21	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

# BASEMENT FLOOR PLAN

DRAWING TITLE

SCALE: As Indicated

DRAWN: RKD

CHECKED: M/R/R

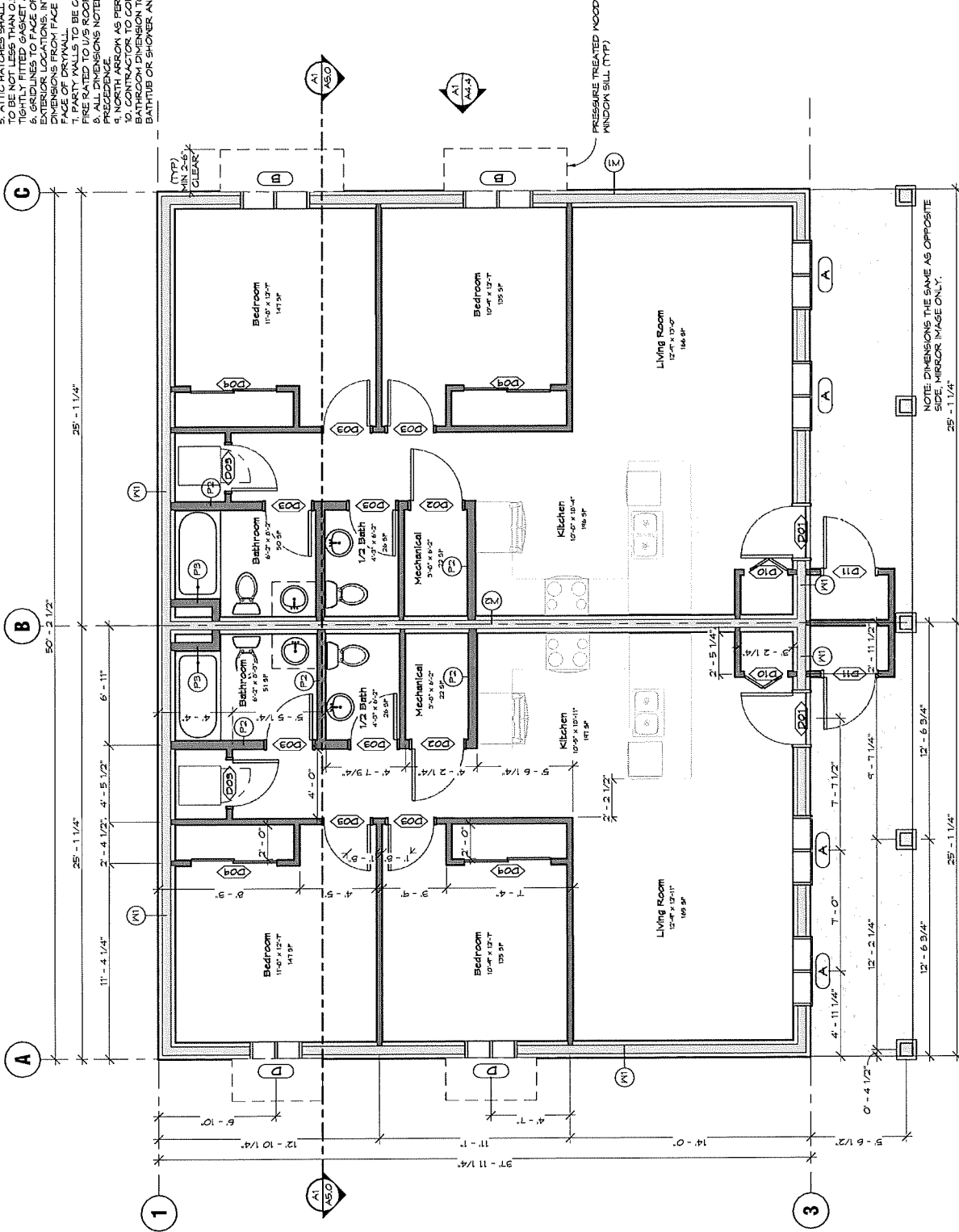
OCT 21

21-070

# A3.0

### GENERAL NOTES

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTRED IN OPENING UNLESS NOTED OTHERWISE.
3. ALL BULKHEADS TO HAVE MIN. 10" CLEARANCE BELOW.
4. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE.
5. ALL HATCHES SHALL BE PROVIDED TIGHTLY FITTED GASKET AND COVERS.
6. GRIDLINES TO FACE OF EXTERIOR AT EXTERIOR LOCATIONS. INTERIOR DIMENSIONS FROM FACE OF DRYWALL TO FACE OF PARTITION.
7. PARTY WALLS TO BE CONTIGUOUS AND FIRE RATED TO 1/2" ROOF DECK.
8. ALL DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE.
9. NORTH ARROW AS PER SITE PLAN.
10. DIMENSIONS TO FACE OF PARTITION IN BATHROOM DIMENSION TO SUIT SUPPLIED BATHTUB OR SHOWER AND SURROUND.



### BASEMENT FLOOR PLAN

SCALE 1/4" = 1'-0"





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REVISIONS + ISSUES

2023 04 02	ISSUED FOR
2023 04 02	RE ASSUED FOR BUILDING
2023 08 21	PERMIT
2024 03 17	CONSTRUCTION
2024 03 17	REVISED WALL ASSEMBLY

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes BC 15 Ave Invermere BC

PROJECT TITLE

# MAIN FLOOR PLAN

DRAWING TITLE

SCALE: As Indicated

DRAWN: RKD

CHECKED: JM/RR

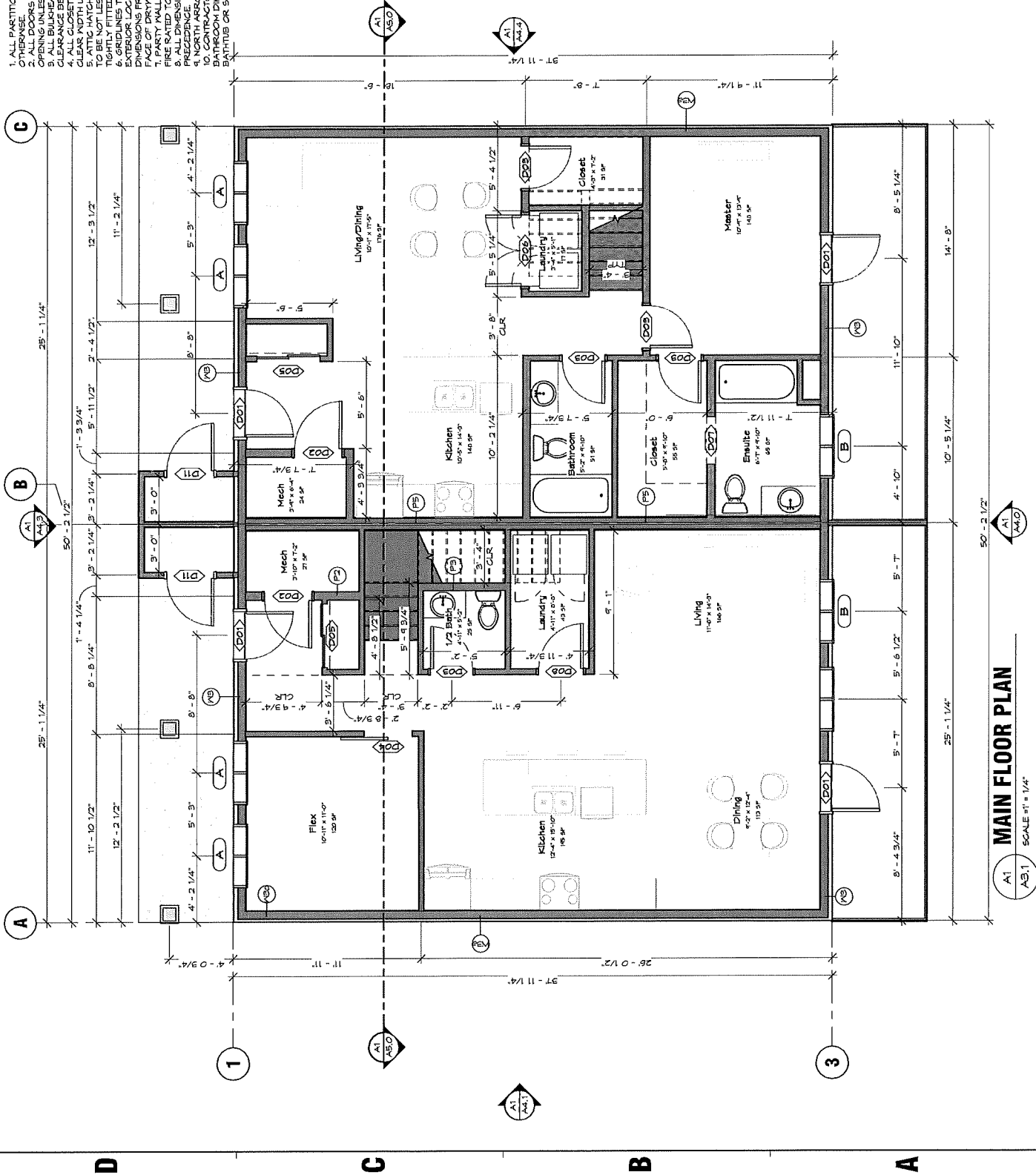
OCT 21

21-010

# A3.1

### GENERAL NOTES

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTRED IN OPENING.
3. ALL BULKHEADS TO HAVE MIN. 70" CLEARANCE BELOW.
4. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE.
5. ALL CLOSETS SHALL BE PROVIDED WITH DOORS TO FACE EXTERIOR.
6. GRIDLINES TO FACE OF EXTERIOR, AT EXTERIOR LOCATIONS. INTERIOR DIMENSIONS FROM FACE OF DRYWALL TO FACE OF EXTERIOR.
7. ALL WALLS TO BE CONTINUOUS AND FIRE RATED TO U/S ROOF DECK.
8. ALL DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE.
9. NORTH ARROW AS PER SITE PLAN.
10. ALL DIMENSIONS TO FACE UNLESS BATHROOM DIMENSION TO SUIT SUPPLIED BATHUB OR SHOWER AND SURROUND.



### MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



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NO.	DATE	ISSUED FOR
2023 04 02	CONSTRUCTION PERMIT	ISSUED FOR BUILDING
2023 06 21	CONSTRUCTION PERMIT	ISSUED FOR BUILDING
2024 03 17	REVISED WALL ASSEMBLY	ISSUED FOR BUILDING

# Pinetree Meadows Phase 1, Lots 1,3,5 15 Ave Invermere BC

PROJECT TITLE

## SECOND FLOOR PLAN

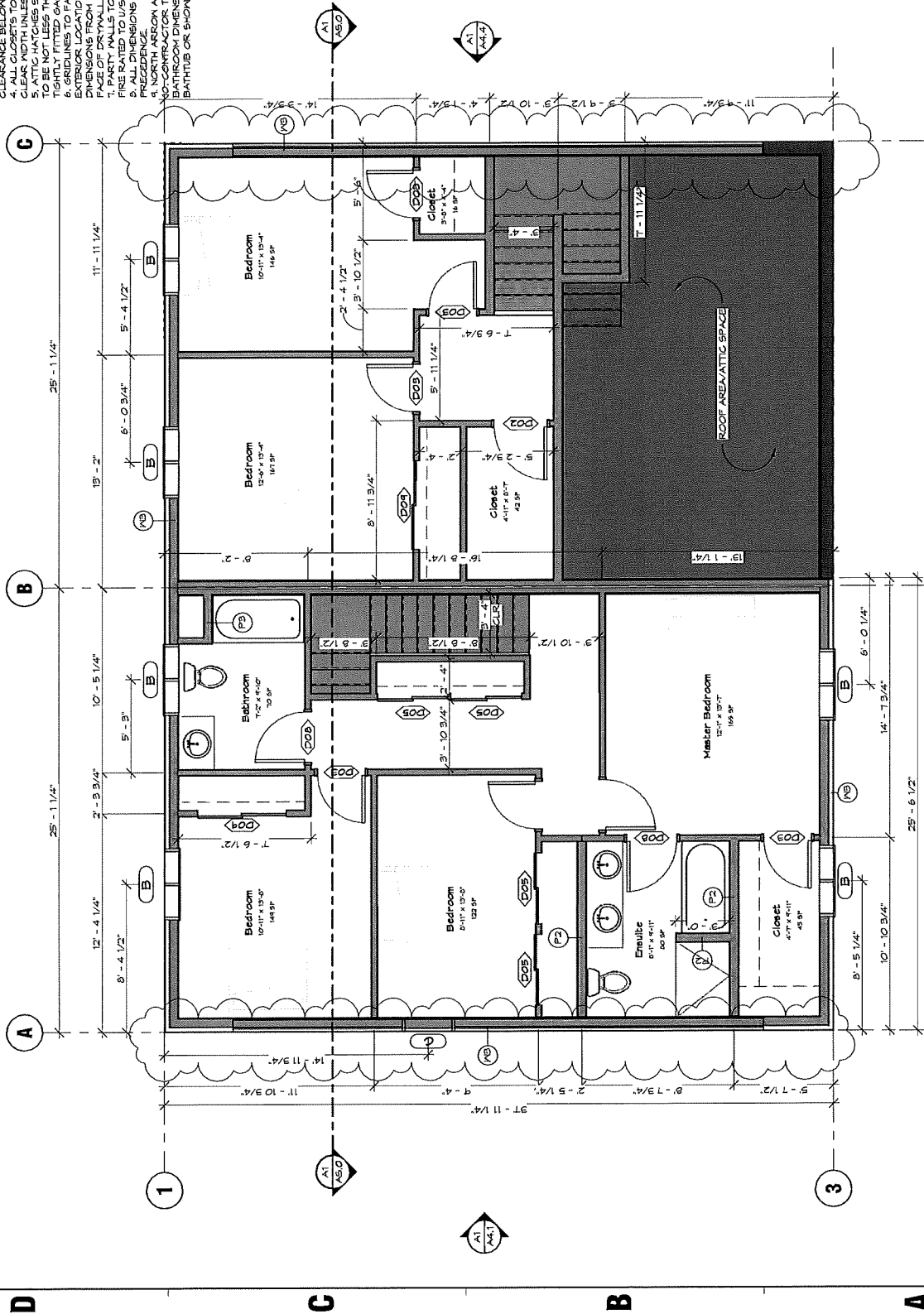
DRAWING TITLE

SCALE: As Indicated  
DRAWN: RKC  
CHECKED: IM/RR

OCT 21  
21-070  
**A3.2**

### GENERAL NOTES

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE
2. ALL DOORS TO BE CENTRED IN OPENING UNLESS NOTED OTHERWISE
3. ALL BULLHEADS TO HAVE MIN. 10" CLEARANCE
4. ALL CLOSETS TO HAVE 3'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE
5. ATTIC HATCHES SHALL BE PROVIDED TO BE NOT LESS THAN 0.33 sq ft WITH TIGHTLY FITTED GASKETS AND COVERS.
6. ALL INTERIOR DOORS TO BE 2'-0" X 6'-0" UNLESS NOTED OTHERWISE. INTERIOR DOOR DIMENSIONS FROM FACE OF DRYWALL TO FACE OF DRYWALL
7. PARTY WALLS TO BE CONTINUOUS AND FINISH TO EXTERIOR FACE OF WALL
8. DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE
9. NORTH ARROW AS PER SITE PLAN.
10. CONTRACTOR TO CONFIRM BATHROOM DIMENSION TO SUIT SUPPLIED BATHTUB OR SHOWER AND SURROUND.



### SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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REVISIONS + ISSUES

2022 MAY 02	ISSUED FOR
2022 05 02	BUILDING TRAVEL
2023 04 05	RE-ASSUED FOR BUILDING PERMIT
2023 06 21	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes BC 15 Ave Invermere BC

PROJECT TITLE

## ROOF PLAN

DRAWING TITLE

SCALE: 1" = 1/4"

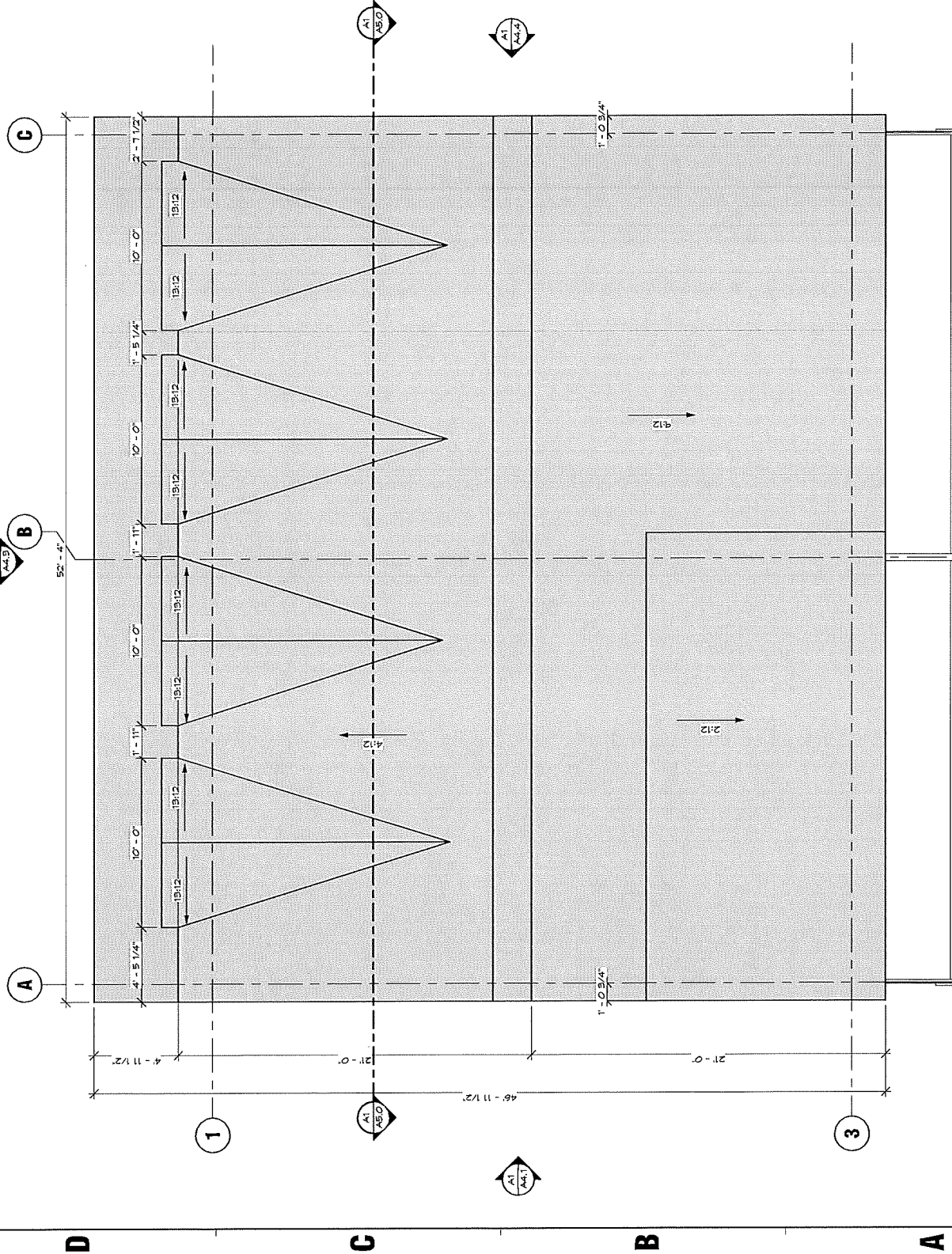
DRAWN: RKD

CHECKED: IM/RR

OCT 21

21-070

### A3.4



### T.O. ROOF

SCALE 1" = 1/4"

A1  
A3.4

5

4

3

2

1



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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION	BY	CHKD
01	11/11/21	ISSUED FOR PERMIT	MM	MM
02	05/02/22	BUILDING PERMIT	MM	MM
03	04/02/22	RE-ISSUED FOR BUILDING PERMIT	MM	MM
04	08/21/22	CONSTRUCTION	MM	MM

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

# EXTERIOR BUILDING ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKD/JE

CHECKED: IM/RR

OCT 21

21-070

## A4.0

### KEYNOTE LEGEND

01	ASPHALT SHINGLE
02	MID TONE HORIZONTAL 1/2" HARDE LAP
03	DARK TONE HARDE BOARD AND BATTEN
04	MID TONE HARDE BOARD AND BATTEN
05	SOLID WOOD COLUMN WITH FLURRED HARDE BASE



### ELEVATION A

SCALE 1" = 1/4"



5

4

3

2

1



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REVISIONS + ISSUES

DATE	BY	REASON
2022.02.02	PK	ISSUED FOR BUILDING PERMIT
2022.04.05	PK	ISSUED FOR BUILDING PERMIT
2022.05.21	PK	CONSTRUCTION

Pinetree Meadows  
Phase 1, Lots 1,3,5  
Generation Homes BC  
15 Ave Invermere BC

PROJECT TITLE

EXTERIOR  
BUILDING  
ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RND/JE

CHECKED: M/RR

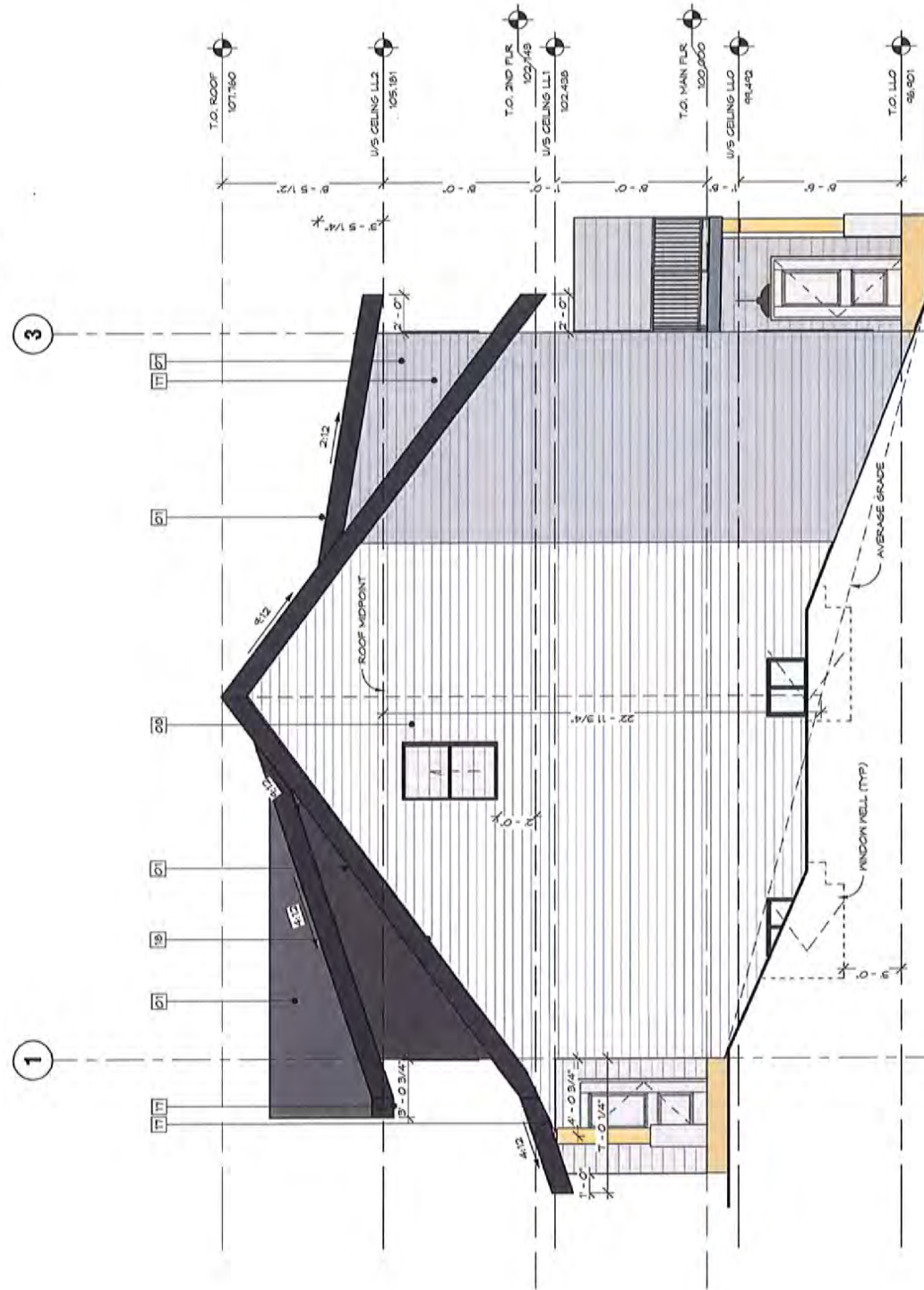
OCT 21

21-070

A4.1

KEYNOTE LEGEND

01	ASPHALT SHINGLE
01	MID-TONE HORIZONTAL 1.25" HARDE LAP
02	WHITE HORIZONTAL 1.25" HARDE LAP
03	PAVE (OR FAUX ALUMINUM/POLY EARTH/ALUM) SOFFIT
11	STANDARD WHITE ALUMINUM SOFFIT



A1  
A4.1  
ELEVATION B  
SCALE: 1" = 1/4"

5

4

3

2

1



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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION
01	2022 05 02	BUILDING PERMIT
02	2023 04 05	RE-DESIGNED FOR BUILDING PERMIT
03	2023 08 21	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes BC 15 Ave Invermere BC

PROJECT TITLE

# EXTERIOR BUILDING ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKD/JE

CHECKED: M/RR

OCT 21

21-OTO

## A4.3

### KEYNOTE LEGEND

01	ASPHALT SHINGLE
04	CHARCOAL FASCIA
09	WHITE HORIZONTAL 1"5" HARDIE LAP
11	WHITE HARDIE VERTICAL PLANK
12	DARK TONE HARDIE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH PURRED HARDIE BASE
16	CONCRETE PATIO W/ FAUX WOOD FASCIA AS REQ'D



### ELEVATION C

A1  
A4.3 SCALE 1" = 1/4"



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REVISIONS + ISSUES

NOV 14 2021	ISSUED FOR
NOV 14 2021	BUILDING PERMIT
NOV 14 2021	RE-ASUED FOR BUILDING
NOV 14 2021	PERMIT
NOV 14 2021	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes BC 15 Ave Invermere BC

PROJECT TITLE

# EXTERIOR BUILDING ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: R/KD/JE

CHECKED: IM/RR

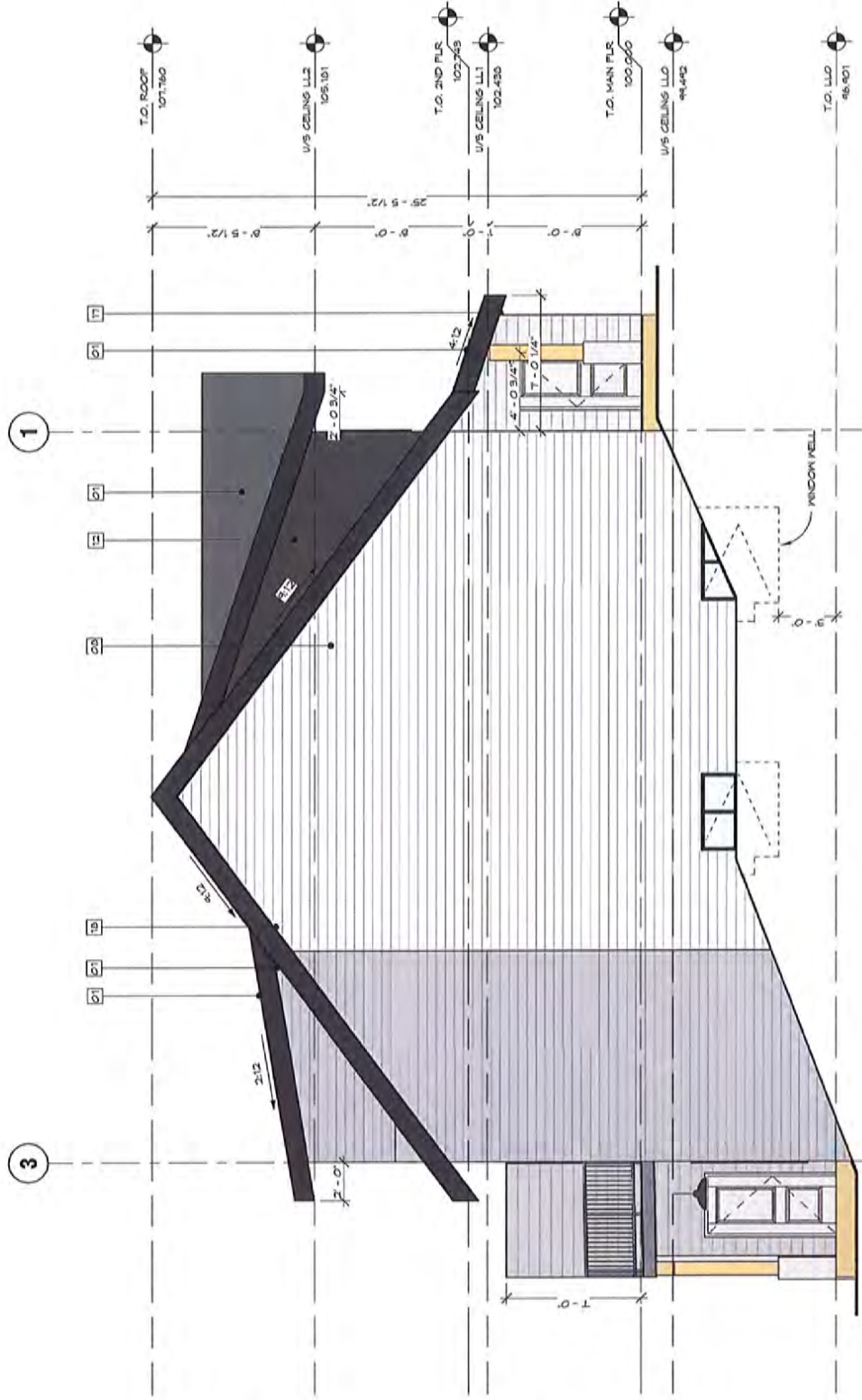
OCT 21

21-070

## A4.4

### KEYNOTE LEGEND

01	ASPHALT SHINGLE
02	WHITE HORIZONTAL 1/2" HARDGE LAP
12	DARK TONE HARDGE BOARD AND BATTEN
11	PINE (OR FAUX ALUMINUM/EQUIVALENT) SOFFIT
19	STANDARD WHITE ALUMINUM SOFFIT



**ELEVATION D**  
SCALE: 1" = 1/4"

1 2 3 4 5



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REVISIONS + ISSUES

NO.	DATE	ISSUED FOR
001	04/03	BUILDING PERMIT
002	04/03	RE-DESIGNED FOR BUILDING PERMIT
003	04/03	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes BC 15 Ave Invermere BC

PROJECT TITLE

# BUILDING SECTIONS

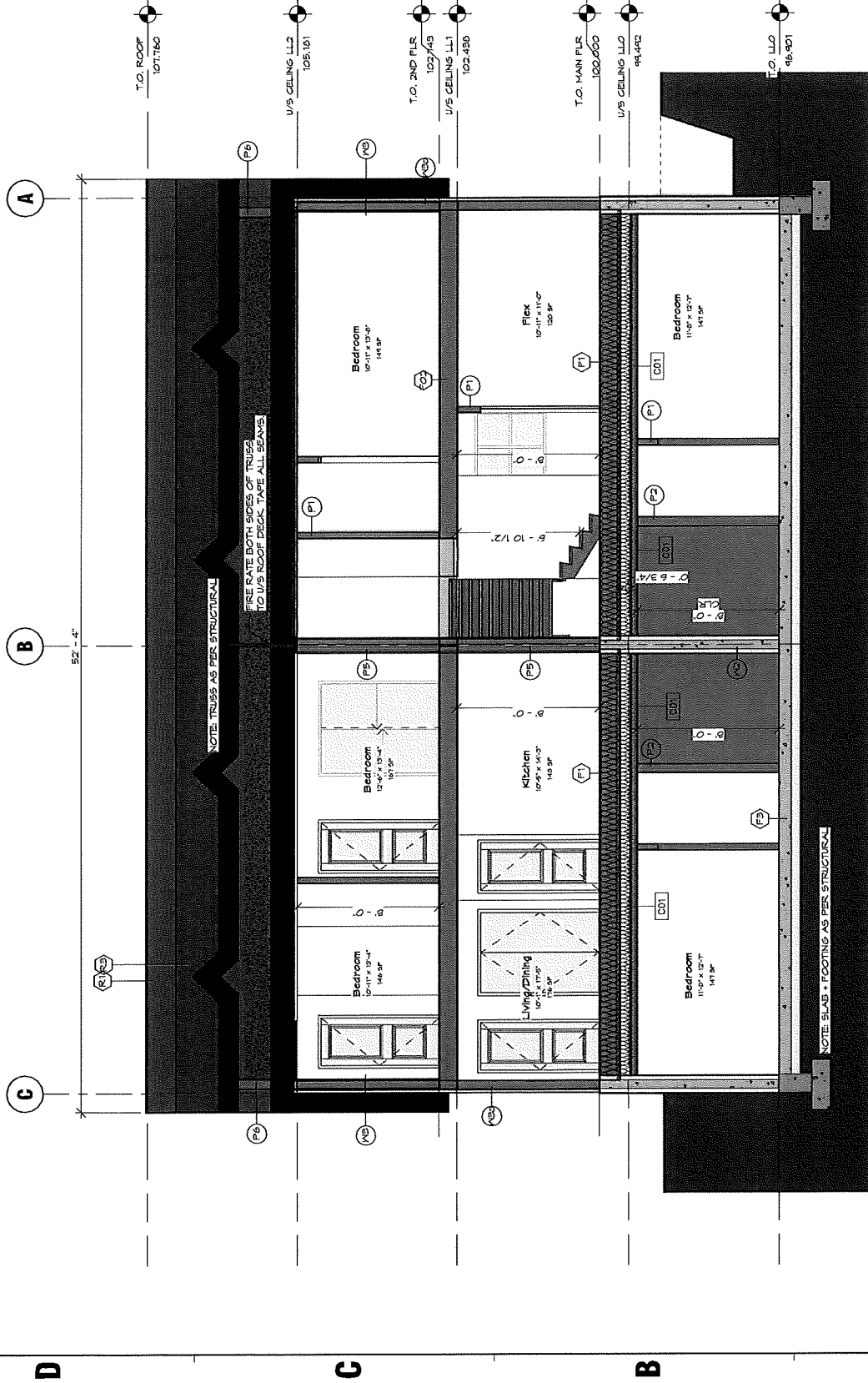
DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: R/KD

CHECKED: M/R/R

OCT. 21  
21-070  
**A5.0**



**SECTION A**  
SCALE 1/4" = 1'-0"





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REVISIONS + ISSUES	
NO. 001	ISSUE
001	CONSTRUCTION
002	CONSTRUCTION
003	REVISED WALL ASSEMBLY

**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES  
15th Ave, Invermere BC**

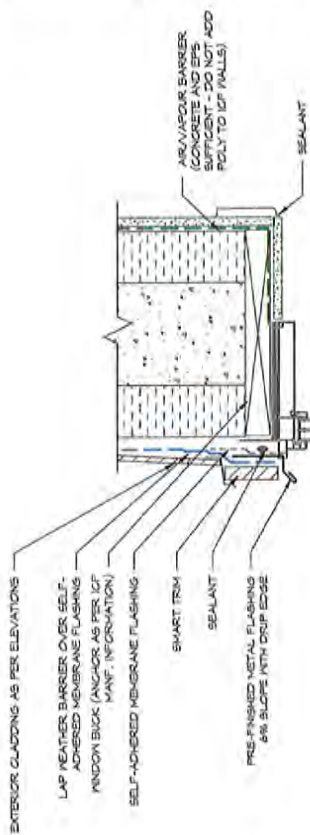
PROJECT TITLE

**CONSTRUCTION  
DETAILS**

DRAWING TITLE

SCALE	As Indicated
DRAWN	RKCD
CHECKED	PKR

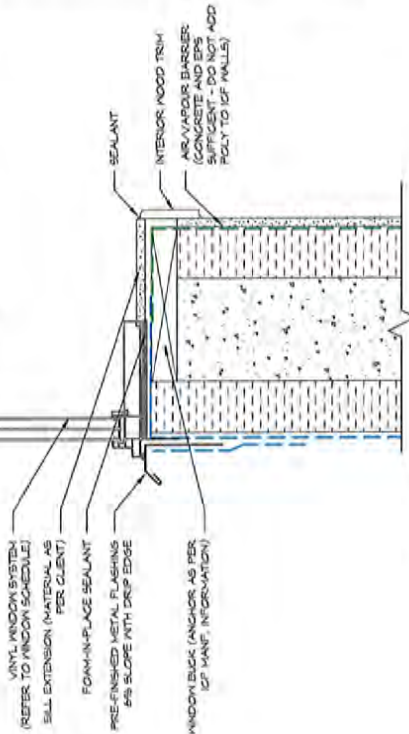
OCT '21  
21-070  
**A6.0**



NOTE VINTL. JAMB EXTENSIONS AS PER CLIENT.

**ICF WALL WINDOW HEADER**

D4  
A6.0  
SCALE = 1:1.5



**ICF WALL WINDOW SILL**

B4  
A6.0  
SCALE = 1:1.5

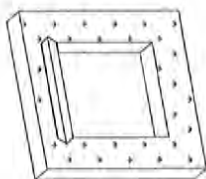


NOTE CLOSED END DAM FLASHING AS DETAILED ABOVE REQUIRED AT BOTH JAMBS OF ALL WINDOWS AND DOORS

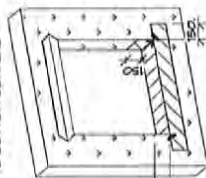
**CLOSED END DAM FLASHING**

A4  
A6.0  
SCALE = 1:1.4

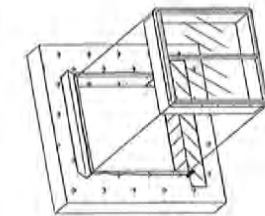
1. APPLY AIR BARRIER TO WALL, OUT AS BARRIER AND WRAP JAMBS. CREATE AIR BARRIER FLAP AT WINDOW HEAD.



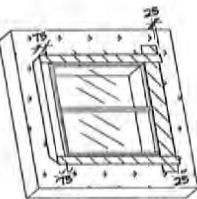
2. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE BOTTOM SILL THAT IS 300mm LONGER THAN THE WIDTH OF THE ROUGH OPENING. COVER THE ENTIRE SILL. MEMBRANE MUST CONTINUE 150mm UP EACH JAMB. LAP THE OVERLAPPING MEMBRANE DOWN TO THE WALL CORNERS. APPLY BOTTLE PATCH TO BOTTOM CORNERS.



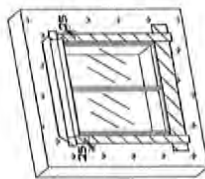
3. APPLY SEALANT TO WINDOW MOUNTING PLANCE (JAMB AND SILL ONLY) WITH THE WINDOW JOINTS ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.



4. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE SIDES (JAMBS) OF THE WINDOW. FLASHING SHOULD BE A MINIMUM OF 75mm ABOVE WINDOW HEAD AND A MINIMUM OF 25mm PAST THE SILL FLASHING.



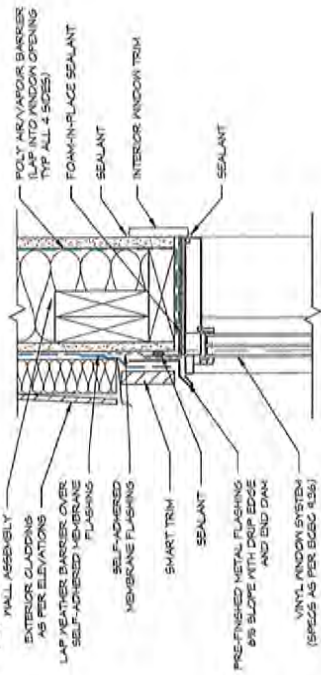
5. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE SIDES OF THE WINDOW. FLASHING SHOULD BE A MINIMUM OF 25mm PAST THE JAMB FLASHING. INSTALL PRE-FINISHED METAL FLASHING AT WINDOW HEAD.



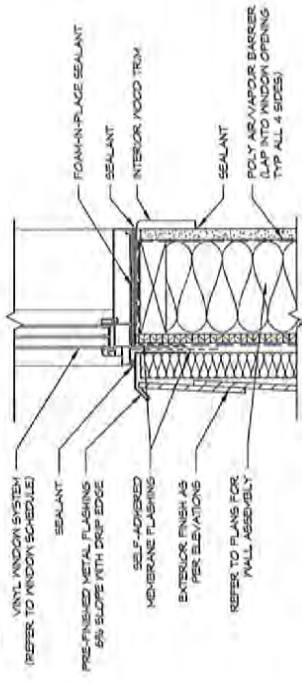
FLASHING NOTE:  
THE WIDTH OF ALL FLASHINGS ARE DETERMINED BY THE NAILING FLANGE OF THE WINDOW. THE FLASHING MUST EXTEND PAST THE EXTENTS OF THE NAILING FLANGE OF WINDOW.

**WINDOW MEMBRANE FLASHING DETAIL**

A1  
A6.0  
SCALE INTS

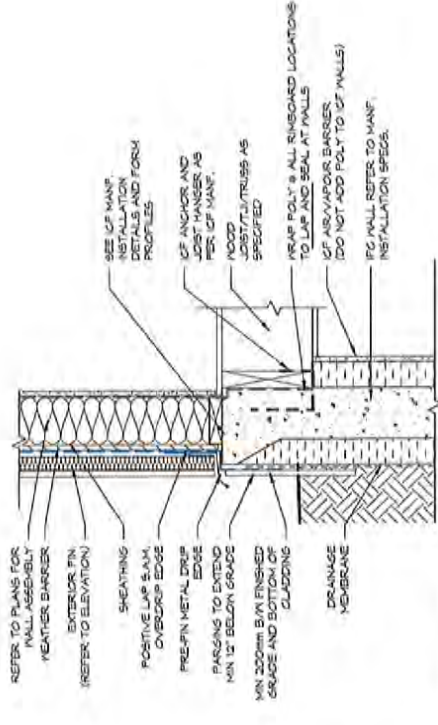


**D1 WINDOW HEADER DETAIL**  
SCALE = 1:1.5

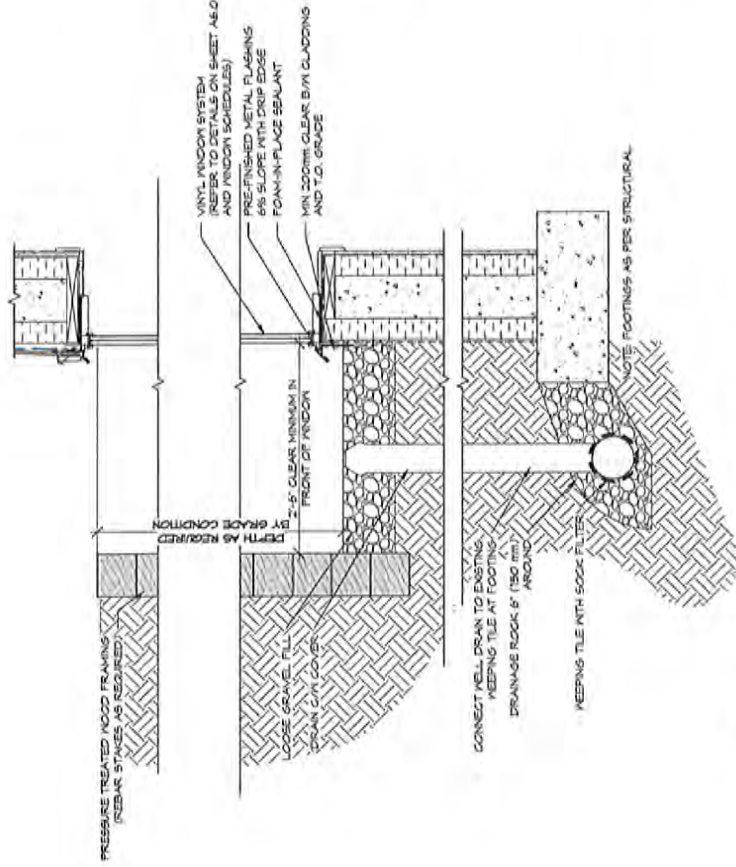


**C1 WINDOW SILL DETAIL**  
SCALE = 1:1.5

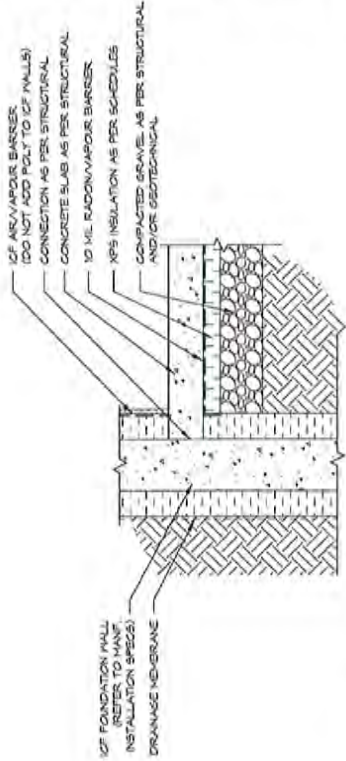
NOTE: WOOD SILL OR DRYWALL RETURNS AS PER CLIENT.



**A1 ICF TO WOOD FRAME EXT. WALL**  
SCALE = 1:1.0



**C3 ICF WINDOW WELL DETAIL**  
SCALE = 1:1.5



**A3 SLAB TO FOUNDATION WALL**  
SCALE = 1:1.0



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**REVISIONS + ISSUES**

NO. 001	DATE 02/27	ISSUE
NO. 002	DATE 02/27	ISSUE
NO. 003	DATE 02/27	ISSUE
NO. 004	DATE 02/27	ISSUE

**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES  
15th Ave, Invermere BC**

PROJECT TITLE

**CONSTRUCTION  
DETAILS  
CONT.**

DRAWING TITLE

SCALE: As Indicated  
DRAWN: RMD  
CHECKED: PRC

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21-070  
**A6.1**



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REVISIONS + ISSUES

11/11/14	MM 20	ISSUED FOR
02/23/15	OC 24	CONSTRUCTION
03/24/15	OC 27	REMOVED WALL NEARLY

PINETREE MEADOWS PHASE 1, LOTS 1-8 15th Ave, Invermere BC

CONSTRUCTION DETAILS CONT.

SCALE: AS INDICATED

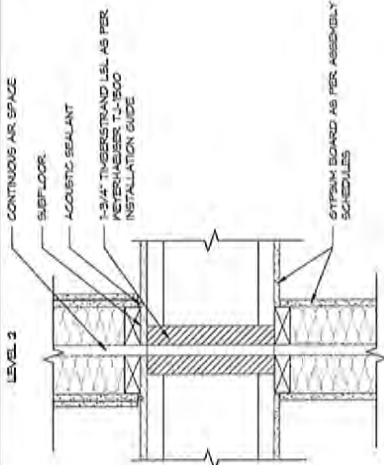
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CHECKED: RFR

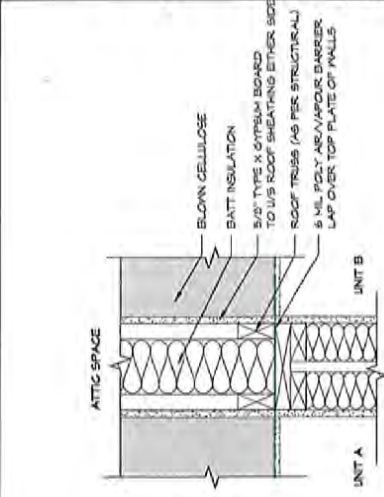
OCT '21

21-070

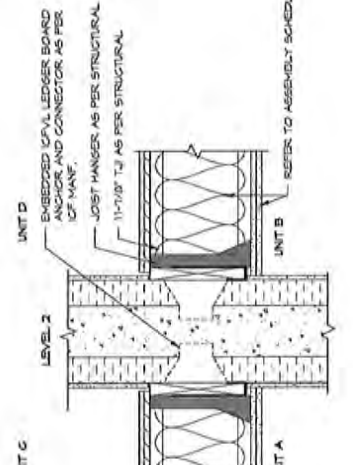
A6.2



D1 ICF TO WOOD PARTY WALL SCALE: 1:10 A6.2

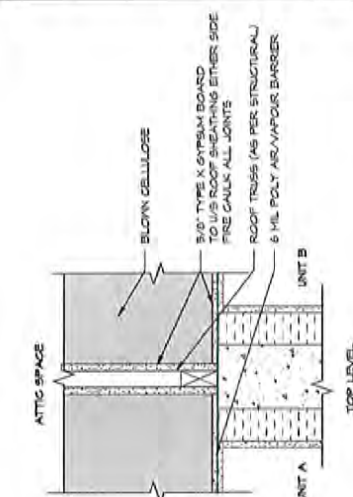


D4 WOOD PARTY WALL TO ROOF SCALE: 1:6 A6.2



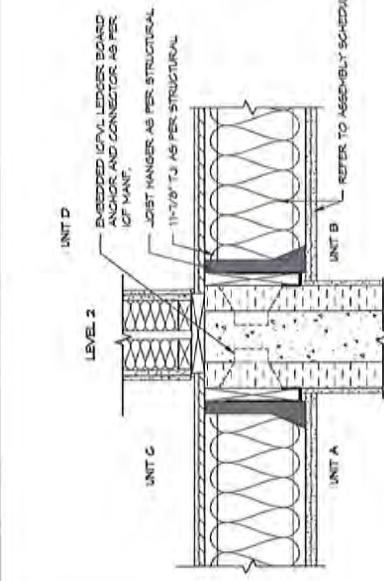
C

D3 WOOD PARTY WALL TO INT. FLOOR SCALE: 1:6 A6.2

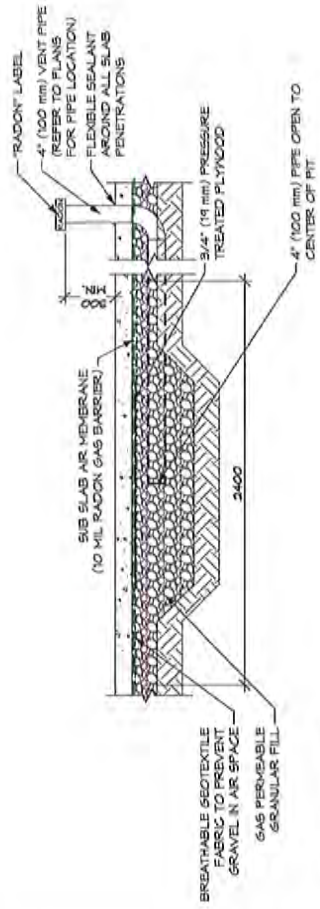


B2 ICF PARTY WALL TO FLOOR SCALE: 1:10 A6.2

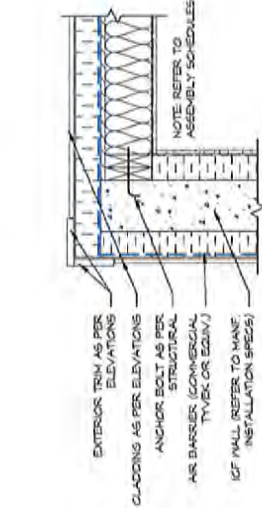
B4 ICF PARTY WALL TO ROOF SCALE: 1:6 A6.2



B1 ICF WALL TO FLOOR CONNECTION SCALE: 1:10 A6.2



A1 RADON PIT SCALE: NTS A6.2



A4 ICF TO WOOD WALL CORNER PLAN DETAIL SCALE: 1:10 A6.2

A6.2 ICF TO WOOD WALL CORNER PLAN DETAIL SCALE: 1:10 A6.2



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REVISIONS + ISSUES  
NO. DATE BY REASON FOR  
0001 01/24 CONSTRUCTION  
0002 04/21 CONSTRUCTION  
0004 05/27 REVISION WALL ASSEMBLY

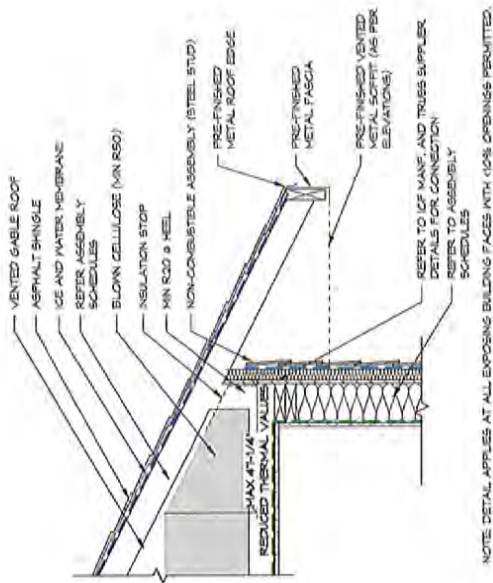
**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES  
15th Ave, Invermere BC**

PROJECT TITLE

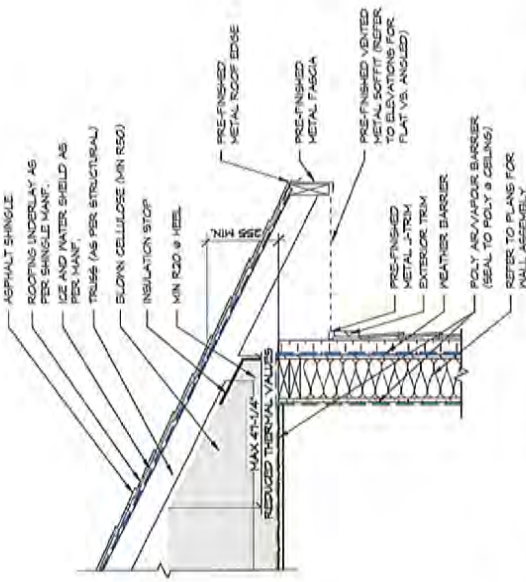
**CONSTRUCTION  
DETAILS  
CONT.**

DRAWING TITLE

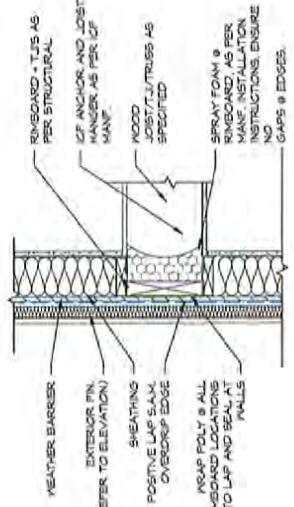
SCALE: 1/4" = 1'-0"  
DRAWN: RCD  
CHECKED: RSR/UM  
OCT '21  
21-070  
**A6.3**



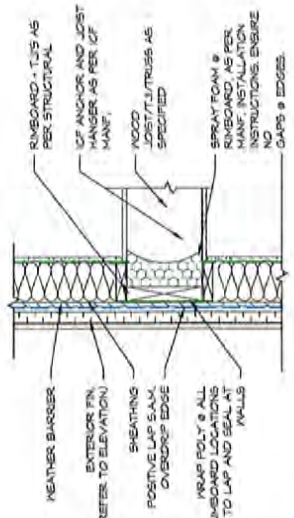
**C3 WALL/ROOF CONNECTION FIRE RATED**  
SCALE 1/4" = 1'-0"



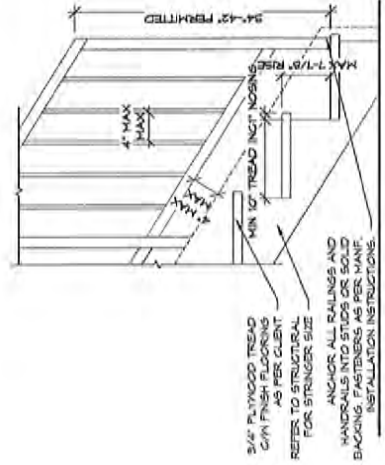
**C1 WOOD WALL TO ROOF CONNECTION**  
SCALE 1/4" = 1'-0"



**A3 INT. FLOOR/WALL CONNECTION FIRE RATED**  
SCALE 1/4" = 1'-0"



**A1 INT. FLOOR/WALL CONNECTION**  
SCALE 1/4" = 1'-0"



**A4 TYPICAL STAIR DETAIL**  
SCALE 1/4" = 1'-0"

NOTE: STYLE OF RAILING SUBJECT TO CHANGE, COORDINATE W/ CLIENT. MUST MEET ALL REQUIREMENTS OF BCGC SECTION 4.5.1. AND APPLIES TO ALL INTERIOR STAIRS HAVING MORE THAN 2 RISERS.  
STAIR SUPPLIER TO VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. SUBMIT SHOP DRAWINGS TO CONTRACTOR FOR APPROVAL.

## Phase 5

# LOGEPOLE MODEL ASSEMBLY SCHEDULES

## EXTERIOR WALLS

- EX-1: 6" ICE EXTERIOR WALL**
  - CLADDING AS PER ELEVATIONS
  - AIR BARRIER
  - 3 1/2" RIGID INSULATION
  - 6" CONCRETE
  - VAPOUR BARRIER
  - 1/2" GYPSUM WALL BOARD

- EX-2: 6" ICE CENTRE WALL (IHR. FRG.)**
  - 1/2" GYPSUM WALL BOARD
  - 3 1/2" RIGID INSULATION
  - 6" CONCRETE
  - VAPOUR BARRIER
  - 1/2" GYPSUM WALL BOARD

- EX-3: EXTERIOR ABOVE GRADE WALL**
  - 1/2" NON-COMBUSTIBLE CLADDING (AS PER ELEVATIONS)
  - 2 1/2" RIGID INSULATION
  - 1/2" EXTERIOR GRADE SHEATHING
  - 2x6 MOOD STUDS @ 16" O.C.
  - CAVITY FILLED BATT INSULATION
  - 1/2" GYPSUM WALL BOARD
  - LIQUID APPLIED VAPOUR BARRIER

- EX-4: EXTERIOR ABOVE GRADE WALL**
  - 1/2" NON-COMBUSTIBLE CLADDING (AS PER ELEVATIONS)
  - 6" VAPOUR BARRIER
  - 1/2" EXTERIOR DENSGLASS SHEATHING
  - 2x6 MOOD STUDS @ 16" O.C.
  - CAVITY FILLED MINERAL WOOL INSULATION
  - 1/2" GYPSUM WALL BOARD
  - LIQUID APPLIED VAPOUR BARRIER

- EX-5: EXTERIOR SHEED WALL**
  - CLADDING AS PER ELEVATIONS
  - AIR BARRIER
  - 1/2" MOOD STUDS @ 16" O.C.
  - BATT INSULATION
  - 1/2" PLYWOOD

## CEILINGS

- CE-1: FINISHED CEILING**
  - DIMENSIONAL LUMBER FRAMING/FIRING
  - VAPOUR BARRIER (WHEN EXPOSED TO ATTIC)
  - SOUND PANNELLING (ON LOWER LEVEL)
  - 1/2" 5/8" RESISTANT GYPSUM BOARD
  - LOX PROFILE TEXTURED FINISH

## FLOORS

- FL-1: FULL SOUND INSULATED IHR. FRG.**
  - VINYL PLANK FLOORING
  - 1/2" 5/8" SUBFLOOR
  - 11 7/8" TJI'S
  - ACOUSTIC BATT FILLED JOIST CAVITY
  - 3 LAYERS 5/8" GYPSUM WALL BOARD, TYPE 'X'

- FL-2: FULL FINISH FRG.**
  - VINYL PLANK FLOORING
  - 5/8" OSB TIG SUBFLOOR
  - 11 7/8" TJI'S
  - ACOUSTIC BATT FILLED JOIST CAVITY
  - 3 LAYERS 5/8" GYPSUM WALL BOARD, TYPE 'X'

- FL-3: INSULATED BASEMENT SLAB**
  - VINYL PLANK FLOORING
  - 5/8" FLOORING UNDERLAY
  - VAPOUR BARRIER
  - REINFORCED CONCRETE SLAB (AS PER STRUCTURAL)
  - 1/2" GYPSUM WALL BOARD (B/W JOIST FINISH BEARINGS)
  - INSULATION (HIGH DENSITY, COMPACTED GRAVEL (AS PER STRUCTURAL)

## DRAWING SYMBOLS LEGEND

DOOR TAG REFER TO SCHEDULE

WINDOW TYPE TAG, REFER TO SCHEDULE

ROOM TAG

DETAIL INDICATOR

DETAIL #

PAGE CROSS REFERENCE

SECTION # ELEVATION INDICATOR

SECTION #

VIEW DIRECTION OF ELEVATION

PAGE CROSS REFERENCE

ELEVATION INDICATOR

CEILING HEIGHT INDICATOR

KEYNOTE INDICATOR

WALL TYPE SYMBOL

ROOF TYPE SYMBOL

FLOOR TYPE SYMBOL

NORTH ARROW

## GENERAL NOTES

- DO NOT SCALE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT.
- CONTRACTOR TO COORDINATE DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
- ALL WORK COMPLIES WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE - 2018 BCBC EDITION AND LOCAL ORDINANCES.
- COORDINATE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL CONSULTANTS DOCUMENTS. COORDINATE ALL INFORMATION TO THE ARCHITECT TO ENSURE ALL OPERATIONS AS NECESSARY TO ENSURE THEIR SOUND OPERATION UPON COMPLETION.
- ALL WALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE CONSTRUCTION ASSEMBLY PAGE SHOW TRUE REPRESENTATION OF COMPLETED CONSTRUCTION ASSEMBLY. REFER TO THE CONSTRUCTION ASSEMBLY PAGE FOR MORE INFORMATION. THESE ASSEMBLIES PREPARED ON ALL COMPLETED DETAILS AND NOTATION COMPLETED ON THE FOLLOWING CONSTRUCTION DRAWINGS.
- REFER TO STRUCTURAL FRAMING PLANS FOR LOCATIONS OF ALL INTERIOR LOAD BEARING ASSEMBLIES AND SHEAR WALL LOCATIONS.
- ALL GENS SHALL BE INSTALLED PER PERMANENT.
- ALL EXPOSED CONCRETE WALL CORNERS SHALL BE CHAMFERED.
- ALL G.I. FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.
- MAINTAIN CONTINUOUS FIRE RATED SEPARATION AROUND JANITOR ROOMS, STORAGE ROOMS, AND MECHANICAL ROOMS. CARRY WALLS TO UNDERSIDE OF STRUCTURE.
- ALL DOOR AND WINDOW FRAMES AROUND BOTH SIDES OF ALL DOORS AND WINDOWS SHALL BE PROTECTED WITH DISSIMILAR MATERIAL. USE A MILCOR AND/OR J-TRIM AT EDGE SURFACES. ALLOW 3MM 1/4" GAP EX DOOR, WINDOW FRAME, CONCRETE WALL, CONCRETE BRICK ETC.
- PROVIDE CORNER BEAD FOR ALL EXPOSED GYPSUM WALL BOARD CORNERS.
- ALL FINISHES TO BE MAINTAIN DIRECTLY ATTACHED TO EXISTING MATERIALS AND DIRECTLY UNDER EXTERIOR ALUMINUM SILLS SHALL BE PRESSURE TREATED.
- FINISH IN ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
- SEE MECHANICAL AND ELECTRICAL FOR EXACT TYPES AND QUANTITIES OF DIFFUSERS, GRILLES, FIXTURES AND EQUIPMENT. COORDINATE ALL TYPES AND QUANTITIES TO SUIT ARCHITECTURAL REFLECTED CEILING PLANS AND/OR DETAILS.
- CAULK AND SEAL AROUND ALL DUCTS AND PIPES PASSING THROUGH FIRE RATED PARTITIONS AND FLOOR ASSEMBLIES WITH APPROVED (ULC) MASTIC CAULKING.
- PROVIDE ACOUSTICAL SEALANT AT JUNCTIONS OF SOUND RATED PARTITIONS.
- ALL EXPOSED PARTITION FRAMES, THESE OUTLETS, STUD SPACES, PROVIDE ACOUSTICAL SEALANT ALL AROUND.

## ARCHITECTURAL SHEET...

Sheet Number	Sheet Name
A0.0	COVER SHEET
A1.0	CODE REVIEW
A2.0	SITE PLAN + BT/LAW REVIEW
A3.0	BASEMENT FLOOR PLAN
A3.1	MAIN FLOOR PLAN
A3.2	SECOND FLOOR PLAN
A3.4	ROOF PLAN
A4.0	EXTERIOR BUILDING ELEVATIONS
A4.1	EXTERIOR BUILDING ELEVATIONS
A4.2	EXTERIOR BUILDING ELEVATIONS
A4.3	EXTERIOR BUILDING ELEVATIONS
A4.4	EXTERIOR BUILDING ELEVATIONS
A5.0	BUILDING DETAILS
A6.0	CONSTRUCTION DETAILS
A6.1	CONSTRUCTION DETAILS CONT.
A6.2	CONSTRUCTION DETAILS CONT.
A6.3	CONSTRUCTION DETAILS CONT.
A7.0	DOOR + WINDOW SCHEDULES
A9.0	SPECIFICATIONS

Berry Architecture + Associates  
 Suite 200, 5218-50 Avenue  
 Red Deer, T4N 4B5

Phone: 403-314-4461  
 Contact:



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REVISIONS + ISSUES	DATE	BY	REASON FOR
2023 04 02	RE-DESIGNED FOR BUILDING PERMIT		
2023 02 21	CONSTRUCTION		
2024 03 07	REVISED WALL ASSEMBLY		

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes BC 15 Ave Invermere BC

PROJECT TITLE

# COVER SHEET

DRAWING TITLE

SCALE: As Indicated

DRAWN: RKD

CHECKED: IM/RR

A0.0

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REVISIONS + ISSUES

NOV 04 02	ISSUED FOR
2022 05 02	BUILDING PERMIT
2023 04 02	RE-ISSUED FOR BUILDING PERMIT
2023 09 21	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes BC 15 Ave Invermere BC

PROJECT TITLE

# BASEMENT FLOOR PLAN

DRAWING TITLE

SCALE: AS Indicated

DRAWN: RKD

CHECKED: IM/RR

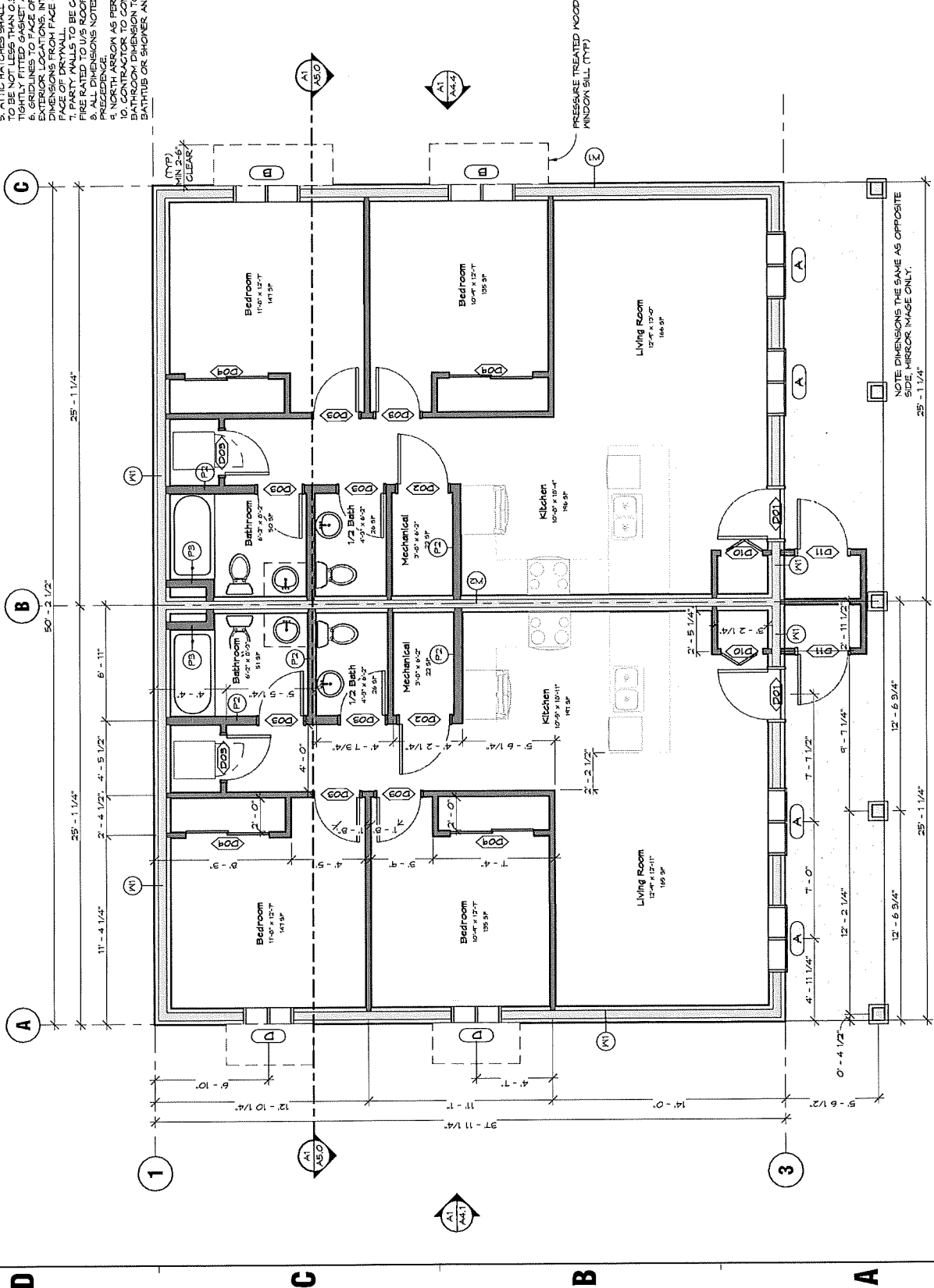
OCT 21

## A3.0

21-070

### GENERAL NOTES

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTRED IN OPENING.
3. ALL WALLS TO HAVE MIN. 7/8" CLEARANCE BELOW.
4. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE.
5. ATTIC HATCHES SHALL BE PROVIDED TO ALL BEDROOMS, BATHS, MECHANICAL, TIGHTLY FITTED GASKET AND COVERS.
6. GRIDLINES TO FACE OF EXTERIOR, AT EXTERIOR LOCATIONS, INTERIOR DIMENSIONS FROM FACE OF DRYWALL TO FACE OF PARTITION.
7. PARTY WALLS TO BE CONTINUOUS AND FIRE RATED TO U/S ROOF DECK.
8. ALL DIMENSIONS NOTED 'CLR.' TO TAKE PRECEDENCE.
9. NORTH ARROW IS PER SITE PLAN.
10. NORTH ARROW TO CORRELATE WITH BATHROOM DIMENSION TO SUIT SUPPLIED BATHTUB OR SHOWER AND SURROUND.



BASEMENT FLOOR PLAN  
SCALE 1/4" = 1'-0"



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SEALS

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REVISIONS + ISSUES

XXXX XX XX	ISSUED FOR
2023 04 02	RE-ISSUED FOR BUILDING
2023 09 21	CONSTRUCTION
2024 02 27	ISSUED WALL ASSEMBLY

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes BC 15 Ave Invermere BC

PROJECT TITLE

# MAIN FLOOR PLAN

DRAWING TITLE

SCALE: AS Indicated

DRAWN: RCD

CHECKED: IM/RR

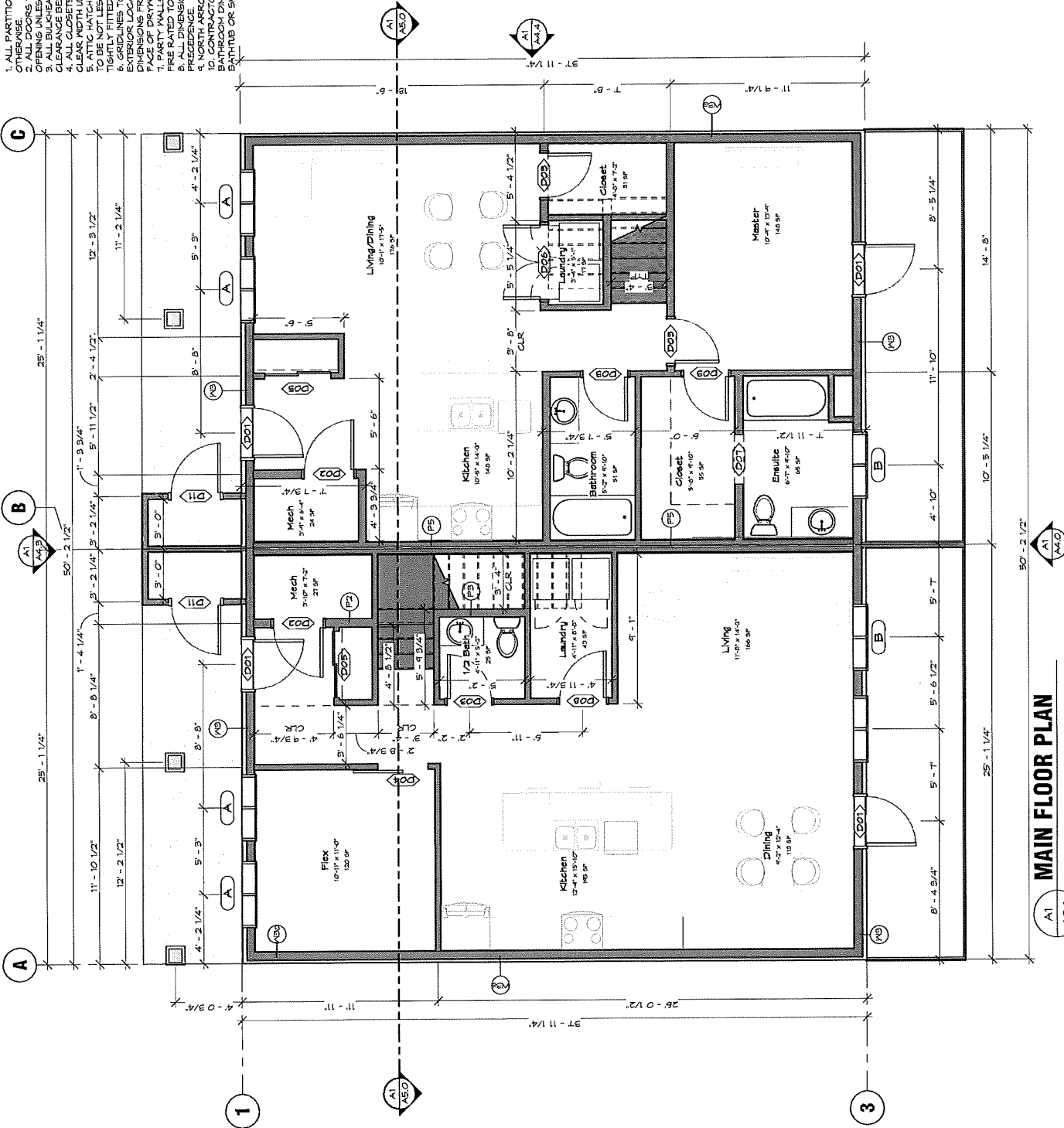
OCT. 21

## A3.1

21-OTO

### GENERAL NOTES

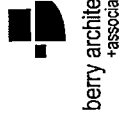
1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTRED IN OPENING.
3. ALL BULLHEADS TO HAVE MIN. 10" CLEARANCE BELOW.
4. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE.
5. TO CHANGES SHALL BE PROVIDED TO BE 1/2" CLEARANCE FROM ALL PARTITION WALLS.
6. GRIDLINES TO FACE OF EXTERIOR, AT EXTERIOR LOCATIONS, INTERIOR DIMENSIONS FROM FACE OF DRYWALL TO EXTERIOR LOCATIONS.
7. PARTY WALLS TO BE CONTINUOUS AND FIRE RATED TO U/S ROOF DECK.
8. ALL DIMENSIONS NOTED "CLR." TO TAKE PRECEDENCE.
9. NORTH ARROW AS PER SITE PLAN.
10. ALL DIMENSIONS TO CONFORM TO BATHROOM DIMENSION TO SAT SUPPLIED BATH-TUB OR SHOWER AND SURROUND.



### MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"





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**REVISIONS + ISSUES**

NO. 001	DATE 02/23/23	DESCRIPTION
001	02/23/23	ISSUED FOR BUILDING PERMIT
002	02/23/23	CONSTRUCTION
003	02/23/23	REVISED WALL ASSEMBLY

**Pinetree Meadows  
Phase 1, Lots 1,3,5  
Generation Homes BC  
15 Ave Invermere BC**

PROJECT TITLE

**SECOND FLOOR PLAN**

DRAWING TITLE

SCALE: AS INDICATED

DRAWN: RKD

CHECKED: JM/RR

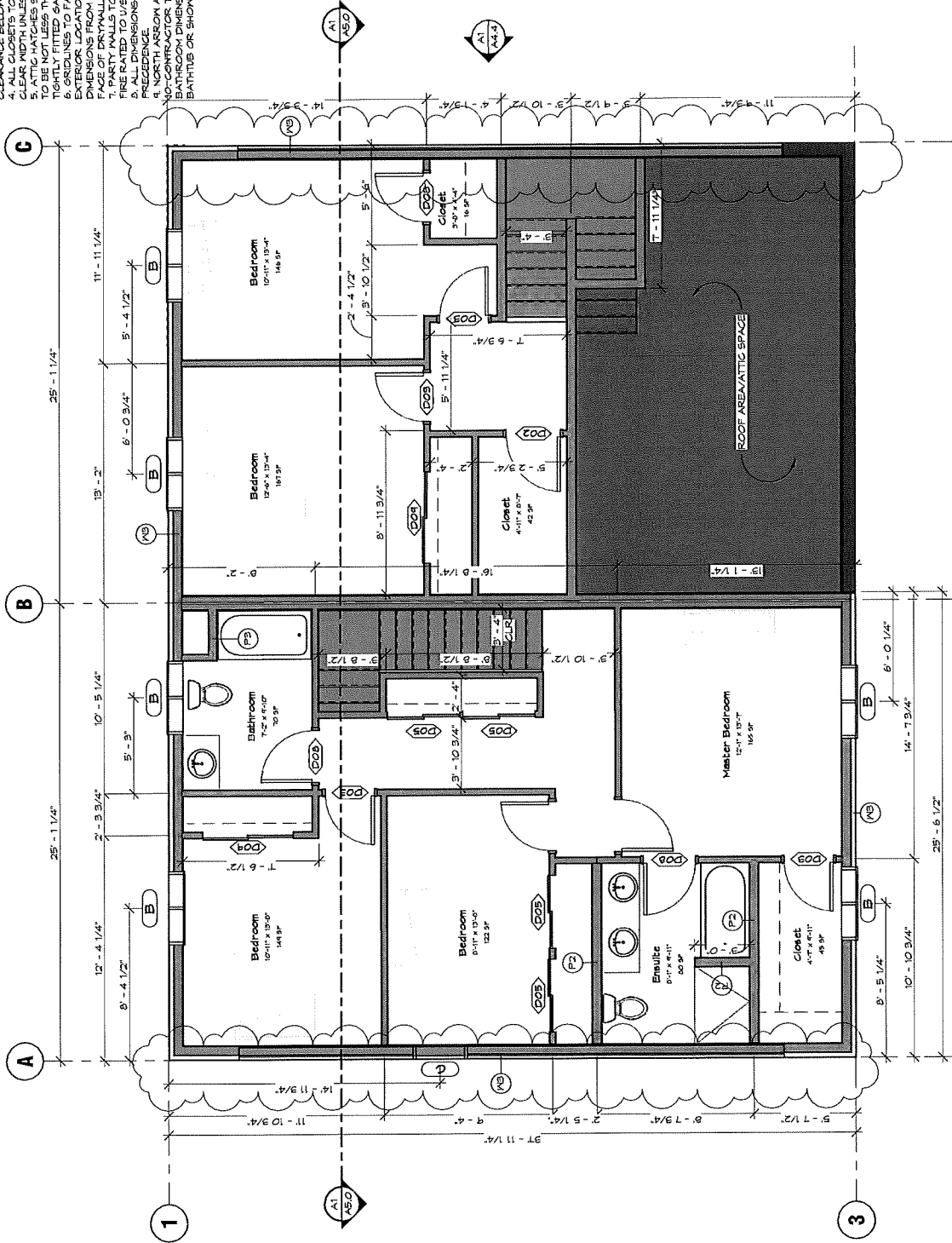
OCT 21

21-070

**A3.2**

**GENERAL NOTES**

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTRED IN OPENING UNLESS NOTED OTHERWISE.
3. ALL BULLHEADS TO HAVE MIN. 10" CLEARANCE FROM PARTITION.
4. ALL CLOSETS TO HAVE 2'x0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE.
5. ATTIC HATCHES SHALL BE PROVIDED TO BE NOT LESS THAN 0.23 SQ M WITH TIGHTLY FITTED GASKET AND COVERS TO BE PROVIDED TO BE WORK AT EXTERIOR LOCATIONS. INTERIOR DIMENSIONS FROM FACE OF DRYWALL TO FACE OF DRYWALL.
6. PARTY WALLS TO BE CONTIGUOUS AND ALL ROOMS TO HAVE MIN. 2'x0" CLEARANCE FROM PARTITION UNLESS NOTED OTHERWISE.
7. ALL DIMENSIONS NOTED "C" TO TAKE PRECEDENCE.
8. NORTH ARROW AS PER SITE PLAN.
9. NO CONTRACTOR TO CONFIRM BATHROOM DIMENSION TO SUIT SUPPLIED BATHUB OR SHOWER AND BIDDING.



**SECOND FLOOR PLAN**

SCALE 1/4" = 1'-0"

1

2

3

4

5



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REVISIONS + ISSUES

NOV 04 02	ISSUED FOR
2022 05 02	BUILDING PERMIT
2023 04 02	RE-ISSUED FOR BUILDING PERMIT
2023 08 21	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 15 Ave Invermere BC

PROJECT TITLE

# ROOF PLAN

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKD

CHECKED: JM/RR

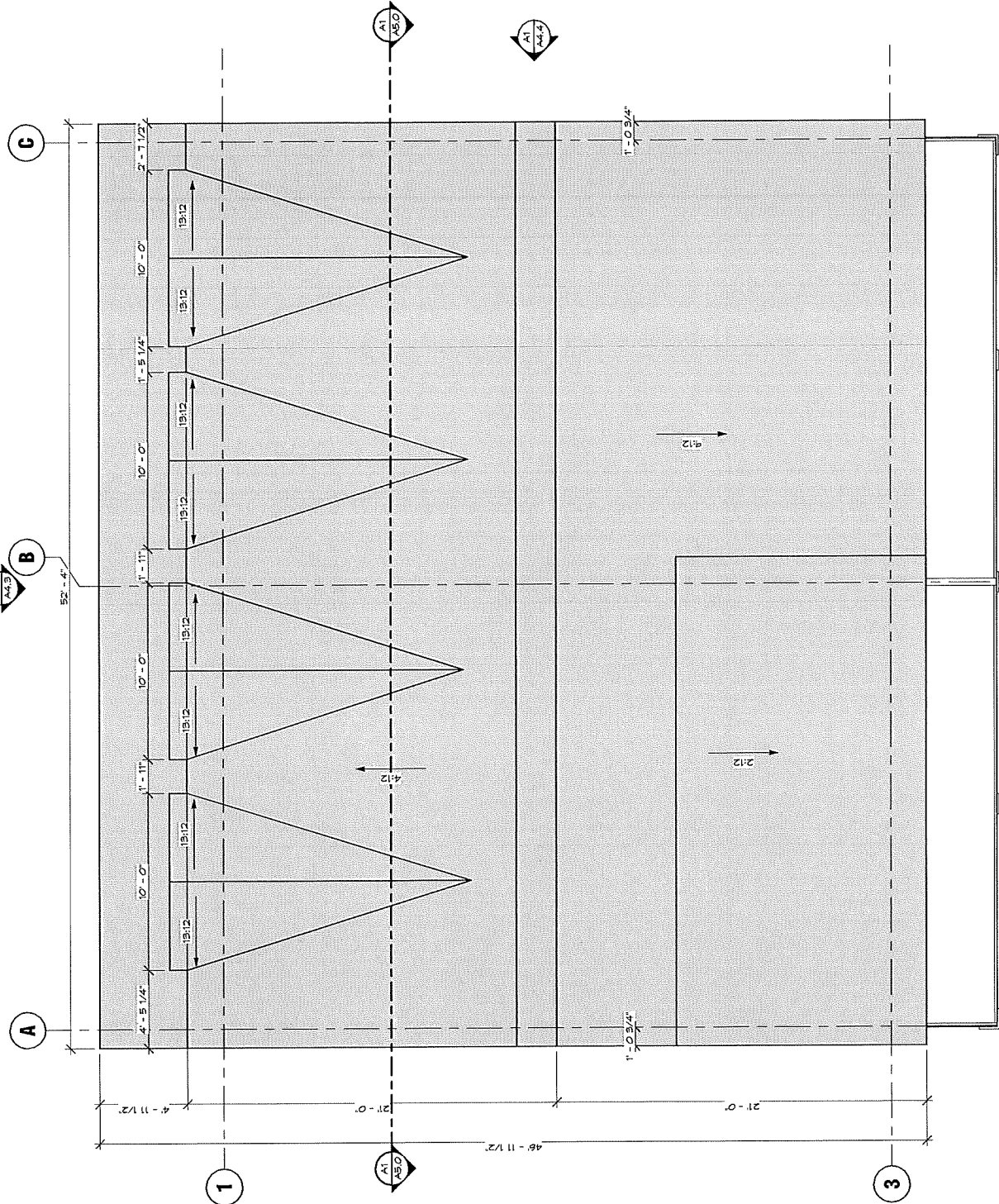
OCT 21

21-OTO

## A3.4

### T.O. ROOF

SCALE = 1" = 1/4"



1 2 3 4 5



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REVISIONS + ISSUES

2022 04 02	ISSUED FOR PERMIT
2023 04 02	REVISED FOR BUILDING PERMIT
2023 08 21	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes BC 15 Ave Invermere BC

PROJECT TITLE

# EXTERIOR BUILDING ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKO/JJE

CHECKED: JM/RRR

OCT. 21

21-070

## A4.0

### KEYNOTE LEGEND

01	ASPHALT SHINGLE
07	MID TONE HORIZONTAL 1"5" HARDE LAP
12	DARK-TONE HARDE BOARD AND BATTEN
13	MID TONE HARDE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH FURRED HARDE BASE



**ELEVATION A**  
A1  
A4.0  
SCALE: 1/4"

5

4

3

2

1



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REVISIONS + ISSUES

NO.	DATE	ISSUES
01	2022.02.02	ISSUED FOR PERMIT
02	2022.04.09	REVISED FOR BUILDING PERMIT
03	2022.05.21	CONSTRUCTION

Pinetree Meadows  
Phase 1, Lots 1,3,5  
Generation Homes  
15 Ave Invermere BC

PROJECT TITLE

EXTERIOR  
BUILDING  
ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKO/JJE

CHECKED: JM/RRR

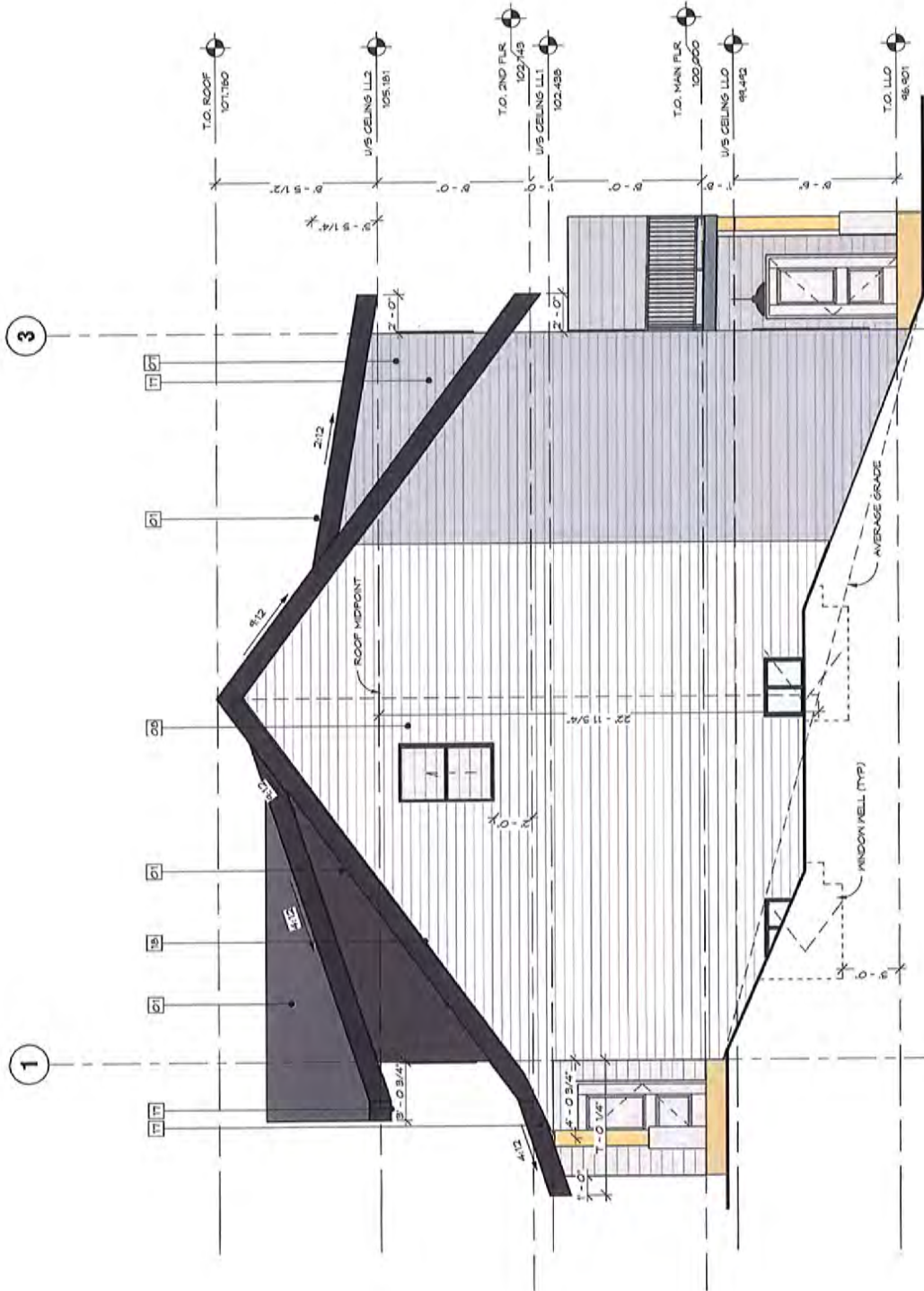
OCT. 21

21-070

A4.1

KEYNOTE LEGEND

01	ASPHALT SHINGLE
02	MID TONE HORIZONTAL 1.25" HARDEE LAP
03	WHITE HORIZONTAL 1.25" HARDEE LAP
04	PINE (OR FAUX ALUMINUM EQUIVALENT) SOFFIT
05	STANDARD WHITE ALUMINUM SOFFIT



ELEVATION B

SCALE 1/4" = 1'-0"

1 2 3 4 5

D C B A



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**REVISIONS + ISSUES**

NO.	DATE	ISSUE	BY
01	2022.02.02	BUILDING PERMIT	MM
02	2022.04.09	RE-ASSUED FOR BUILDING PERMIT	MM
03	2022.02.21	CONSTRUCTION	MM

**Pinetree Meadows  
Phase 1, Lots 1,3,5  
Generation Homes BC  
15 Ave Invermere BC**

PROJECT TITLE

**EXTERIOR BUILDING ELEVATIONS**

DRAWING TITLE

SCALE: 1" = 1/4"  
DRAWN: RCD/AJE  
CHECKED: JM/RRR  
OCT 21  
21-070

**A4.3**

**KEYNOTE LEGEND**

01	ASPHALT SHINGLE
04	CHARCOAL FASCIA
08	WHITE HORIZONTAL 1.25" HARDIE LAP
11	WHITE HARDIE VERTICAL PLANK
12	DARK TONE HARDIE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH FLURRED HARDIE BASE
16	CONCRETE PATIO W/ FAUX WOOD FASCIA AS REQD



**ELEVATION C**  
SCALE 1" = 1/4"

A1  
A4.3

5

4

3

2

1



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REVISIONS + ISSUES

YYYY-MM-DD	ISSUED FOR
2022-02-02	BUILDING PERMIT
2022-04-09	RE-ISSUED FOR BUILDING PERMIT
2023-09-21	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes BC 15 Ave Invermere BC

PROJECT TITLE

# EXTERIOR BUILDING ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKD/JE

CHECKED: JM/RS

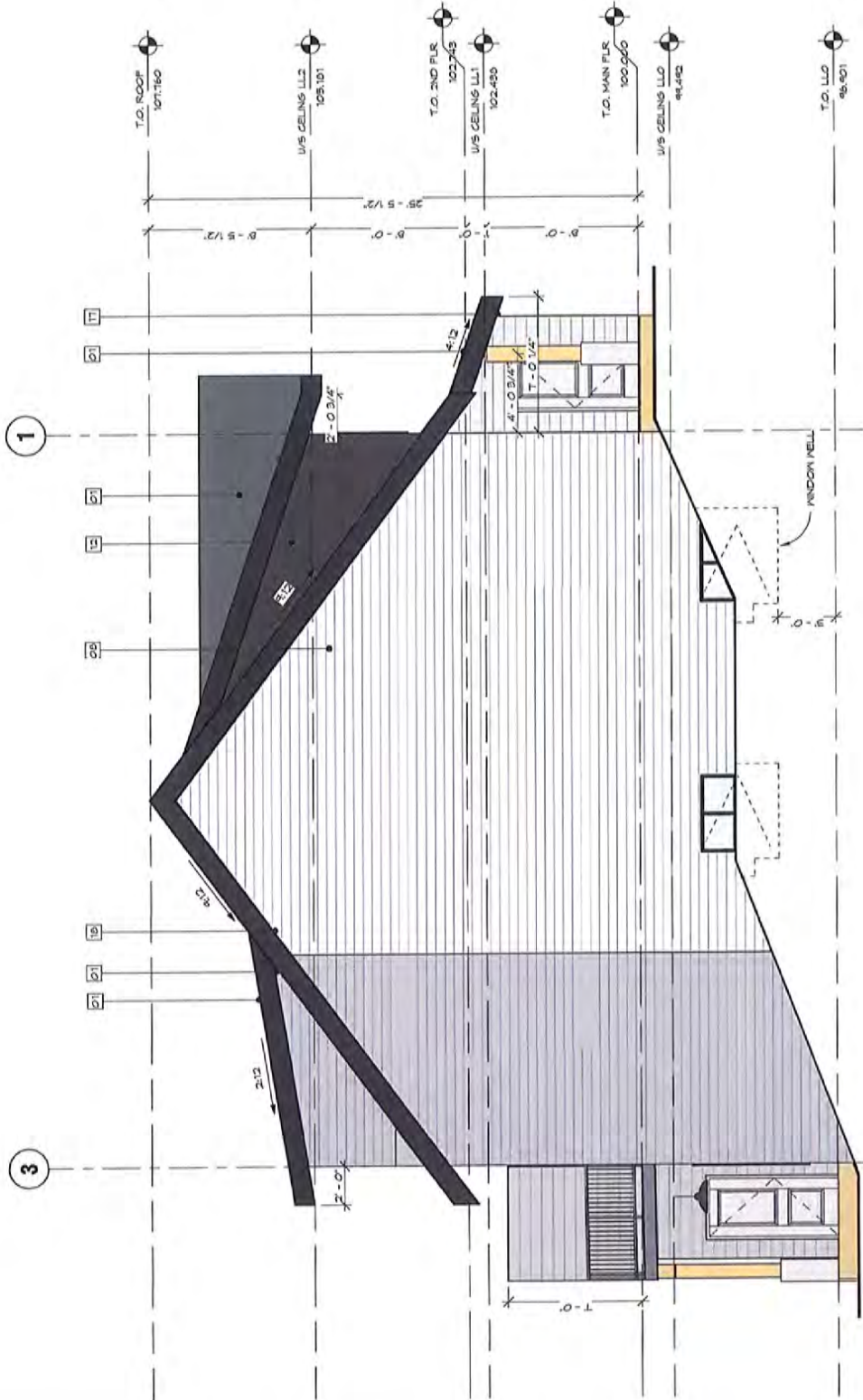
OCT. 21

21-070

# A4.4

### KEYNOTE LEGEND

01	ASPHALT SHINGLE
02	WHITE HORIZONTAL 1.25" HARDIE LAP
12	DARK TONE HARDIE BOARD AND BATTEN
11	PINE (OR FAUX ALUM/POLY EQUIVALENT) SOFFIT
13	STANDARD WHITE ALUMINUM SOFFIT



### ELEVATION D

SCALE 1" = 1/4"

A1  
A4.4

D

C

B

A

1

2

3

4

5



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REVISIONS + ISSUES

2022.02.02	ISSUED FOR PERMIT
2023.04.09	PERMIT
2023.08.21	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

# BUILDING SECTIONS

DRAWING TITLE

SCALE: 1" = 1/4"

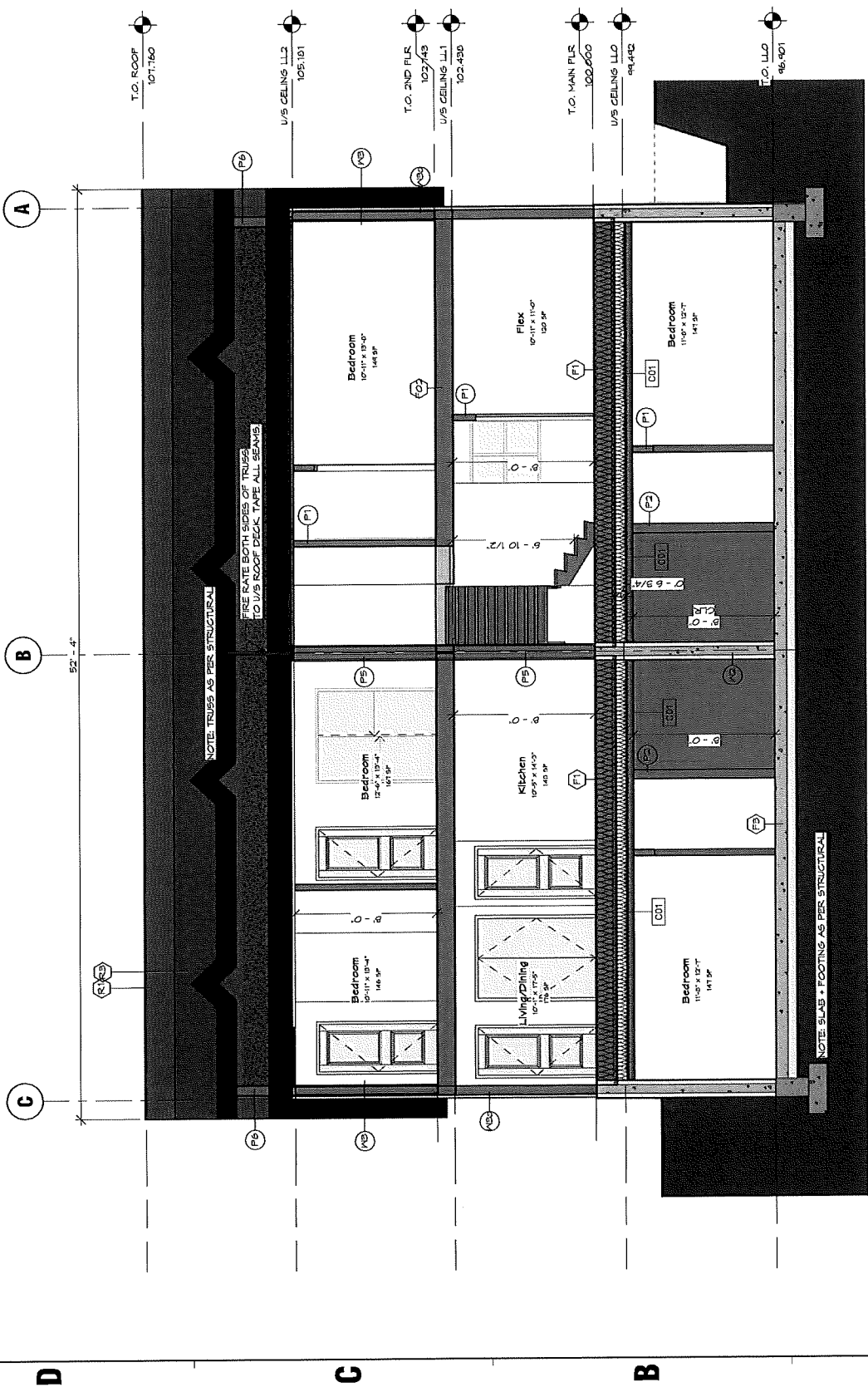
DRAWN: RKD

CHECKED: JM/RSR

OCT. 21

## A5.0

21-OTO



**SECTION A**  
SCALE: 1" = 1/4"

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**REVISIONS + ISSUES**

NO.	DATE	DESCRIPTION
001	2023.06.24	CONSTRUCTION
002	2023.06.27	REVISED WALL DETAIL

**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES  
15th Ave, Invermere BC**

PROJECT TITLE

**CONSTRUCTION  
DETAILS**

DRAWING TITLE

SCALE: AS INDICATED

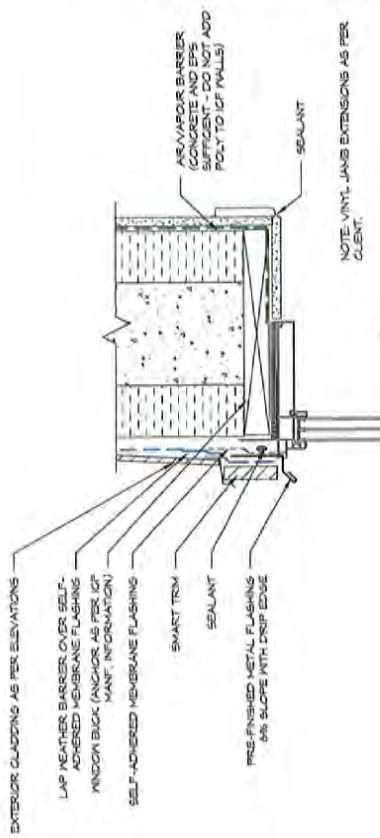
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CHECKED: RR

OCT '21

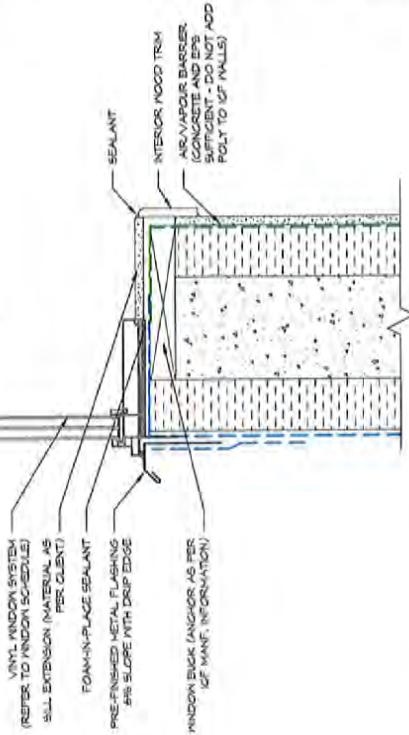
21-OTO

**A6.0**



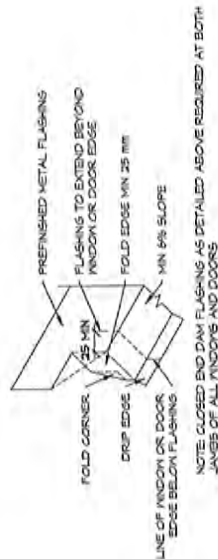
**D4 ICF WALL WINDOW HEADER**

SCALE: 1:1.5



**B4 ICF WALL WINDOW SILL**

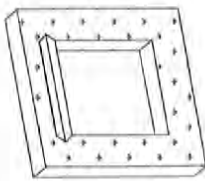
SCALE: 1:1.5



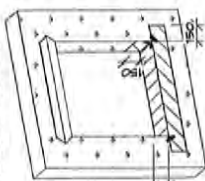
**A4 CLOSED END DAM FLASHING**

SCALE: 1:1.5

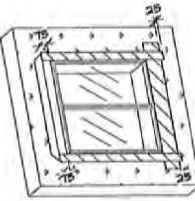
1. APPLY AIR BARRIER TO WALL. CUT AIR BARRIER AND WRAP JAMBS. CREATE AIR BARRIER FLAP AT WINDOW HEAD.



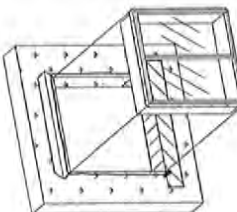
2. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE BOTTOM SILL THAT IS 500MM LONGER THAN THE WIDTH OF THE ROUGH OPENING. COVER THE ENTIRE SILL MEMBRANE MUST CONTINUE 150MM UP EACH JAMB. LAP THE OVERLAPPING MEMBRANE ON TOP OF EACH JAMB. APPLY THE AIR BARRIER. APPLY BOTTOM PATCH TO BOTTOM CORNERS.



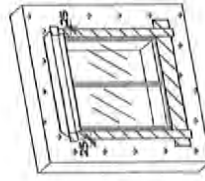
3. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE SIDES (JAMBS) OF THE WINDOW FLASHING SHOULD BE A MINIMUM OF 15mm ABOVE WINDOW HEAD AND A MINIMUM OF 25mm PAST THE SILL FLASHING.



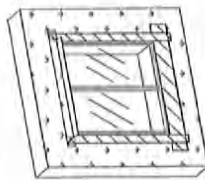
4. APPLY SEALANT TO WINDOW MOUNTING FLANGE (JAMBS AND HEAD ONLY). INSTALL THE WINDOW ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.



5. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE HEAD OF THE WINDOW. THIS SHOULD BE A MINIMUM OF 15mm ABOVE WINDOW HEAD AND A MINIMUM OF 25mm PAST THE SILL FLASHING.



6. RELEASE AIR BARRIER FLAP AND SEAL.



FLASHING INSTALLATION: FLASHINGS ARE DETERMINED BY THE MOUNTING FLANGE OF THE WINDOW. THE FLASHING MUST EXTEND PAST THE EXTENTS OF THE MOUNTING FLANGE OF WINDOW.

**A1 WINDOW MEMBRANE FLASHING DETAIL**

SCALE: INTS



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REVISIONS + ISSUES

NOV 14 2023	ISSUED FOR
NOV 14 2023	CONSTRUCTION
NOV 14 2023	CONSTRUCTION
NOV 14 2023	CONSTRUCTION

PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES BC  
15th Ave, Invermere BC

PROJECT TITLE

CONSTRUCTION  
DETAILS  
CONT.

DRAWING TITLE

SCALE: AS INDICATED

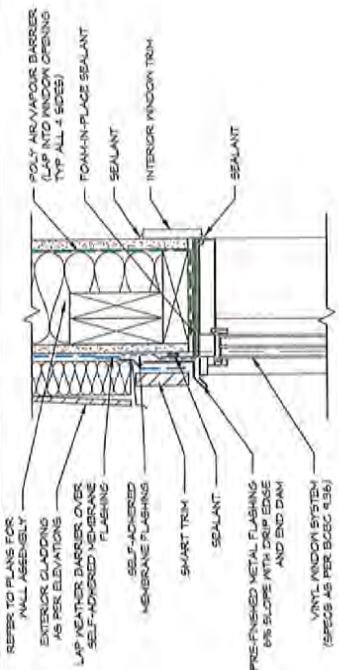
DRAWN: RKC

CHECKED: RR

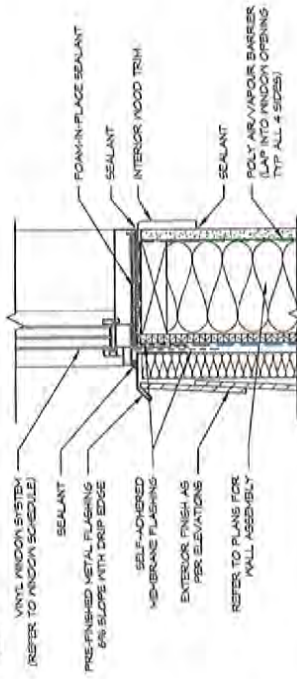
OCT 21 21

21-070

A6.1

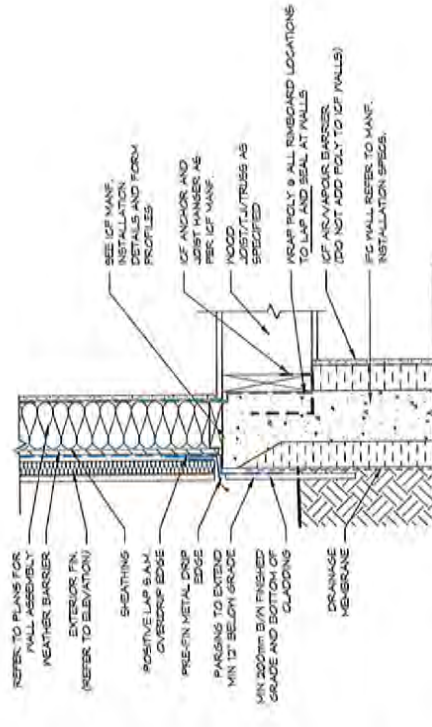


D1 WINDOW HEADER DETAIL  
SCALE: 1:5

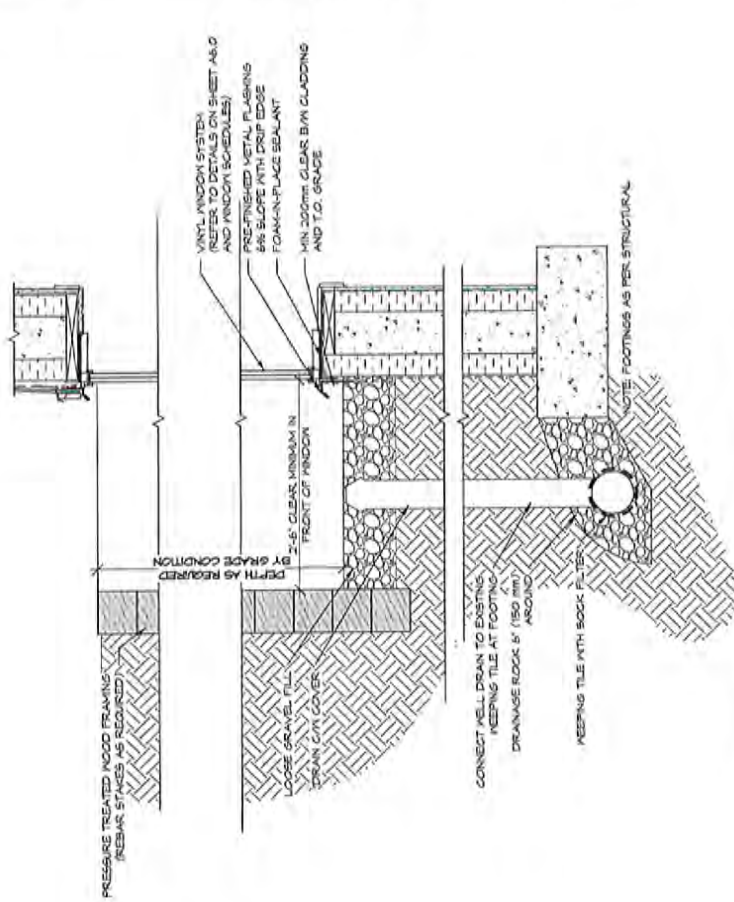


C1 WINDOW SILL DETAIL  
SCALE: 1:5

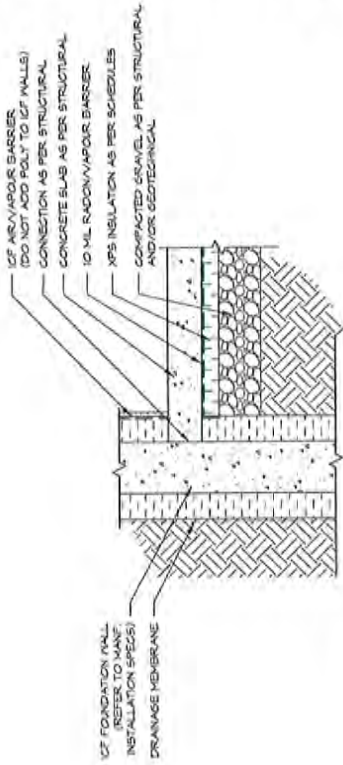
NOTE: WOOD SILL OR DRYWALL RETURNS AS PER CLIENT.



A1 ICF TO WOOD FRAME EXT. WALL  
SCALE: 1:10



C2 ICF WINDOW WELL DETAIL  
SCALE: 1/4"



A3 SLAB TO FOUNDATION WALL  
SCALE: 1:10

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REVISIONS + ISSUES

NO.	DATE	ISSUES
1	2023.02.24	ISSUED FOR CONSTRUCTION
2	2023.08.21	CONSTRUCTION
3	2024.02.07	REVISED WALL ASSEMBLY

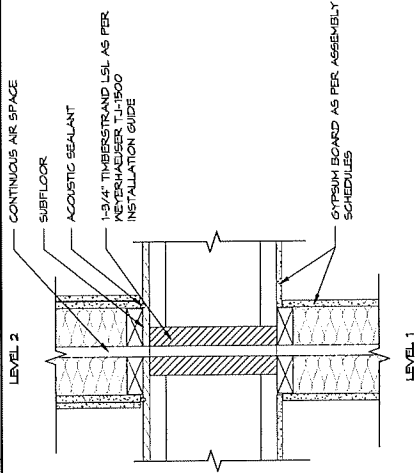
PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES BC  
15th Ave, Invermere BC

CONSTRUCTION  
DETAILS  
CONT.

SCALE: AS INDICATED  
DRAWN: RKD  
CHECKED: RR

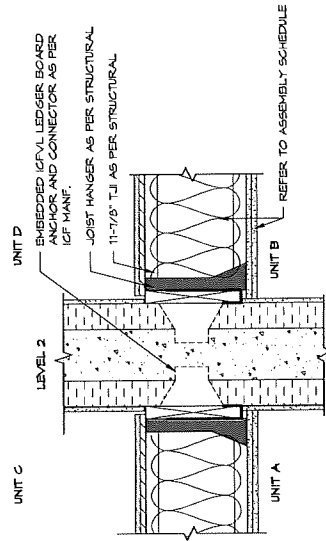
A6.2

OCT '21  
21-070

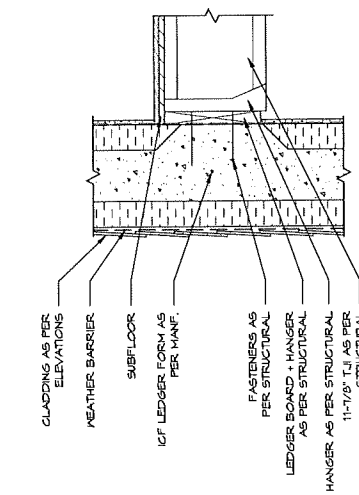


D3 WOOD PARTY WALL TO INT. FLOOR  
SCALE = 1:10

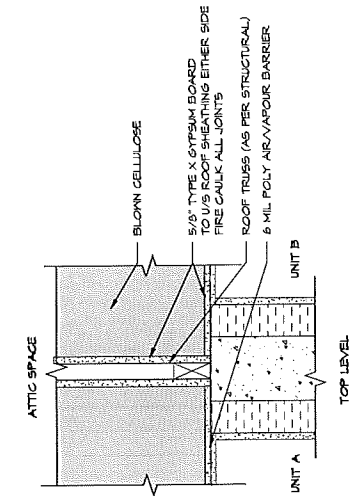
D4 WOOD PARTY WALL TO ROOF  
SCALE = 1:10



D1 ICF TO WOOD PARTY WALL  
SCALE = 1:10



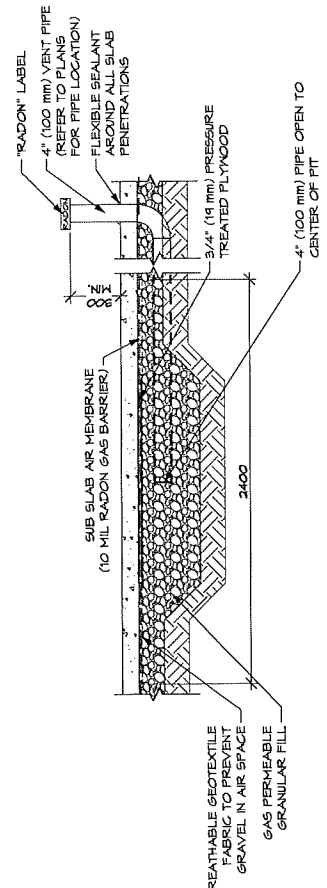
D4 WOOD PARTY WALL TO ROOF  
SCALE = 1:10



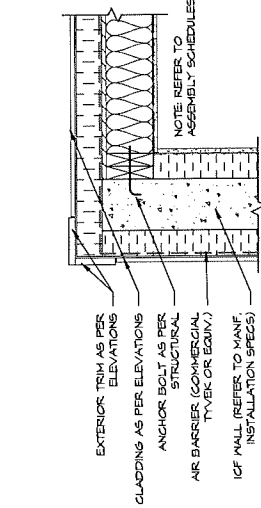
B2 ICF PARTY WALL TO FLOOR  
SCALE = 1:10

B4 ICF PARTY WALL TO ROOF  
SCALE = 1:10

B1 ICF WALL TO FLOOR CONNECTION  
SCALE = 1:10



A1 RADON PIT  
SCALE = 1:10



A4 ICF TO WOOD WALL CORNER PLAN DETAIL  
SCALE = 1:10

SEALS

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REVISIONS + ISSUES	DATE	ISSUED FOR
NOTIFIED	2023-02-24	CONSTRUCTION
	2023-08-21	CONSTRUCTION
	2024-02-07	REVISED WALL ASSEMBLY

**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES  
15th Ave, Invermere BC**

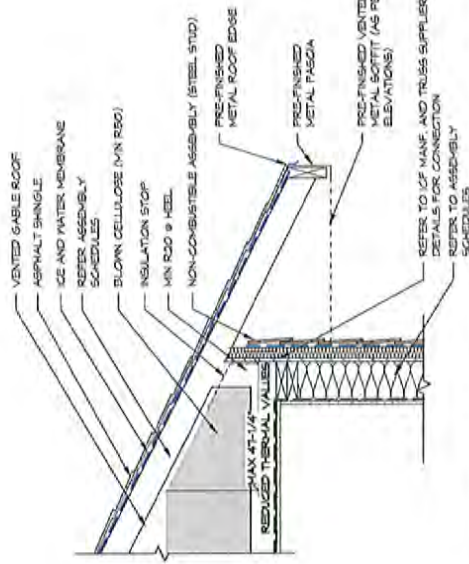
PROJECT TITLE

**CONSTRUCTION  
DETAILS  
CONT.**

DRAWING TITLE

SCALE	1"=1'
DRAWN	RND
CHECKED	RS/JM
OCT 21	
21-070	

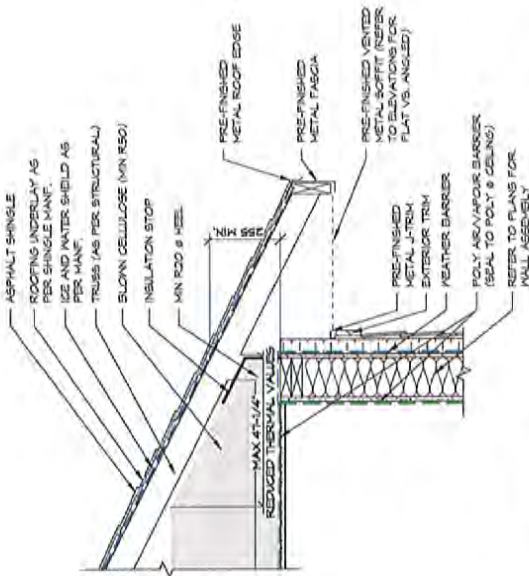
**A6.3**



**WALL/ROOF CONNECTION FIRE RATED WALL**

SCALE 3/4" = 1'-0"

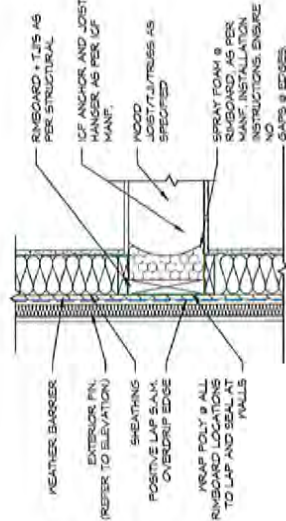
A6.3



**WOOD WALL TO ROOF CONNECTION**

SCALE 3/4" = 1'-0"

A6.3



**INT. FLOOR/WALL CONNECTION FIRE RATED**

SCALE 3/4" = 1'-0"

A6.3



**TYPICAL STAIR DETAIL**

SCALE 3/4" = 1'-0"

A6.3

NOTE: STYLE OF RAILING SUBJECT TO CHANGE, COORDINATE W/ CLIENT. MUST MEET ALL REQUIREMENTS OF CBC SECTION 4.6.7. AND APPLIES TO ALL INTERIOR STAIRS HAVING MORE THAN 2 RISERS. STAIR SUPPLIER TO VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. SUBMIT SHOP DRAWINGS TO CONTRACTOR FOR APPROVAL.

## Phase 6

## ASSEMBLY SCHEDULES

NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES.

ALL PARTY WALLS TO BE MID-C TAPPED (OR EQUIV.) ALL THE WAY TO U/S ROOF SHEATHING.

### EXTERIOR WALLS

**M1-6 ICE EXTERIOR MALL**  
 -GLADDING AS PER ELEVATIONS  
 -AIR BARRIER  
 -2 1/2" RIGID INSULATION  
 -5" CONCRETE  
 -2 1/2" RIGID INSULATION  
 -1/2" GYPSUM MALL BOARD

**M2-6 ICE GENTISE MALL (H.R. FRS)**  
 -1/2" GYPSUM MALL BOARD  
 -2 1/2" RIGID INSULATION  
 -5" CONCRETE  
 -2 1/2" RIGID INSULATION  
 -1/2" GYPSUM MALL BOARD

**M3- EXTERIOR ABOVE GRADE MALL**  
 -1/2" GLADDING (AS PER ELEVATIONS)  
 -2 1/2" SEMI-RIGID INSULATION  
 -AIR/WEATHER BARRIER  
 -1/2" PLYWOOD SHEATHING (16' O.C.)  
 -CAVITY FILLED BATT INSULATION  
 -1/2" GYPSUM MALL BOARD  
 -LIQUID APPLIED VAPOUR BARRIER

**M3B- EXTERIOR ABOVE GRADE MALL**  
 -1/2" GLADDING (AS PER ELEVATIONS)  
 -1/2" SEMI-RIGID MINERAL WOOL INSULATION  
 -AIR/WEATHER BARRIER  
 -1/2" PLYWOOD SHEATHING  
 -2x6 MOOD STUDS (16' O.C.)  
 -CAVITY FILLED MINERAL WOOL INSULATION  
 -1/2" GYPSUM MALL BOARD  
 -LIQUID APPLIED VAPOUR BARRIER

**M4- EXTERIOR SHED MALL**  
 -GLADDING AS PER ELEVATIONS  
 -AIR BARRIER  
 -2x6 MOOD STUDS @ 16' O.C.  
 -BATT INSULATION  
 -1/2" PLYWOOD

### CEILINGS

**G01- FINISHED CEILING**  
 -DIMENSIONAL LINERS FRAMING/FERRING  
 -1/2" GYPSUM BOARD  
 -SOUND PANNELLING (ON LOWER LEVEL)  
 -1/2" S&S RESISTANT GYPSUM BOARD  
 -LOW PROFILE TEXTURED FINISH

### ROOFS

**R1- INSULATED TRUSS ROOF**  
 -ASPHALT SHINGLES  
 -UNDERLAY  
 -AIR BARRIER  
 -PLYWOOD SHEATHING (AS PER STRUCTURAL)  
 -OPEN WEB TRUSSES (AS PER STRUCTURAL)  
 -SLOPE CELLULOSE ISO CAN HELL STOPS  
 -1/2" GYPSUM BOARD (FINISH AS PER CLIENT)

**R2- UNINSULATED GABLETY ROOF**  
 -ASPHALT SHINGLES  
 -UNDERLAY  
 -PLYWOOD SHEATHING (AS PER STRUCTURAL)  
 -DIMENSIONAL FRAMING (AS PER STRUCTURAL)  
 -SOFFITS AND FASCIA AS PER ELEVATIONS

### INTERIOR PARTITIONS

**P1- 2x4 INTERIOR PARTITION**  
 -1/2" GYPSUM MALL BOARD  
 -2x4 MOOD STUDS @ 16' O.C.  
 -1/2" GYPSUM MALL BOARD

**P2- 2x6 PLUMBING/BEARING PARTITION**  
 -1/2" GYPSUM MALL BOARD  
 -2x4 MOOD STUDS @ 16' O.C.  
 -1/2" GYPSUM MALL BOARD

NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

**P3- 2x6 DRESSED PLUMBING PARTITION**  
 -2x6 MOOD STUDS @ 16' O.C.  
 -1/2" GYPSUM MALL BOARD

NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

**P4- 2x4 EXTERIOR SHED PARTITION**  
 -1/2" PLYWOOD  
 -2x6 MOOD STUDS @ 16' O.C.  
 -1/2" PLYWOOD

**P5- PARTY MALL (H.R. FRS. STC 57)**  
 -2 LAYERS 5/8" TYPE X GYPSUM MALL BOARD  
 -1/2" SEMI-RIGID INSULATION @ 16' O.C.  
 -ACCOUSTIC BATT INSULATION  
 -1" AIR SPACE  
 -2x4 MOOD STUDS @ 16' O.C.  
 -ACCOUSTIC BATT INSULATION  
 -2 LAYERS 5/8" TYPE X GYPSUM MALL BOARD

**P6- 2x6 STEEL STUD MALL**  
 -GLADDING (AS PER ELEVATIONS)  
 -1/2" PLYWOOD SHEATHING  
 -2x6 MOOD STUDS @ 16' O.C.  
 -1/2" DENSGLASS SHEATHING

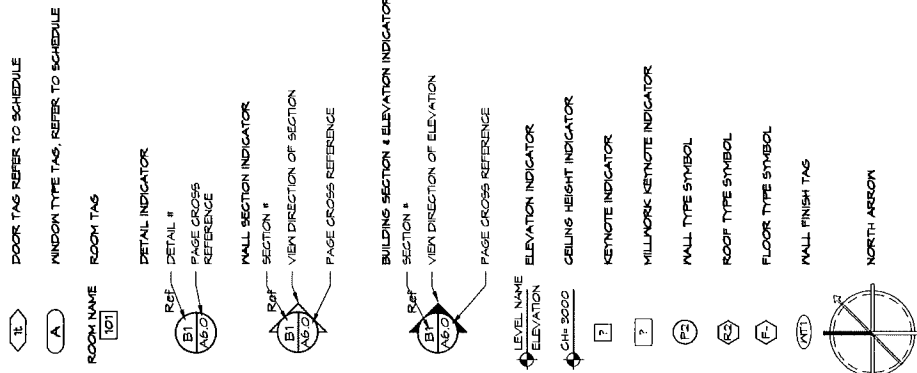
### FLOORS

**F1- 11" T-JL SOUND INSULATED I.H.R. FRS**  
 -VINYL PLANK FLOORING  
 -5/8" OSB TIG SUBFLOOR  
 -11 7/8" T-JL  
 -ACCOUSTIC BATT FILLED JOIST CAVITY  
 -2 LAYERS 5/8" GYPSUM MALL BOARD TYPE X

**F2- 11" T-JL 45min FRS**  
 -VINYL PLANK FLOORING  
 -5/8" OSB TIG SUBFLOOR  
 -11 7/8" T-JL  
 -ACCOUSTIC BATT FILLED JOIST CAVITY  
 -5/8" GYPSUM MALL BOARD TYPE X

**F3- INSULATED BASEMENT SLAB**  
 -VINYL PLANK FLOORING  
 -5/8" FLOORING UNDERLAY  
 -VAPOUR BARRIER  
 -REINFORCED CONCRETE SLAB (AS PER STRUCTURAL)  
 -INSULATION (HIGH DENSITY, BEARING)  
 -COMPACTED GRAVEL (AS PER STRUCTURAL)

### DRAWING SYMBOLS LEGEND



### GENERAL NOTES

- DO NOT SCALE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT.
- REFER TO ALL DRAWING DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
- ALL WORK COMPLIES WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE - 2018, CBCG EDITION AND LOCAL ORDINANCES.
- COORDINATE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. ALL DIMENSIONS REQUIRED FOR THE INSTALLATION OF ALL COMPONENTS AS NECESSARY TO ENSURE THEIR SOUND OPERATION UPON COMPLETION.
- ALL MALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE CONSTRUCTION ASSEMBLY PAGE SHOW TRUE REPRESENTATION OF COMPLETED CONSTRUCTION. ALL INFORMATION IN THESE ASSEMBLY SUPERSEDES ALL PREVIOUS INFORMATION. THESE ASSEMBLY SUPERSEDES ALL COMPLETED DETAILS AND NOTATION COMPLETED ON THE FOLLOWING CONSTRUCTION DRAWINGS.
- REFER TO STRUCTURAL FRAMING PLANS FOR LOCATIONS OF ALL INTERIOR LOAD BEARING ASSEMBLIES AND SHEAR WALL LOCATIONS. LOCATIONS IN BALCONIES AND COMMERCIAL KITCHENS SHALL BE KEPT TO BE RESISTANT TO WATER.
- ALL EXPOSED CONCRETE MALL CORNERS SHALL BE CHAMFERED.
- ALL G.I. FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.
- MAINTAIN CONTINUOUS FIRE RATED SEPARATION AROUND JANITOR ROOMS, STORAGE ROOMS, AND MECHANICAL ROOMS. GASKET WALLS TO INSIDE OF STRUCTURE. ALL DOOR AND WINDOW FRAMES.
- IN ALL LOCATIONS WHERE GYPSUM BOARD ABUTS DISSIMILAR MATERIAL, USE A MILCOR AND/OR J-TRIM AT EDGE SURFACES ALLOW 3mm V-V GAP EX DOOR, WINDOW FRAME, CONCRETE MALL, CONCRETE BRICK ETC.
- PROVIDE CORNER BEAD FOR ALL EXPOSED GYPSUM MALL BOARD CORNERS.
- LOCATIONS TO BE FINISHED DIRECTLY ATTACHED TO ADJACENT MATERIALS SHALL BE PRESURE TREATED ALUMINUM WALLS SHALL BE PRESURE TREATED.
- FURF IN ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
- SEE MECHANICAL AND ELECTRICAL FOR EXACT TYPES AND QUANTITY OF DIFFUSERS, GRILLES, FIXTURES, AND EQUIPMENT. COORDINATE TYPES AND EXACT LOCATIONS TO THE ARCHITECTURAL REFERENCED DRAWINGS AND/OR DETAILS.
- CAULK AND SEAL AROUND ALL DUCTS AND PIPES PASSING THROUGH FIRE RATED PARTITIONS AND FLOOR ASSEMBLIES WITH APPROVED (ULC) MASTIC CALKING.
- PROVIDE ACOUSTICAL SEALANT AT JUNCTIONS OF SOUND RATED PARTITIONS.
- WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN SOUND RATED PARTITIONS AND FLOOR ASSEMBLIES, PROVIDE ACOUSTICAL SEALANT ALL AROUND SPACES.

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Berry Architecture + Associates  
 Suite 200 5519-50 Avenue  
 Red Deer, T4N 4B5

Phone: 403-314-4461  
 Contact:

Sheet Number	Sheet Name
A0.0	COVER SHEET
A1.0	CODE REVIEW
A2.0	SITE PLAN + BYLAW REVIEW
A3.0	BASEMENT FLOOR PLAN
A3.1	MAIN FLOOR PLAN
A3.2	SECOND FLOOR PLAN
A3.4	ROOF PLAN
A4.0	EXTERIOR BUILDING ELEVATIONS
A4.3	EXTERIOR BUILDING ELEVATIONS
A4.4	EXTERIOR BUILDING ELEVATIONS
A5.0	BUILDING SECTIONS
A6.0	CONSTRUCTION DETAILS
A6.1	CONSTRUCTION DETAILS CONT.
A6.2	DOOR + WINDOW SCHEDULES
A1.0	SPECIFICATION



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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION	ISSUED FOR
001	04-21	BUILDING PERMIT	
002	04-21	ECCAS/INQUINON	
003	02-14	NEW WALL ASSEMBLY	

# Pinetree Meadows Phase 1, Lots 6,8 15 Ave Invermere BC

PROJECT TITLE

# FLOOR PLAN

DRAWING TITLE

SCALE: AS INDICATED

DRAWN: R/KD

CHECKED: IM/RR

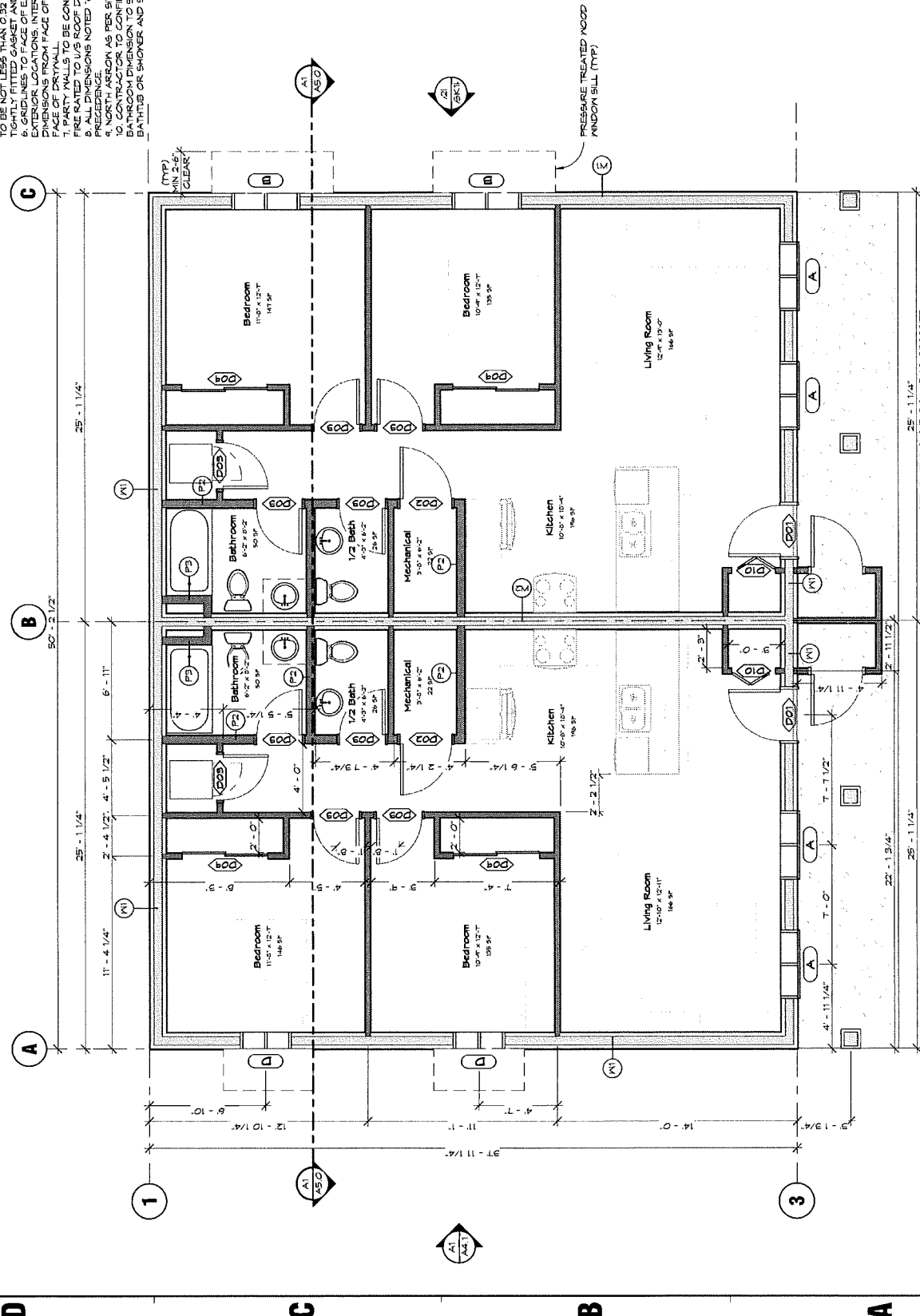
OCT 21

21-010

# A3.0

## GENERAL NOTES

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTRED IN OPENINGS UNLESS NOTED OTHERWISE.
3. ALL BUILDINGS TO HAVE MIN. 10" CLEARANCE BELOW.
4. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE.
5. ALL CLOSETS SHALL BE PROVIDED WITH DOORS WITH GASKETS AND COVERS, TIGHTLY FITTED GASKET AND COVERS.
6. GRID LINES TO FACE OF EXTERIOR, AT EXTERIOR LOCATIONS. INTERIOR DIMENSIONS FROM FACE OF DRYWALL TO FACE OF PARTITION.
7. PARTY WALLS TO BE CONTINUOUS AND FIRE RATED TO U/S ROOF DECK.
8. ALL DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE.
9. NORTH ARROW AS PER SITE PLAN.
10. ALL PARTITIONS TO BE SUPPLIED WITH BATHROOM DIMENSION TO BAT SUPPLIED BATHROOM OR SHOWER AND SURROUND.



NOTE: DIMENSIONS THE SAME AS OPPOSITE SIDE, MIRROR IMAGE ONLY.

## BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



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NO.	DATE	ISSUED FOR
2/22/20	21	BUILDING PERMIT
2/23/20	21	CONTRACTOR
2/24/20	21	REV. WALL ASSEMBLY

# Pinetree Meadows Phase 1, Lots 6,8 Generation Homes BC

PROJECT TITLE

# MAIN FLOOR PLAN

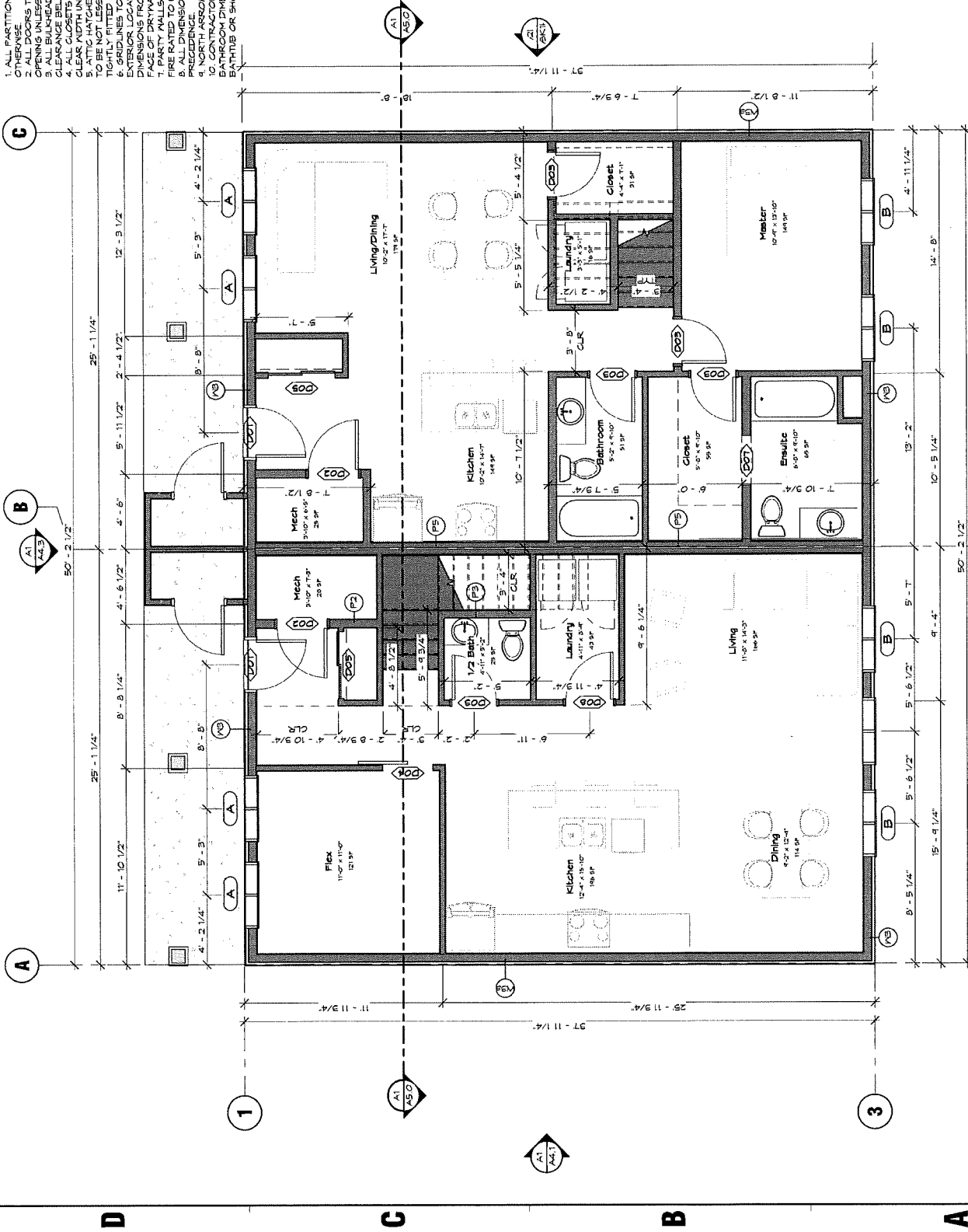
DRAWING TITLE

SCALE:	As indicated
DRAWN:	RKD
CHECKED:	IM/RRR
OCT 21	
21-010	

A3.1

## GENERAL NOTES

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE TO BE CENTERED IN OPENING UNLESS NOTED OTHERWISE.
2. ALL BULLHEADS TO HAVE MIN. 10" CLEARANCE BELOW.
3. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE. TO BE NOT LESS THAN 0.92 M WITH TIGHTLY FITTED GASKET AND COVERS.
4. ALL PARTITIONS TO BE CONTINUOUS AND FIRE RATED TO U/S ROOF DECK.
5. ALL DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE PER SITE PLAN.
6. CONTRACTOR TO CONFIRM BATHROOM DIMENSION TO SUIT SUPPLIED BATHTUB OR SHOWER AND SURROUND.



## MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



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NO.	DATE	BY	REASON
001	04-21	IM/RR	ISSUED FOR PERMITS
002	04-21	IM/RR	CONSTRUCTION
003	04-21	IM/RR	CONSTRUCTION
004	04-21	IM/RR	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 6,8 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

# SECOND FLOOR PLAN

DRAWING TITLE

SCALE: AS INDICATED

DRAWN: RMD

CHECKED: IM/RR

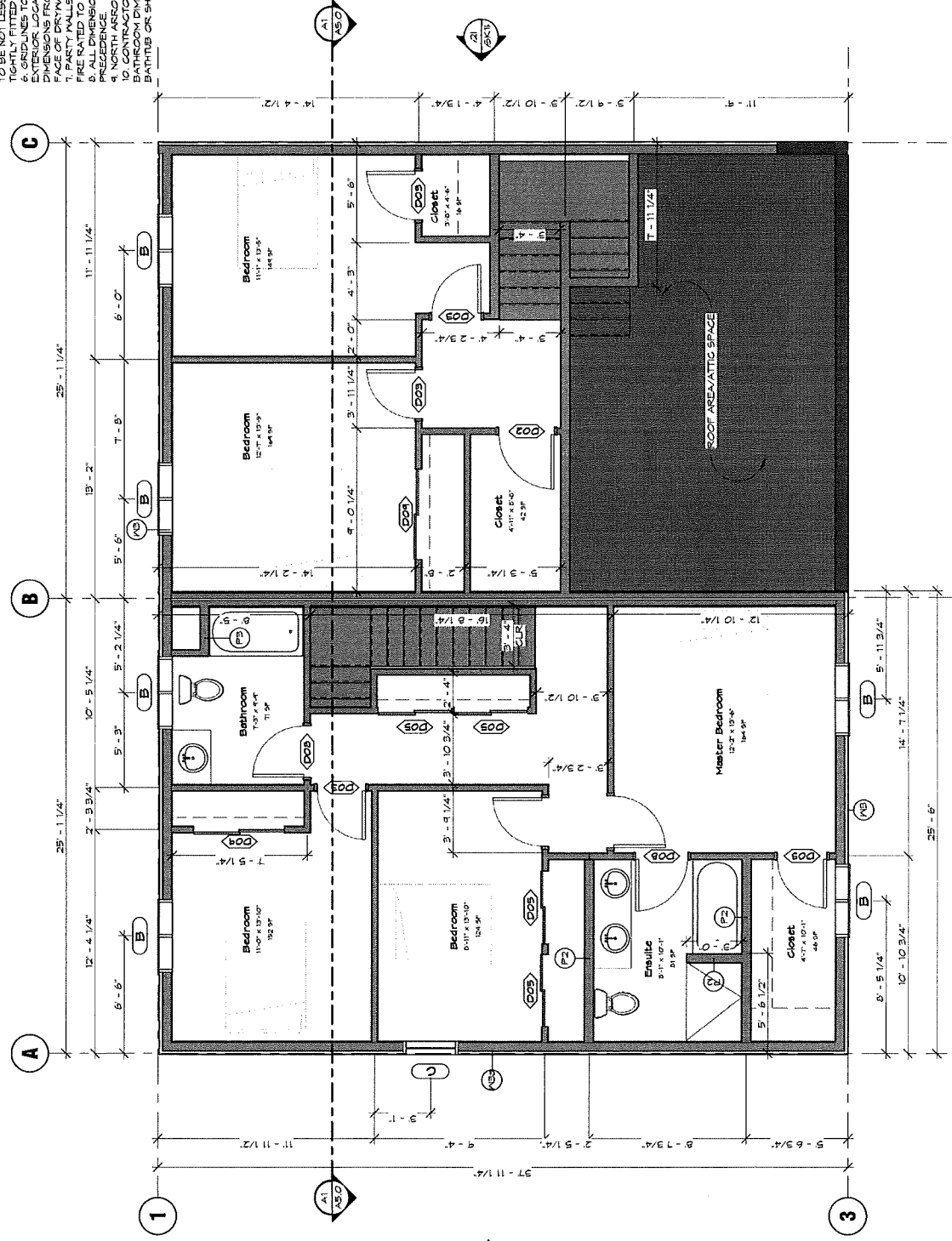
OCT 21

21-010

# A3.2

### GENERAL NOTES

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE
2. ALL DOORS TO BE CENTRED IN OPENING UNLESS NOTED OTHERWISE
3. ALL BULKHEADS TO HAVE MIN. 70" CLEARANCE BELOW
4. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE
5. THE MAXIMUM WIDTH OF ANY DOOR TO BE NOT LESS THAN 0.55 X WIDTH TIGHTLY FITTED GASKET AND COVERS.
6. GRIDLINES TO FACE OF EXTERIOR. AT EXTERIOR LOCATIONS, INTERIOR DIMENSIONS FROM FACE OF DRYWALL TO FACE OF EXTERIOR.
7. PARTIAL WALLS TO BE CONTINUOUS AND FREERATED TO 1/5" ROOF DECK.
8. ALL DIMENSIONS NOTED "CL" TO TAKE PRECEDENCE
9. NORTH ARROW AS PER SITE PLAN
10. ALL DIMENSIONS TO FACE UNLESS BATHROOM DIMENSION TO SUIT SUPPLIED BATH/TUB OR SHOWER AND SURROUND.



### SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"





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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION
01	04-21	BUILDING PERMIT
02	04-21	CONSTRUCTION
03	03-14	NEW WALL ASSEMBLY

# Pinetree Meadows Phase 1, Lots 6,8 15 Ave Invermere BC

PROJECT TITLE

# ROOF PLAN

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKD

CHECKED: IM/RR

OCT' 21

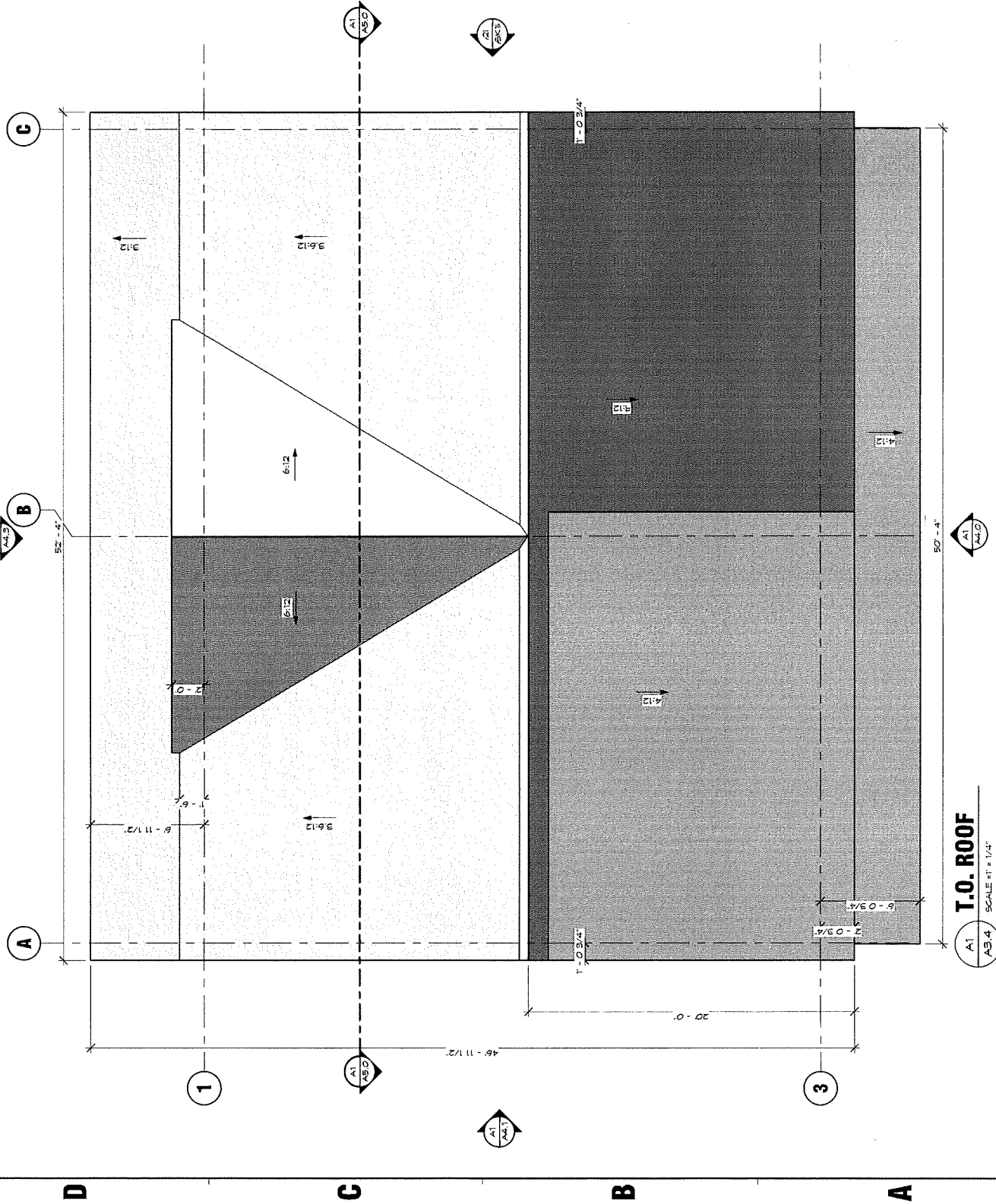
21-070

## A3.4

### T.O. ROOF

SCALE 3/4" = 1/4"

A1  
A3.4



5

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NO.	DATE	ISSUED FOR
22-22	04-21	BUILDING PERMIT
22-23	04-21	CONSTRUCTION
22-24	02-14	FIN. WALL ASSEMBLY

# Pinetree Meadows Phase 1, Lots 6,8 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

# EXTERIOR BUILDING ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKD/JE

CHECKED: IM/RJR

OCT 21

21-070

# A4.0

### KEYNOTE LEGEND

01	ASPHALT SHINGLE
07	MID-TONE HORIZONTAL 7.5" HARDIE LAP
08	WHITE HORIZONTAL 7.5" HARDIE LAP
14	WHITE HARDIE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH FLURRED HARDIE BASE
16	CONCRETE PATIO WITH PAUX WOOD FASCIA AS REQ'D



### ELEVATION A

SCALE: 1" = 1/4"

A1  
A4.0

5

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1



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**REVISIONS + ISSUES**

000000	000	ISSUED FOR
2022	04	21 BUILDING PERMIT
2022	04	21 CONSTRUCTION
2024	02	14 NEW WALL ASSEMBLY

# Pinetree Meadows Phase 1, Lots 6,8 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

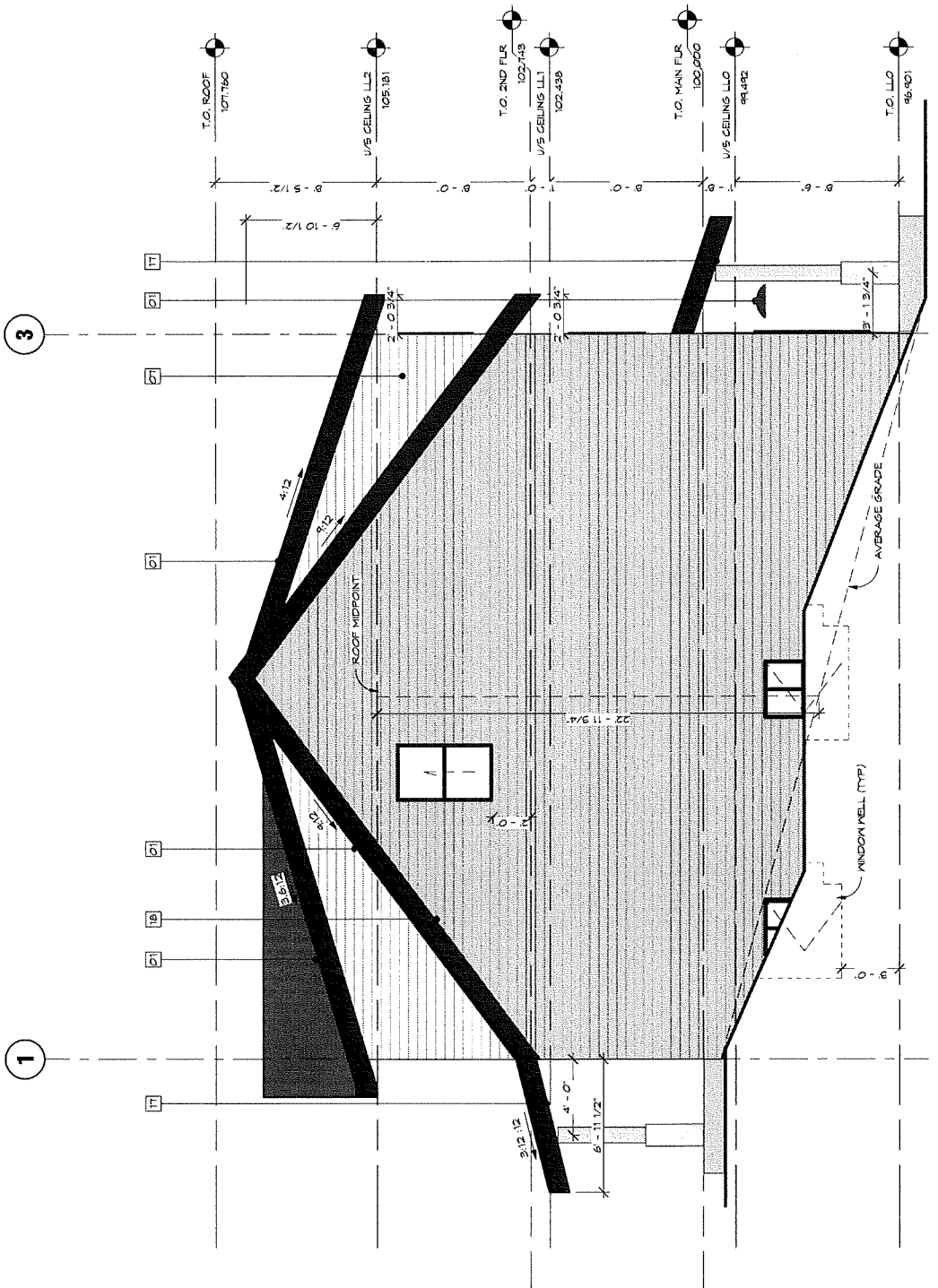
# EXTERIOR BUILDING ELEVATIONS

DRAWING TITLE

SCALE:	1" = 1/4"
DRAWN:	RKD/AE
CHECKED:	IM/RR
OCT 21	A4.1
21-010	

### KEYNOTE LEGEND

01	ASPHALT SHINGLE
07	MID TONE HORIZONTAL 7.5" HARDEE LAP
17	PINE (OR FAUX ALUMINUM/POLY EQUIVALENT) SOFFIT
18	STANDARD WHITE ALUMINUM SOFFIT



**ELEVATION B**  
A1 SCALE 1/4" = 1'-0"  
A4.1

1 2 3 4 5

D C B A



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REVISIONS + ISSUES

NO. 01	DATE 01/18/20	ISSUE
01	01/18/20	ISSUED FOR PERMIT
02	02/23/20	BUILDING PERMIT
03	03/23/20	CONSTRUCTION
04	03/24/20	NEW WALL ASSEMBLY

Pinetree Meadows  
Phase 1, Lots 6,8  
Generation Homes  
15 Ave Invermere BC

PROJECT TITLE

EXTERIOR  
BUILDING  
ELEVATIONS

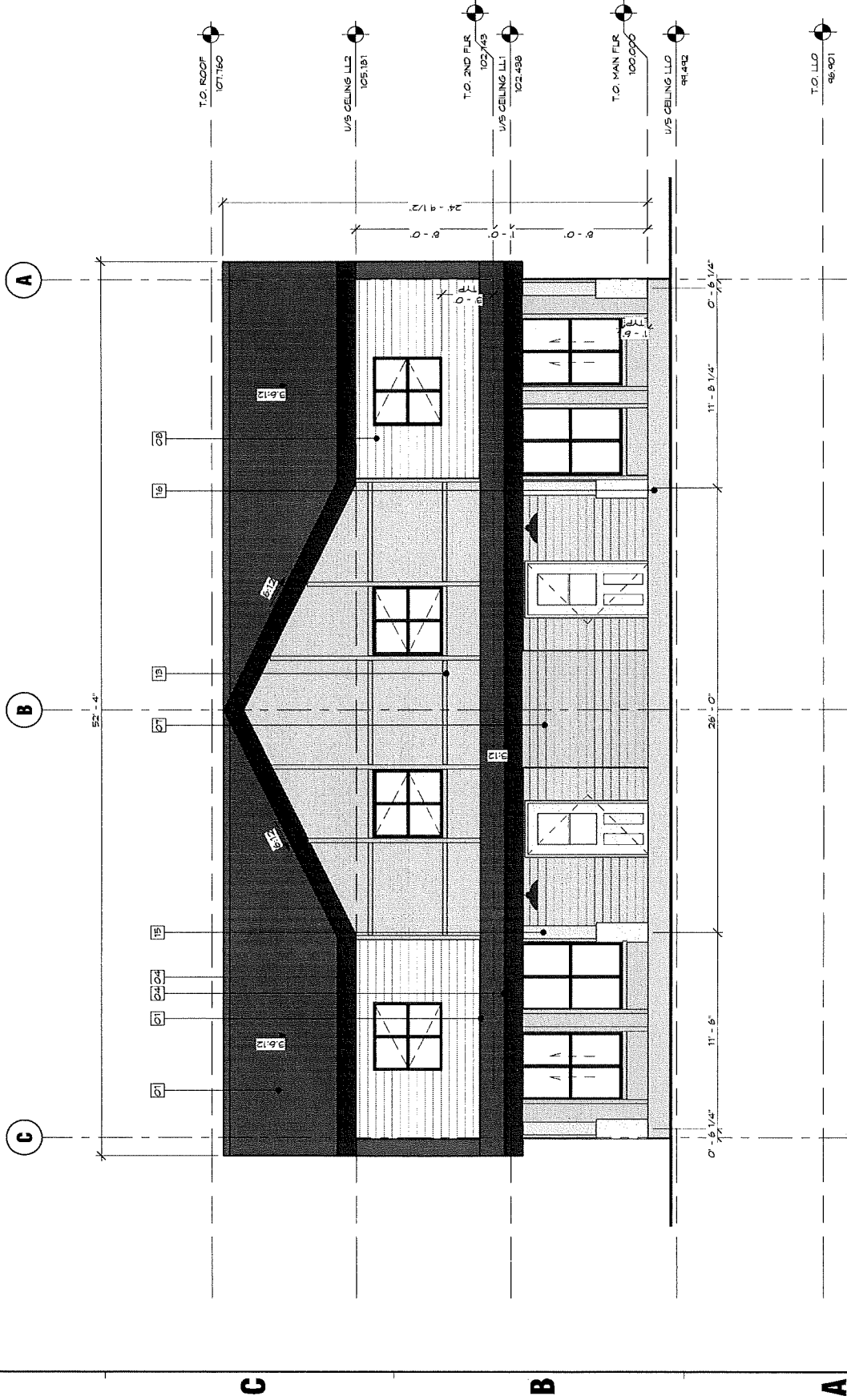
DRAWING TITLE

SCALE:	1" = 1/4"
DRAWN:	RKD/JE
CHECKED:	IM/RR
OCT 21	
21-OTO	

A4.3

KEYNOTE LEGEND

01	ASPHALT SHINGLE
04	CHARCOAL FASCIA
07	MID TONE HORIZONTAL 1.25" HARDIE LAP
08	WHITE HORIZONTAL 1.25" HARDIE LAP
13	MID TONE HARDIE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH PURRED HARDIE BASE
16	CONCRETE PATIO W/ FAUX WOOD FASCIA AS REQD



ELEVATION C

A1  
A4.3  
SCALE 1/4"

1 2 3 4 5



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REVISIONS + ISSUES

NO. 001	DATE 02/14/21	ISSUE
01	02/14/21	ISSUED FOR
02	02/23/21	BUILDING PERMIT
03	02/23/21	CONSTRUCTION
04	02/23/21	CONSTRUCTION
05	02/23/21	CONSTRUCTION
06	02/23/21	CONSTRUCTION
07	02/23/21	CONSTRUCTION
08	02/23/21	CONSTRUCTION
09	02/23/21	CONSTRUCTION
10	02/23/21	CONSTRUCTION
11	02/23/21	CONSTRUCTION
12	02/23/21	CONSTRUCTION
13	02/23/21	CONSTRUCTION
14	02/23/21	CONSTRUCTION
15	02/23/21	CONSTRUCTION
16	02/23/21	CONSTRUCTION
17	02/23/21	CONSTRUCTION
18	02/23/21	CONSTRUCTION
19	02/23/21	CONSTRUCTION
20	02/23/21	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 6,8 Generation Homes BC 15 Ave Invermere BC

PROJECT TITLE

# EXTERIOR BUILDING ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKD/JE

CHECKED: IM/RR

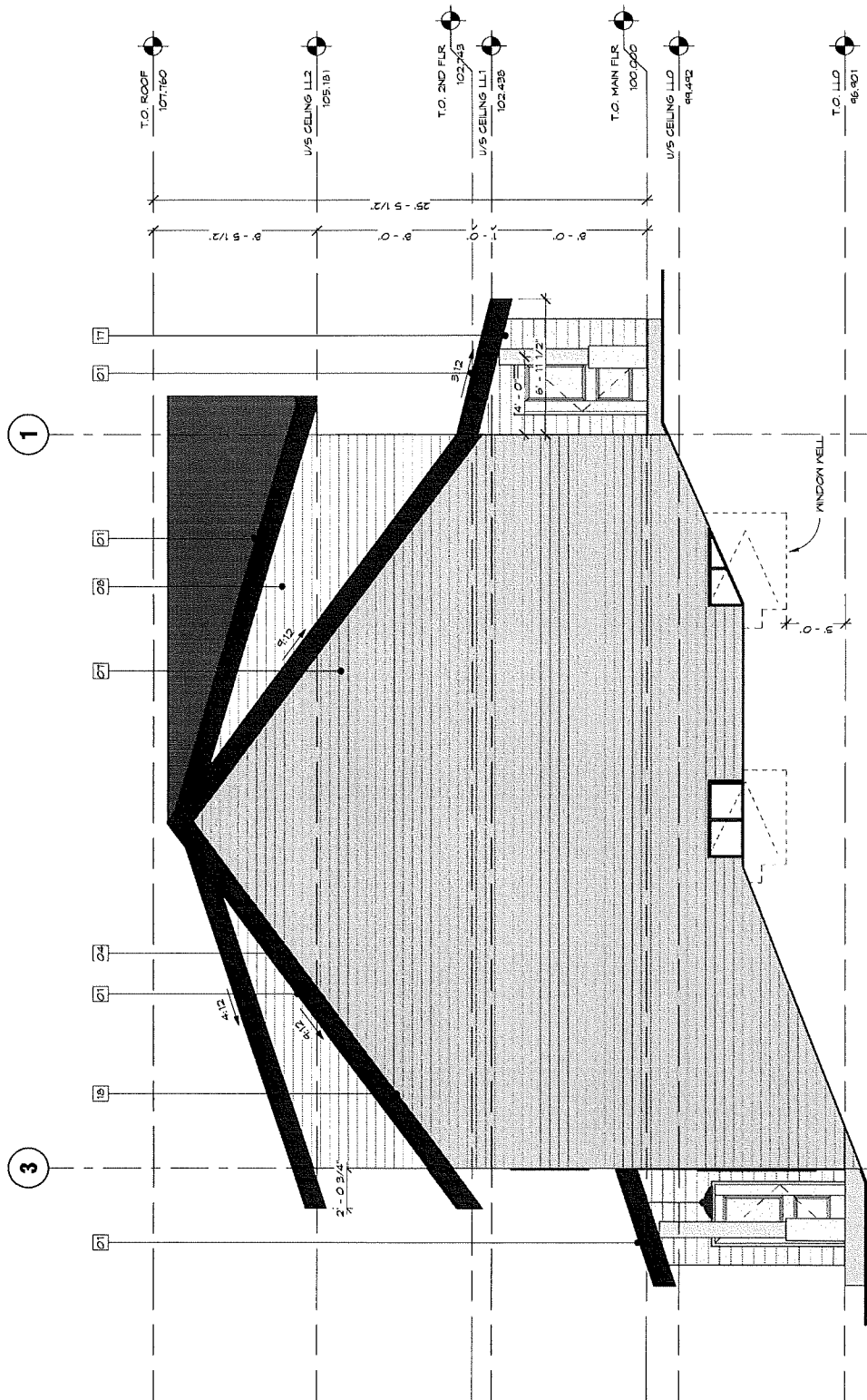
OCT 21

21-070

## A4.4

### KEYNOTE LEGEND

01	ASPHALT SHINGLE
04	CHARCOAL FASCIA
07	MID TONE HORIZONTAL 1.25" HARDIE LAP
08	WHITE HORIZONTAL 1.25" HARDIE LAP
11	PINE (OR FAUX ALUM/POLY EQUIVALENT) SOFFIT
19	STANDARD WHITE ALUMINUM SOFFIT



### ELEVATION D

SCALE 1" = 1/4"

A1  
A4.4

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**REVISIONS + ISSUES**

NO.	DATE	DESCRIPTION	ISSUED FOR
2023-04-21	BUILDING PERMIT		
2023-04-21	CONSTRUCTION		
2024-02-14	NY WALL ASSEMBLY		

**Pinetree Meadows  
Phase 1, Lots 6,8  
Generation Homes  
15 Ave Invermere BC**

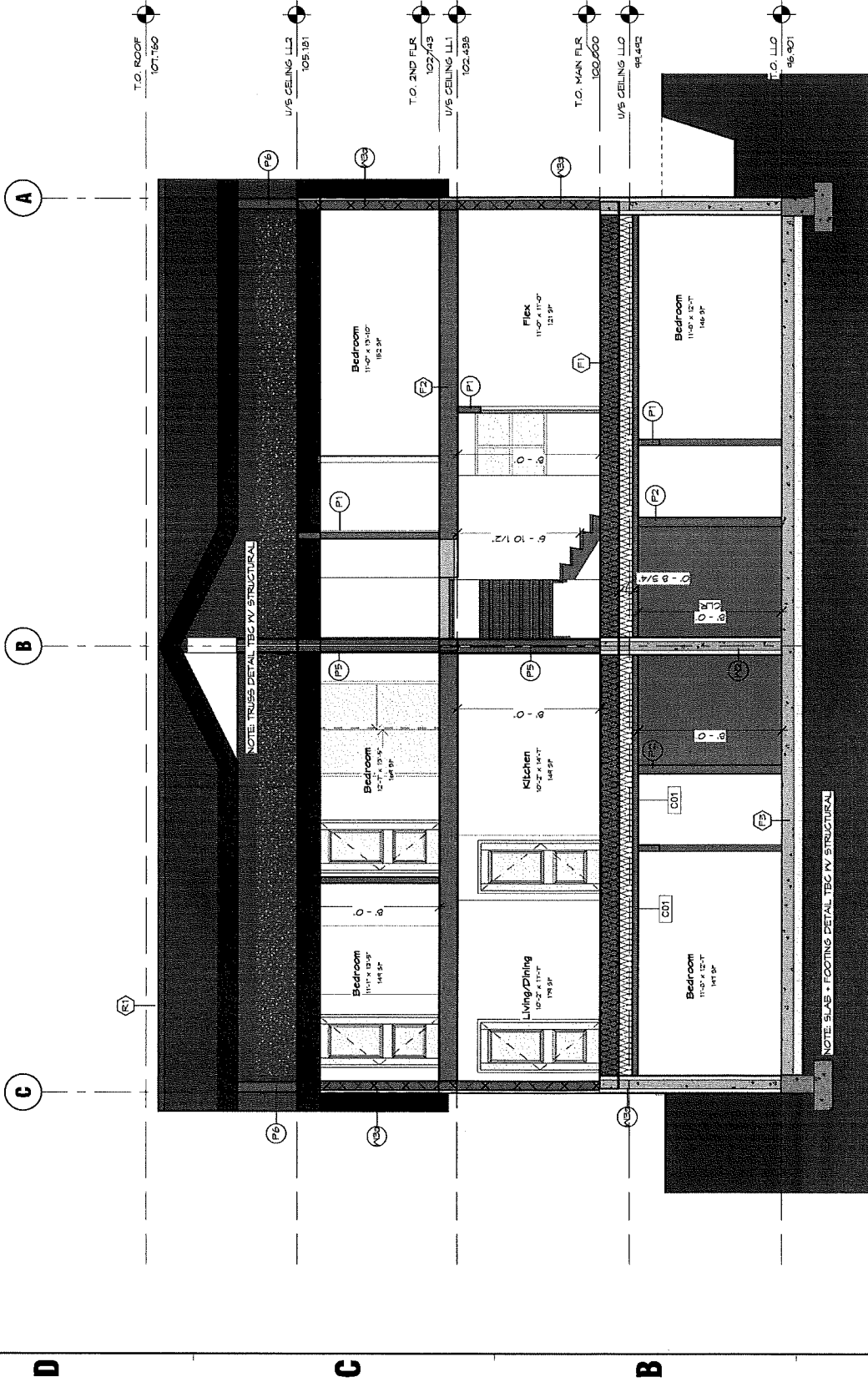
PROJECT TITLE

**BUILDING  
SECTIONS**

DRAWING TITLE

SCALE: 1" = 1/4"
DRAWN: RKD
CHECKED: IM/RR
OCT 21
21-010

**A5.0**



**SECTION A**  
SCALE 1/4" = 1'

1 2 3 4 5



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REVISIONS + ISSUES	
2022-05-24	CONSTRUCTION
2023-05-21	CONSTRUCTION
2024-02-27	REVISED WALL ASSEMBLY

# PINETREE MEADOWS PHASE 1, LOTS 1-8 GENERATION HOMES 15th Ave, Invermere BC

PROJECT TITLE

## CONSTRUCTION DETAILS

DRAWING TITLE

SCALE: As Indicated

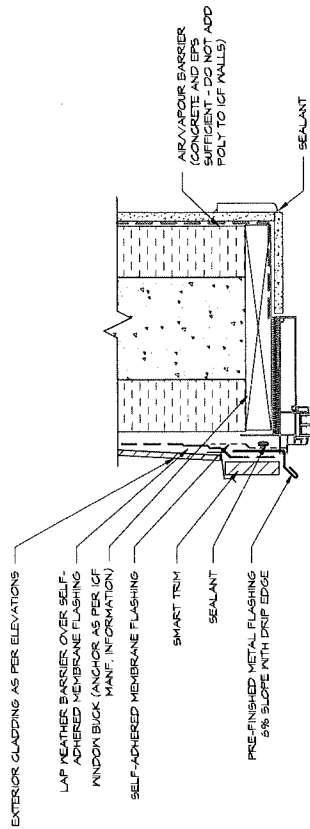
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OCT '21

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### A6.0

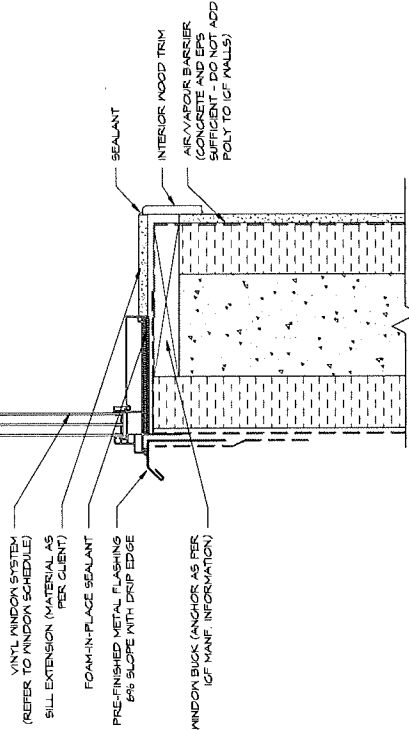


NOTE: VINTL. JAMB EXTENSIONS AS PER CLIENT.

### ICF WALL WINDOW HEADER

SCALE #1:1.5

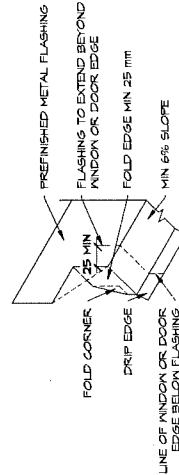
D4  
A6.0



### ICF WALL WINDOW SILL

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B4  
A6.0

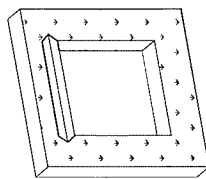


### CLOSED END DAM FLASHING

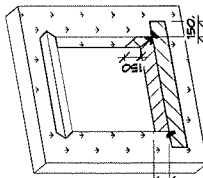
SCALE #1:1.4

A4  
A6.0

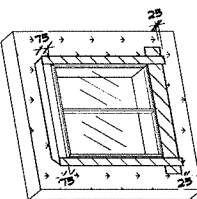
1. APPLY AIR BARRIER TO WALL, CUT AIR BARRIER AND WRAP JAMBS, CREATE AIR BARRIER FLAP AT WINDOW HEAD



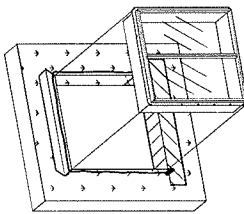
2. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE BOTTOM SILL THAT IS 300MM LONGER THAN THE WIDTH OF THE ROUGH OPENING. COVER THE ENTIRE SILL. MEMBRANE MUST CONTINUE 150MM UP EACH JAMB. LAP THE OVERLAPPING FLASHING DOWN ON TO THE WALL COVERING THE AIR BARRIER. APPLY BOTTOM PATCH TO BOTTOM CORNERS.



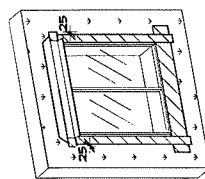
3. APPLY SEALANT TO WINDOW MOUNTING FLANGE (JAMBS AND HEAD ONLY), INSTALL THE WINDOW ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS



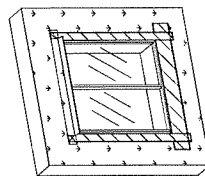
4. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE SIDES (JAMBS) OF THE WINDOW FLASHING SHOULD BE A MINIMUM OF 150MM ABOVE WINDOW HEAD AND A MINIMUM OF 250MM PAST THE SILL FLASHING.



5. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE HEAD OF THE WINDOW FLASHING SHOULD BE A MINIMUM OF 250MM PAST THE JAMB FLASHING. INSTALL PREFINISHED METAL FLASHING AT WINDOW HEAD.



6. RELEASE AIR BARRIER FLAP AND SEAL.

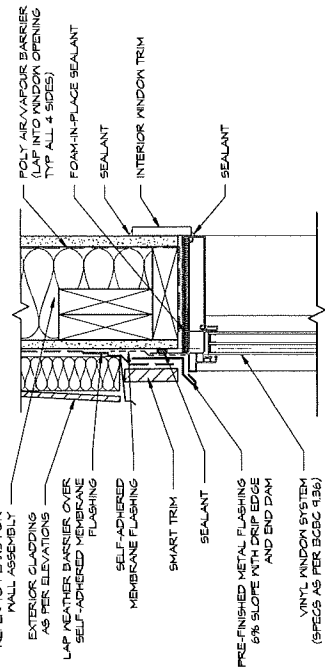


FLASHING WIDTH THE WIDTH OF ALL FLASHINGS ARE DETERMINED BY THE NAILING FLANGE OF THE WINDOW. THE FLASHING MUST EXTEND PAST THE EXTENTS OF THE NAILING FLANGE OF WINDOW.

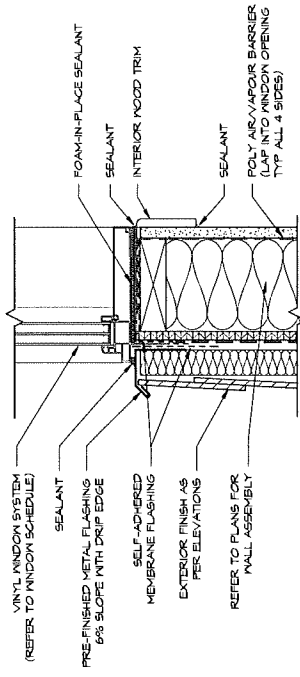
### WINDOW MEMBRANE FLASHING DETAIL

SCALE #1:1.5

A1  
A6.0

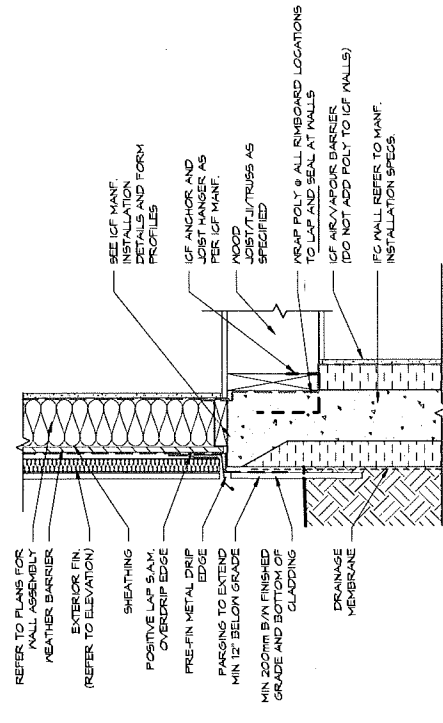


**D1 WINDOW HEADER DETAIL**  
SCALE = 1:1.5

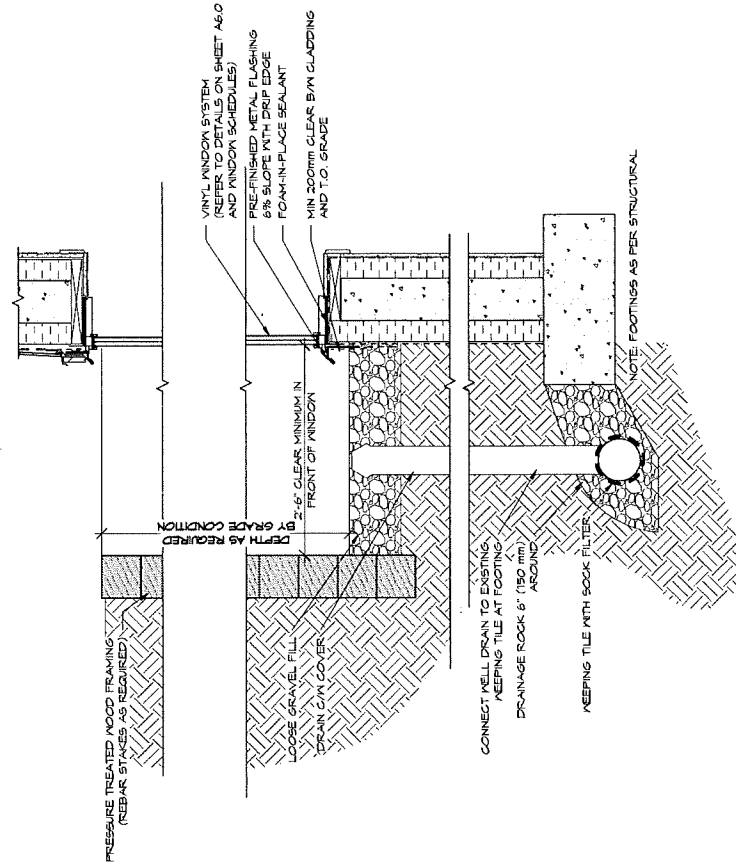


**C1 WINDOW SILL DETAIL**  
SCALE = 1:1.5

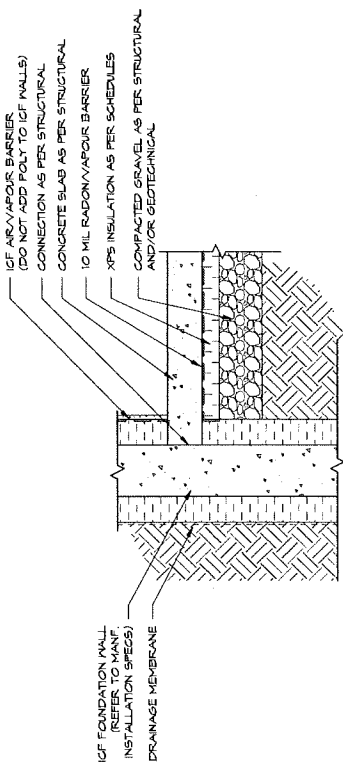
NOTE: WINDOW SILL OR DRYWALL RETURNS AS PER CLIENT.



**A1 ICF TO WOOD FRAME EXT. WALL**  
SCALE = 1:1.0



**C3 ICF WINDOW WELL DETAIL**  
SCALE = 1:1.0



**A3 SLAB TO FOUNDATION WALL**  
SCALE = 1:1.0



SEALS

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**REVISIONS + ISSUES**

2022.08.18	ISSUED FOR
2022.08.24	CONSTRUCTION
2023.07.21	CONSTRUCTION
2024.02.27	REVISED WALL ASSEMBLY

**PINETREE MEADOWS**  
**PHASE 1, LOTS 1-8**  
15th Ave, Invermere BC

PROJECT TITLE

**CONSTRUCTION**  
**DETAILS**  
**CONT.**

SCALE: As indicated  
DRAWN: RND  
CHECKED: RR  
OCT 21  
21-070  
**A6.1**





berry architecture  
+ associates

SEALS

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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION	ISSUED FOR
01	08-24-24	ISSUANCE	
02	08-24-24	ISSUANCE	
03	08-24-24	ISSUANCE	

# PINETREE MEADOWS PHASE 1, LOTS 1-8 GENERATION HOMES 15th Ave, Invermere BC

PROJECT TITLE

# CONSTRUCTION DETAILS CONT.

DRAWING TITLE

SCALE: AS Indicated

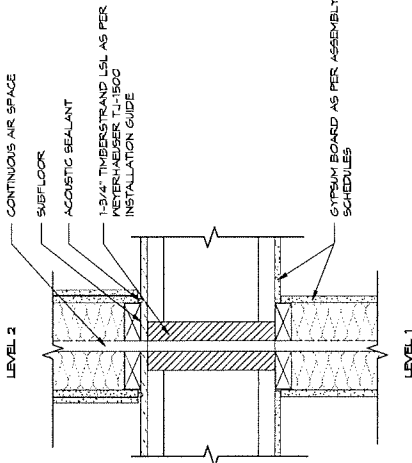
DRAWN: RND

CHECKED: RR

OCT '21

## A6.2

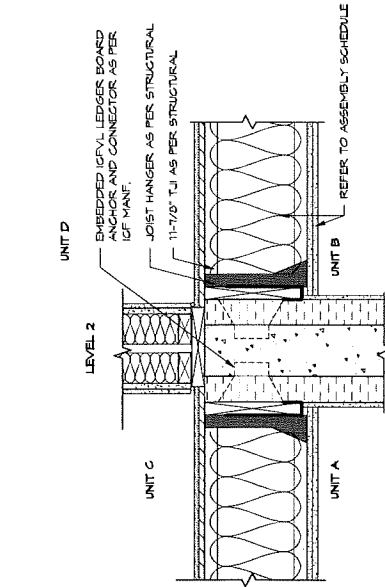
21-070



### WOOD PARTY WALL TO INT. FLOOR

SCALE = 1:10

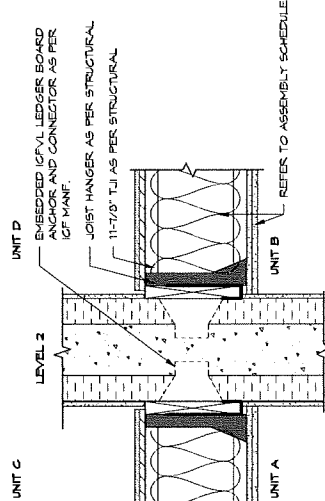
D3  
A6.2



### ICF TO WOOD PARTY WALL

SCALE = 1:10

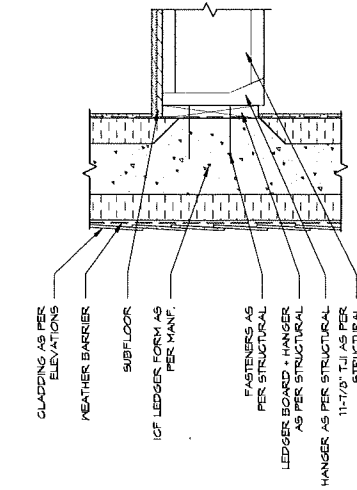
D1  
A6.2



### ICF PARTY WALL TO FLOOR

SCALE = 1:10

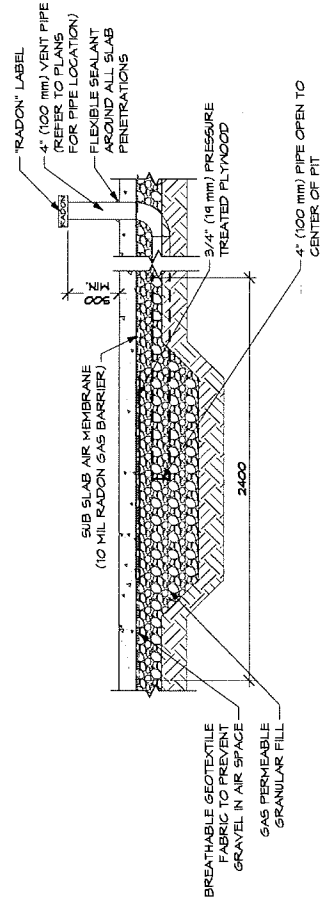
B2  
A6.2



### ICF WALL TO FLOOR CONNECTION

SCALE = 1:10

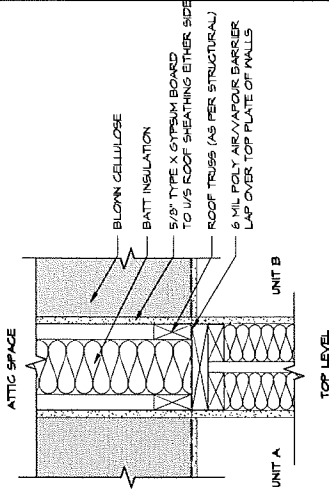
B1  
A6.2



### RADON PIT

SCALE INTS

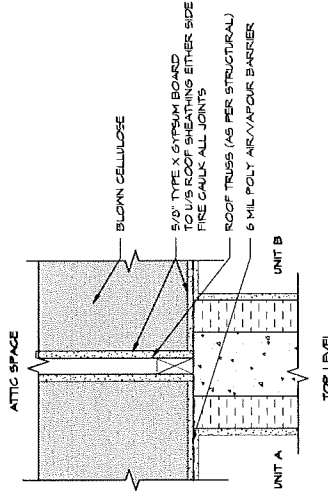
A1  
A6.2



### WOOD PARTY WALL TO ROOF

SCALE = 1:10

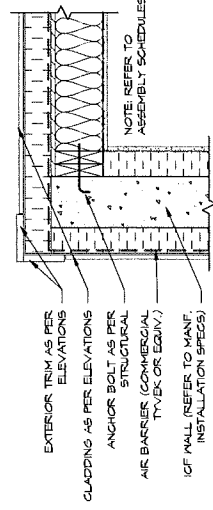
D4  
A6.2



### ICF PARTY WALL TO ROOF

SCALE = 1:10

B4  
A6.2



### ICF TO WOOD WALL CORNER PLAN DETAIL

SCALE = 1:10

A4  
A6.2



berry architecture  
+associates

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OF BERRY ARCHITECTURE

REVISIONS + ISSUES

NO.	DATE	DESCRIPTION
2/22/23	05/24	ISSUED TOP
2/22/23	05/24	CONSTRUCTION
2/24/23	02/27	REVISED WALL ASSEMBLY

# PINETREE MEADOWS PHASE 1, LOTS 1-8 GENERATION HOMES 15th Ave, Invermere BC

PROJECT TITLE

# CONSTRUCTION DETAILS CONT.

DRAWING TITLE

SCALE: 1"=1'

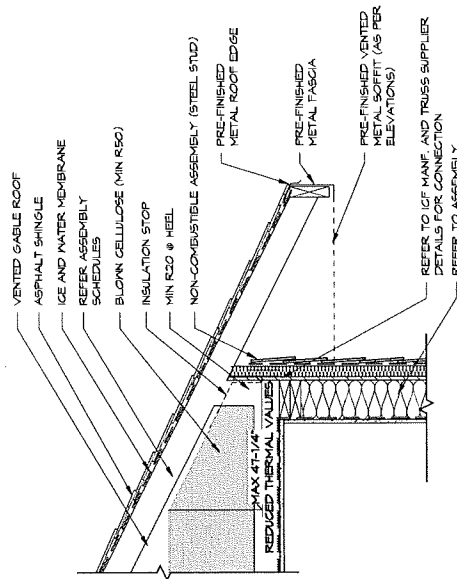
DATE: R4/D

CHECKER: RR/JM

OCT '21

21-070

## A6.3

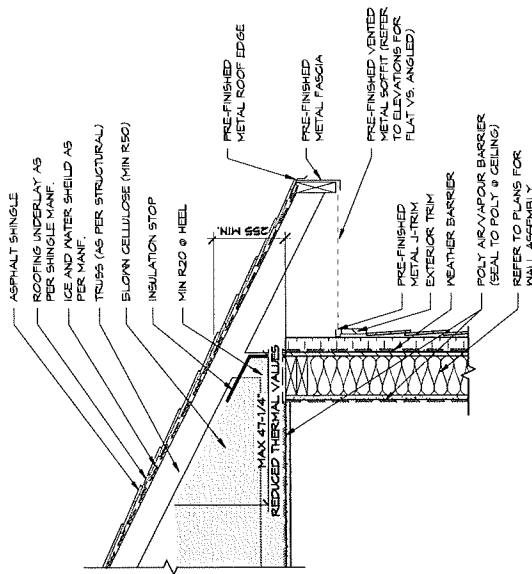


NOTE: DETAIL APPLIES AT ALL EXPOSING BUILDING FACES WITH <10% OPENINGS PERMITTED.

### WALL/ROOF CONNECTION FIRE RATED WALL

SCALE 1" = 1'-0"

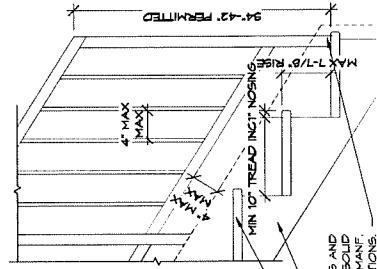
C3  
A6.3



### WOOD WALL TO ROOF CONNECTION

SCALE 1" = 1'-0"

C1  
A6.3



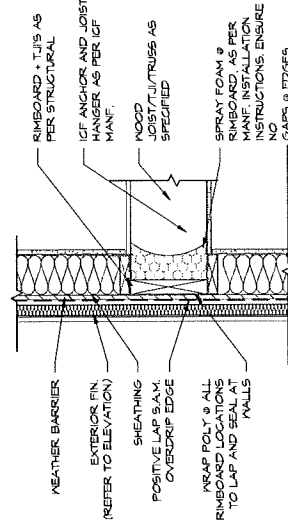
NOTE: STYLE OF RAILING SUBJECT TO CHANGE. COORDINATE W/ CLIENT. MUST MEET ALL REQUIREMENTS OF EBCG SECTION 4.8.7, AND APPLIES TO ALL INTERIOR STAIRS HAVING MORE THAN 2 RISERS.

STAR SUPPLIER TO VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. SUBMIT SHOP DRAWINGS TO CONTRACTOR FOR APPROVAL.

### TYPICAL STAIR DETAIL

SCALE 1" = 1'-0"

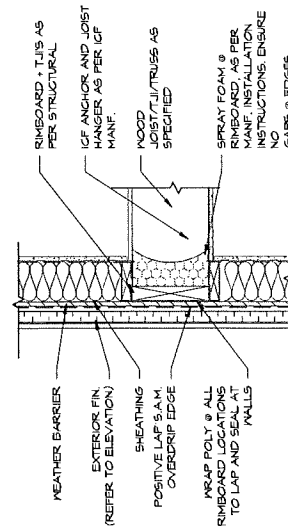
A4  
A6.3



### INT. FLOOR/WALL CONNECTION FIRE RATED WALL

SCALE 1" = 1'-0"

A3  
A6.3



### INT. FLOOR/WALL CONNECTION

SCALE 1" = 1'-0"

A1  
A6.3

# Exhibit E4



1. Contact

Document Fees: \$31.27

**Columbia Valley Law Corporation  
Barristers & Solicitors  
PO Box 639, 1309 - 7th Ave.  
Invermere BC V0A 1K0  
250-342-6904**

F: 13006

2. Identification of Attached Strata Property Act Form or Other Supporting Document

Application Type

LTO Document Reference

**Form-V Schedule of Unit Entitlement**

3. Description of Land

PID/Plan Number

Legal Description

**EPS8541**

**STRATA PLAN EPS8541**

**Electronic Signature**

Your electronic signature is a representation that you are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.43(3) and that the supporting document is in your possession.

**Katelynn Marie  
O'Neill EQ3CQF**

**Digitally signed by  
Katelynn Marie O'Neill  
EQ3CQF  
Date: 2023-09-29  
17:07:25 -07:00**

Strata Property Regulation

Form V

SCHEDULE OF UNIT ENTITLEMENT

(Sections 245(a), 246, 264)

[am. B.C. Reg. 203/2003, s. 5.]

Re: Preliminary Strata Plan EPS8541, being Phase 1 of a Phased Strata Plan of

PID: 032-005-121

---

**STRATA PLAN CONSISTING ENTIRELY OF RESIDENTIAL STRATA LOTS**

The unit entitlement for each residential strata lot is one of the following [check appropriate box], as set out in the following table:

- (a) the habitable area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246(3)(a)(i) of the *Strata Property Act*.

**Certificate of British Columbia Land Surveyor**

I, *Adam Brash*, a British Columbia land surveyor, certify that the following table reflects the habitable area of each residential strata lot.

Date: 09/14/2023



---

Signature

**OR**

- (b) a whole number that is the same for all of the residential strata lots as set out in section 246(3)(a)(ii) of the *Strata Property Act*.

**OR**

[ ] (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246(3)(a)(iii) of the *Strata Property Act*.

\_\_\_\_\_  
Signature of Superintendent of Real Estate

Strata Lot No.	Sheet No.	Habitable Area in m <sup>2</sup>	Unit Entitlement	%* of Total Unit Entitlement**
1	4	85.2	85	2.5%
2	3	84.7	85	2.5%
3	4	85.1	85	2.5%
4	3	84.6	85	2.5%
Total number of lots: 4			Total unit entitlement: 340	

\* expression of percentage is for informational purposes only and has no legal effect

\*\* not required for a phase of a phased strata plan

Date: Sept 15, 2023

Chett

Signature of Owner Developer

\_\_\_\_\_  
Signature of Superintendent of Real Estate  
(if submitted under section 264 of the Act)



**Strata Property Act Filing**

**KAMLOOPS LAND TITLE OFFICE**  
FEB 12 2024 12:49:14.003  
**CB1159388**

1. Contact

Document Fees: \$31.27

**Columbia Valley Law Corporation**  
**Barristers & Solicitors**  
**PO Box 639, 1309 - 7th Ave.**  
**Invermere BC V0A 1K0**  
**250-342-6904**

F: 13075

2. Identification of Attached Strata Property Act Form or Other Supporting Document

Application Type

LTO Document Reference

**Form-V Schedule of Unit Entitlement**

3. Description of Land

PID/Plan Number

Legal Description

**EPS8541**

**STRATA PLAN EPS8541**

**Electronic Signature**

Your electronic signature is a representation that you are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.43(3) and that the supporting document is in your possession.

**Katelynn Marie**  
**O'Neill EQ3CQF**

Digitally signed by  
**Katelynn Marie O'Neill**  
**EQ3CQF**  
Date: 2024-02-12  
12:45:30 -08:00

Strata Property Regulation

Form V

SCHEDULE OF UNIT ENTITLEMENT

(Sections 245(a), 246, 264)

[am. B.C. Reg. 203/2003, s. 5.]

Re: Preliminary Strata Plan EPS8541, being Phase 2 of a Phased Strata Plan of

PID: 032-005-121

STRATA PLAN CONSISTING ENTIRELY OF RESIDENTIAL STRATA LOTS

The unit entitlement for each residential strata lot is one of the following [check appropriate box], as set out in the following table:

- (a) the habitable area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246(3)(a)(i) of the *Strata Property Act*.

Certificate of British Columbia Land Surveyor

I, *Adam Brash*, a British Columbia land surveyor, certify that the following table reflects the habitable area of each residential strata lot.

Date: 01/31/2024



Signature

OR

- (b) a whole number that is the same for all of the residential strata lots as set out in section 246(3)(a)(ii) of the *Strata Property Act*.

OR



[ ] (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246(3)(a)(iii) of the *Strata Property Act*.

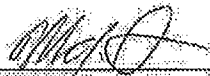
Signature of Superintendent of Real Estate

Strata Lot No.	Sheet No.	Habitable Area in m <sup>2</sup>	Unit Entitlement	%* of Total Unit Entitlement**
5	4	171.2	171	5.0%
6	3	84.7	85	2.5%
7	4	138.6	139	4.0%
8	3	84.7	85	2.5%
Total number of lots: 4			Total unit entitlement: 480	

\* expression of percentage is for informational purposes only and has no legal effect

\*\* not required for a phase of a phased strata plan

Date: Feb 12, 2024



Signature of Owner/Developer

Signature of Superintendent of Real Estate  
(if submitted under section 264 of the Act)

Strata Property Regulation

**Form V**

**SCHEDULE OF UNIT ENTITLEMENT**

*(Sections 245(a), 246, 264)*

[am. B.C. Reg. 203/2003, s. 5.]

Re: Preliminary Strata Plan EPS8541, being Phase 1 of a Phased Strata Plan of

*PID:032-005-121*

---

**STRATA PLAN CONSISTING ENTIRELY OF RESIDENTIAL STRATA LOTS**

The unit entitlement for each residential strata lot is one of the following *[check appropriate box]*, as set out in the following table:

- (a) the habitable area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246(3)(a)(i) of the *Strata Property Act*.

**Certificate of British Columbia Land Surveyor**

I, *Adam Brash*, a British Columbia land surveyor, certify that the following table reflects the habitable area of each residential strata lot.

Date: *[month, day, year]*.

\_\_\_\_\_  
Signature

**OR**

- (b) a whole number that is the same for all of the residential strata lots as set out in section 246(3)(a)(ii) of the *Strata Property Act*.

**OR**

- [ ] (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246(3)(a)(iii) of the *Strata Property Act*.

\_\_\_\_\_  
Signature of Superintendent of Real Estate

Strata Lot No.	Sheet No.	Habitable Area in m <sup>2</sup>	Unit Entitlement	%* of Total Unit Entitlement**
1	4	85.2	85	2.5%
2	3	84.7	85	2.5%
3	4	85.1	85	2.5%
4	3	84.6	85	2.5%
5	4	171.2	171	5.0%
6	3	84.7	85	2.5%
7	4	138.6	139	4.0%
8	3	84.7	85	2.5%
9	TBD	55.7	56	1.6%
10	TBD	55.3	55	1.6%
11	TBD	171.6	172	5.0%
12	TBD	84.7	85	2.5%
13	TBD	138.6	139	4.0%
14	TBD	84.7	85	2.5%
15	TBD	171.2	171	5.0%
16	TBD	84.7	85	2.5%
17	TBD	171.2	171	5.0%
18	TBD	84.7	85	2.5%
19	TBD	138.6	139	4.0%
20	TBD	84.7	85	2.5%

21	TBD	171.4	171	<b>5.0%</b>
22	TBD	84.7	85	<b>2.5%</b>
23	TBD	139	139	<b>4.0%</b>
24	TBD	84.7	85	<b>2.5%</b>
25	TBD	85.5	86	<b>2.5%</b>
26	TBD	84.7	85	<b>2.5%</b>
27	TBD	85.5	86	<b>2.5%</b>
28	TBD	84.7	85	<b>2.5%</b>
29	TBD	171.4	171	<b>5.0%</b>
30	TBD	84.7	85	<b>2.5%</b>
31	TBD	139	139	<b>4.0%</b>
32	TBD	84.7	85	<b>2.5%</b>
<b>Total number of lots: 32</b>		<b>Total unit entitlement: 3450</b>		

\* expression of percentage is for informational purposes only and has no legal effect  
 \*\* not required for a phase of a phased strata plan

Date: \_\_\_\_\_

\_\_\_\_\_  
 Signature of Owner Developer

\_\_\_\_\_  
 Signature of Superintendent of Real Estate  
 (if submitted under section 264 of the Act)

# Exhibit G4

<b>PineTree Meadows</b>			
<b>Proposed Initial Budget</b>			
<b>General Revenue</b>			
Strata Fees	\$	68,006.43	
<b>Total General Revenue</b>	\$	68,006.43	
<b>General and Admin Expenses</b>			
Strata Management	\$	11,520.00	
Insurance	\$	24,000.00	
Repairs and Maintenance	\$	2,000.00	
Waste Removal	\$	507.00	
Accounting	\$	2,000.00	
Hydro Costs	\$	1,500.00	
Landscaping	\$	5,000.00	
Snow Removal	\$	7,500.00	
<b>Total General and Admin Expenses</b>	\$	54,027.00	
Contingency Reserve Fund Contribution	\$	13,506.75	
<b>Total Expenses</b>	\$	67,533.75	

Schedule A to Exhibit G4

Strata Lot	Unit Entitlement	Annual Strata Fee	Monthly Strata Fee
Strata Lot 1	2.50%	\$1,688.34	\$140.70
Strata Lot 2	2.50%	\$1,688.34	\$140.70
Strata Lot 3	2.50%	\$1,688.34	\$140.70
Strata Lot 4	2.50%	\$1,688.34	\$140.70
Strata Lot 5	5.00%	\$3,376.69	\$281.40
Strata Lot 6	2.50%	\$1,688.34	\$140.70
Strata Lot 7	4.00%	\$2,701.35	\$225.11
Strata Lot 8	2.50%	\$1,688.34	\$140.70
Strata Lot 9	1.60%	\$1,080.54	\$90.05
Strata Lot 10	1.60%	\$1,080.54	\$90.05
Strata Lot 11	5.00%	\$3,376.69	\$281.40
Strata Lot 12	2.50%	\$1,688.34	\$140.70
Strata Lot 13	4.00%	\$2,701.35	\$225.11
Strata Lot 14	2.50%	\$1,688.34	\$140.70
Strata Lot 15	5.00%	\$3,376.69	\$281.40
Strata Lot 16	2.50%	\$1,688.34	\$140.70
Strata Lot 17	5.00%	\$3,376.69	\$281.40
Strata Lot 18	2.50%	\$1,688.34	\$140.70
Strata Lot 19	4.00%	\$2,701.35	\$225.11
Strata Lot 20	2.50%	\$1,688.34	\$140.70
Strata Lot 21	5.00%	\$3,376.69	\$281.40
Strata Lot 22	2.50%	\$1,688.34	\$140.70
Strata Lot 23	4.00%	\$2,701.35	\$225.11
Strata Lot 24	2.50%	\$1,688.34	\$140.70
Strata Lot 25	2.50%	\$1,688.34	\$140.70
Strata Lot 26	2.50%	\$1,688.34	\$140.70
Strata Lot 27	2.50%	\$1,688.34	\$140.70
Strata Lot 28	2.50%	\$1,688.34	\$140.70
Strata Lot 29	5.00%	\$3,376.69	\$281.40
Strata Lot 30	2.50%	\$1,688.34	\$140.70
Strata Lot 31	4.00%	\$2,701.35	\$225.11
Strata Lot 32	2.50%	\$1,688.34	\$140.70
		\$68,006.43	

# Exhibit J4



**PINETREE VALLEY DEVELOPMENT - PINETREE MEADOWS  
OFFER TO PURCHASE AND AGREEMENT OF SALE  
PRE-TITLES**

Date of Offer:       \_\_ day of \_\_\_\_\_, 202\_\_.

Vendor:               1345408 B.C. LTD.

Vendor's Solicitor:   Columbia Valley Law Corporation  
Box 639, 1309 – 7<sup>th</sup> Avenue, Invermere, BC V0A 1K0  
[reception@columbialegal.ca](mailto:reception@columbialegal.ca)

Purchaser:

\_\_\_\_\_  
Name(s) and Occupation(s)

\_\_\_\_\_  
Mailing Address(es)

\_\_\_\_\_  
Telephone Number(s)

\_\_\_\_\_  
Email Address(es)

Purchaser's Solicitor:

\_\_\_\_\_

FOR VALUABLE CONSIDERATION, THE PARTIES AGREE AS FOLLOWS:

Property:

1. The Purchaser hereby offers to purchase from the Vendor on the terms and conditions contained in this Agreement, including those terms and conditions set forth in any Schedule to this Agreement, the following property:
  - a. A proposed strata lot to be legally described as:

PROPOSED STRATA LOT \_\_\_\_ DISTRICT LOT 1092 KOOTENAY  
DISTRICT STRATA PLAN EPS8541 TOGETHER WITH AN INTEREST IN  
THE COMMON PROPERTY IN PROPORTION TO THE UNIT  
ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V; and
  - b. The following: range, fridge, dishwasher, washer, and dryer (the "Appliances")  
  
(collectively, the "Strata Lot").

Purchase Price:

2. The Purchase Price for the Strata Lot is \$\_\_\_\_\_ (the "Purchase Price"). The Purchase Price does not include Goods and Services Tax and other applicable taxes.
3. The portion of the Purchase Price allocated to the Appliances is \$\_\_\_\_\_.

Deposit:

4. The Purchaser shall pay an initial deposit of \$\_\_\_\_\_ (the "Initial Deposit") upon submission of this Agreement to the Vendor. The Initial Deposit shall be fully refundable to the Purchaser if this Agreement is not executed by the Vendor and delivered to the Purchaser on or before the Acceptance Date set out herein.
5. The Purchaser shall pay a second deposit in the amount of \$\_\_\_\_\_ (the "Second Deposit"). The Initial Deposit plus the Second Deposit shall not exceed 10% of the Purchase Price. The Purchaser shall pay the Second Deposit on the date that is the later of:
  - a. the date that the Purchaser removes the last condition-precedent contained in this Agreement (if any); and
  - b. within 5 business days after the execution of this Agreement.

6. The Purchaser shall pay the Initial Deposit and the Second Deposit (collectively, the "Deposit") by way of bank drafts payable to "Columbia Valley Law Corporation in Trust" delivered to the Vendor's Solicitor at the address set out above.
7. The Deposit shall be applied against the Purchase Price.
8. No interest on the Deposit shall be paid or is payable to the Purchaser.
9. In the event that the Purchaser fails to pay the Deposit as required by this Agreement, the Vendor may, at the Vendor's option, terminate this Agreement.
10. The Deposit shall be returned to the Purchaser:
  - a. if a condition-precedent contained in this Agreement is not removed, waived, or declared fulfilled; or
  - b. if the Vendor fails to complete the transaction on the Completion Date in full satisfaction of any claims the Purchaser may have against the Vendor at law or in equity.
11. If the Purchaser fails to complete the transaction in accordance with the terms of this Agreement, then the Deposit will be forfeited to the Vendor without prejudice to any other remedies the Vendor may have against the Purchaser at law or in equity.

Schedules:

12. Schedules A, B, and C attached hereto form an integral part of this Agreement and all terms and conditions of Schedules A, B, and C are incorporated into and form part of this Agreement. The Purchaser acknowledges that the Purchaser has read all the paragraphs and Schedules of this Agreement.
13. On submission of this Agreement to the Vendor, the Purchaser shall deliver to the Vendor a duly executed copy of the acknowledgment of disclosure statement receipt attached as Schedule B.

Acceptance:

14. **This offer will be open for acceptance up to 5:00 p.m. Mountain Time on \_\_\_\_\_, 202\_\_ (the "Acceptance Date") unless withdrawn in writing with notification to the other party of such revocation prior to notification of its acceptance.**



SCHEDULE A  
ADDITIONAL TERMS AND CONDITIONS

1. Completion Date:

- a. The Purchaser acknowledges and accepts that the Vendor shall give the Purchaser not less than twenty-one days written notice (the "Notice"), specifying the date that will be the Completion Date (the "Completion Date") and the Notice will be deemed to fix the Completion Date subject to any extensions as provided for in this Agreement.
- b. The balance of the Purchase Price shall be paid on the Completion Date.
- c. If the Completion Date has not occurred within 2 years of the date of this Agreement, then the Purchaser may elect to terminate this Agreement and the Deposit will be refunded to the Purchaser in full satisfaction of any claims the Purchaser may have against the Vendor at law or in equity.
- d. The Purchaser is purchasing a strata lot yet to be completed. The Purchaser acknowledges and accepts that construction and other delays may affect the date on which the Strata Lot is completed. The Strata Lot may be occupied when the District of Invermere has given written permission to occupy the Strata Lot ("Permission to Occupy"). Permission to Occupy refers to the Strata Lot only and not to any other strata lot or the common property within the development known as Pinetree Valley Development - Pinetree Meadows (the "Development").
- e. If Permission to Occupy has not been received prior to the Completion Date, then the Vendor may delay the Completion Date from time to time as required by the Vendor until Permission to Occupy has been received. The Vendor shall give notice of such delay not less than 5 business days before the Completion Date.
- f. If the Purchaser wishes to extend the Completion Date, then the Purchaser may apply to the Vendor to do so. The Vendor may arbitrarily withhold its consent to any extension of the Completion Date.

2. Possession: The Purchaser shall have vacant possession of the Strata Lot at 12:00 p.m. Mountain Time on the day following the Completion Date.

3. Lien Holdback:

- a. That portion, if any, of the Purchase Price required by the *Builders Lien Act* of British Columbia or the *Strata Property Act* of British Columbia to be held back by the

Purchaser in respect of potential builders' lien claims (the "Lien Holdback") shall be held by the Purchaser's solicitor or notary in trust.

- b. The Purchaser warrants that the Purchaser will direct the Purchaser's solicitor or notary to pay to the Vendor's solicitor, on the 56<sup>th</sup> day after Permission to Occupy the Strata Lot has been issued, the Lien Holdback less any amount representing builders' lien claims, if applicable, registered against title to the Strata Lot.
- c. If the Lien Holdback is not released to the Vendor on the 56<sup>th</sup> day after Permission to Occupy the Strata Lot has been issued, then the Purchaser shall pay the Vendor interest on the Lien Holdback, less any amount representing builders' lien claims filed against the Strata Lot, if applicable, in the amount of 30% per annum compounded monthly until the Lien Holdback, less any amount representing builders' lien claims filed against the Strata Lot, if applicable, has been delivered to the Vendor.
- d. The Purchaser or the Purchaser's solicitor or notary public is solely responsible to notify the Vendor's Solicitor in writing of any builders lien claims filed against the Strata Lot by 1:00 p.m. Mountain Time on the 56<sup>th</sup> day after permission to occupy the Strata Lot has been issued.
- e. The Purchaser hereby authorizes the Vendor and the Vendor's Solicitor to do all things necessary to discharge any builders' liens, including bringing court proceedings in the name of the Purchaser, provided that any such proceedings will be solely at the expense of the Vendor.

4. Title: On the Completion Date, the Vendor shall:

- a. provide title to the Strata Lot to the Purchaser, subject to the exceptions listed in section 23(2) of the *Land Title Act*, free and clear of all registered liens, mortgages, charges and encumbrances of any nature whatsoever save and except:
  - i. the existing encumbrances and legal notations set out in section 4.3 of the Disclosure Statement;
  - ii. the proposed encumbrances set out in section 4.4 of the Disclosure Statement; and
  - iii. any other easements, rights-of-way, and any development covenants or agreements in favour of utilities, public authorities and other parties as required by them;

(the "Permitted Encumbrances")

and on or before the Completion Date, the Vendor will have taken whatever steps are necessary to obtain or make arrangements for any release or discharge of all liens, mortgages, charges and encumbrances (the "Charges") save and except the Permitted Encumbrances registered against title to the Strata Lot. The Vendor shall bear all costs of providing clear title to the Strata Lot as set out in this paragraph.

- b. The Purchaser acknowledges and agrees that the Vendor may be using the purchase monies received from the Purchaser to obtain a partial discharge of the Charges from the Strata Lot. The Purchaser's solicitor or notary public shall pay the balance of the adjusted Purchase Price on the Completion Date to the Vendor's Solicitor in trust on their undertaking to pay sufficient funds to the holders of the Charges to legally oblige such Charge holders to discharge their Charge from title to the Strata Lot.

5. Purchaser Financing

- a. If the Purchaser is relying upon a new mortgage to finance the Purchase Price, then the Purchaser, while still required to pay the balance of the adjusted Purchase Price on the Completion Date, may wait to pay same until after the transfer and new mortgage documents have been lodged for registration at the applicable Land Title Office but only if before such lodging against title to the Strata Lot, the Purchaser has:
  - i. deposited in trust with its solicitor or notary public the cash balance of the Purchase Price not being financed by the mortgage;
  - ii. fulfilled all the new mortgagee's conditions for funding except lodging for registration; and
  - iii. made available to the Vendor's Solicitor a lawyer's or notary public's undertaking to pay on the Completion Date the balance of the adjusted Purchase Price upon the lodging of the transfer and the new mortgage documents and the advance by the new mortgagee of the mortgage proceeds.

6. No Set-off. Except as expressly set forth in this Agreement or as otherwise mutually agreed to in writing by the Purchaser and the Vendor, the Purchaser's obligation to make the payments provided for in this Agreement shall not be affected by any circumstances including, without limitation, any set-off, counterclaim, recoupment, defense or other right which the Purchaser may have against the Vendor.

7. Adjustments, Costs, and GST/PST:
- a. The Purchase Price does not include federal Goods and Services Tax (“GST”) and other applicable taxes. The Purchaser shall assume and pay where applicable all real property taxes, GST, and Provincial Sales Tax (“PST”), on the value of the Strata Lot, and Property Transfer Tax, rates, local improvement assessments and other charges levied against the Strata Lot, strata fees, if any, and all adjustments both incoming and outgoing of whatsoever nature made as of the Completion Date.
  - b. The Purchaser shall pay to the Vendor on the Completion Date the amount of the GST due on the value of the Strata Lot and the Vendor shall be responsible for remitting the appropriate amount of tax.
  - c. The Strata Lot includes the Appliances. The Purchaser agrees that GST and PST is payable on the Appliances by the Purchaser. On the Completion Date, the Purchaser shall pay to the Vendor the amount of the GST and PST due on the value of the Appliances, and the Vendor shall be responsible for remitting the appropriate amount of tax.
8. Strata Lot Plans: The Purchaser acknowledges that the Purchaser is purchasing the Strata Lot as shown on the proposed form of strata plan attached as **Exhibit B4** to the Disclosure Statement, and the proposed architectural designs attached as **Exhibit C4** to the Disclosure Statement. The Vendor will construct the Strata Lot substantially in accordance with such plans and architectural designs, however the Vendor may make modifications to the features and design of the Development and to the Strata Lot as are reasonable in the opinion of the Vendor, and may use materials other than as prescribed in the plans, all without compensation to the Purchaser.
9. Variation in Square Footage: The square footage area of the Strata Lot may vary from that set out in the proposed strata plan by 5% without compensation to the Purchaser. If the Strata Lot varies by more than 5% to the disadvantage of the Purchaser, then the Vendor agrees to reduce the price of the Strata Lot by a percentage which is equal to the percentage by which the area of the Strata Lot as shown on the registered strata plan exceeds 5% less than as shown in **Exhibit B4** to the Disclosure Statement. For greater clarity, there will be no adjustment made in respect of the first 5% of square footage variance, but only in respect of that portion of the strata lot which varies to the disadvantage of the Purchaser by more than 5%.
10. Municipal Services: The Purchaser acknowledges that the Development, including the Strata Lot, may include service facilities and equipment required by municipal authorities and any other authority having jurisdiction over the Development, such as transformers, fire hydrants, vents, ducts, fans and other such facilities and equipment. These service facilities will be located within the Development and the Strata Lot as required by municipal



authorities and any other government authorities having jurisdiction. The Purchaser acknowledges the current plans for the Development and the Strata Lot may not indicate the location of all such service facilities and the Vendor reserves the right to amend all or a portion of the service facilities as is deemed necessary by the Vendor, without compensation to the Purchaser.

11. Inspection:

- a. The Vendor and the Purchaser, or their designated representatives, may make an inspection of the Strata Lot for deficiencies. The Strata Lot shall be inspected at a reasonable time designated by the Vendor prior to the Completion Date.
- b. At the conclusion of such inspection, a list of any defects or deficiencies shall be prepared including the dates by which corrections are to occur (the "Deficiency List"). The Vendor and the Purchaser shall sign the Deficiency List and the Purchaser shall be deemed to have accepted the physical condition of the Strata Lot subject only to the listed deficiencies.
- c. The Purchaser hereby acknowledges and agrees that neither the Purchaser nor its representative for inspection, other representatives, agents or assigns shall be allowed access to the Strata Lot except for the purposes of this inspection prior to the Completion Date, except with the express written authorization of the Vendor.
- d. If the Purchaser and the Vendor cannot agree on any matter whatsoever relating to a deficiency, the decision of the architect for the Development will be final and binding upon the parties, and no appeal will lie to any court in respect of such alleged deficiency.

12. Transaction Documents:

- a. The Purchaser shall prepare a Form A Transfer, a Statement of Adjustments without any notes to the Statement of Adjustments, and other documents reasonably required by the Vendor's Solicitor (the "Closing Documents") and deliver them to the Vendor at least five days prior to the Completion Date. No other documents will be accepted by the Vendor.
- b. Where property taxes for the Strata Lot are based on an estimated amount, the Vendor and the Purchaser shall make any further adjustments necessary upon receipt of the current tax levy notice.
- c. The Purchaser shall bear all costs of preparation and registration of the Closing Documents and delivery of the purchase monies to the Vendor.

13. No Interest in Land: Neither this Agreement nor any interest in the Strata Lot created hereunder shall be registered in the applicable Land Title Office except for the Form A transfer of the Strata Lot on the Completion Date. This Agreement creates contractual rights only between the Vendor and the Purchaser and not an interest in land.
14. Civic Address: The civic address and strata lot numbers relating to the Strata Lot are subject to change at the discretion of the Vendor without compensation to the Purchaser. If the Strata Lot numbering varies from that set out in **Exhibit B4** to the Disclosure Statement, then the Purchaser agrees that the Vendor may amend this Agreement to indicate the correct Strata Lot number.
15. Time of the Essence: Time will be of the essence hereof and unless the balance of the Purchase Price and all applicable taxes and adjustments are paid on or before the Completion Date, the Vendor may at the Vendor's option terminate this Agreement, and in such event the Deposit will be absolutely forfeited to the Vendor, without prejudice to any other remedies the Vendor may have against the Purchaser at law or in equity.
16. Risk: The Strata Lot will be at the risk of the Vendor until the Completion Date and thereafter at the risk of the Purchaser.
17. Assignment:
  - a. The Purchaser shall not directly or indirectly assign its rights under this Agreement without the prior consent of the Vendor, which consent may be withheld at the absolute discretion of the Vendor.
  - b. Without the Vendor's prior consent, any assignment of this purchase agreement is prohibited.
  - c. An assignment under the *Real Estate Development Marketing Act* is a transfer of some or all of the rights, obligations and benefits under a purchase agreement made in respect of a strata lot in a development property, whether the transfer is made by the purchaser under the purchase agreement to another person or is a subsequent transfer.
  - d. Each proposed party to an assignment agreement must provide the developer with the information and records required under the *Real Estate Development Marketing Act*.
  - e. Before the developer consents to an assignment of a purchase agreement, the developer will be required to collect information and records under the *Real Estate Development Marketing Act* from each proposed party to an assignment agreement, including personal information, respecting the following:
    - i. the party's identity;

- ii. the party's contact and business information;
  - iii. the terms of the assignment agreement.
- f. Information and records collected by the developer must be reported by the developer to the administrator designated under the *Property Transfer Tax Act*. The information and records may only be used or disclosed for tax purposes and other purposes authorized by section 20.5 of the *Real Estate Development Marketing Act*, which includes disclosure to the Canada Revenue Agency.
- g. The Vendor will not disclose the assignment information to any party without the written consent of the Assignor and the Assignee, except as prescribed by section 20.5 of the *Real Estate Development and Marketing Act*, namely:
- i. for the purposes of administering or enforcing *the Real Estate Development Marketing Act*, a taxation Act, the *Home Owner Grant Act*, or the *Land Deferment Act*,
  - ii. in court proceedings related to the Acts referred to in subparagraph (i);
  - iii. under an agreement that: is between the government and another government, relates to the administration or enforcement of tax enactments, and provides for the disclosure of information and records to and the exchange of similar information and records with that other government;
  - iv. for the purpose of the compilation of statistical information by the government or the government of Canada; or
  - v. to the British Columbia Assessment Authority.
- h. After the Vendor consents to any assignment of the Purchaser's rights under this Agreement, the Vendor will be required to:
- i. collect a copy of the written and fully executed assignment agreement and keep that copy for 6 years following the date on which the strata plan is deposited;
  - ii. file with the administrator designated by the *Property Transfer Tax Act* (the "Administrator") all of the assignment information; and
  - iii. file any additional information or records requested by the Administrator in order to verify the assignment information; and

the Assignor and Assignee agree that they will provide and deliver any such materials to the Vendor upon its written request.

18. No Resale Prior to Completion: The Purchaser shall not advertise or offer the Strata Lot for sale, nor enter into any agreement for the sale of the Strata Lot prior to the date that is 1 year after the Completion Date without the express written consent of the Vendor, which consent may be arbitrarily withheld by the Vendor.
19. Tender: Tender or payment of monies under this Agreement shall be by bank draft or by solicitor's or notary's trust cheque unless otherwise agreed to in writing by the parties.
20. Notices: Any notice, document or communication required or permitted to be given under this Agreement shall be in writing and either delivered by hand, transmitted by facsimile or electronic mail, or sent by registered mail to the Vendor or the Vendor's Solicitor or to the Purchaser or the Purchaser's Solicitor as the case may be, at the above address. The time of giving such notice, document, or communication will be, if personally delivered, when delivered, if sent by facsimile or by electronic mail then on the day of transmission, and if mailed, then on the date recorded as the date of delivery by the postal service.
21. Voting on Certain Resolutions: The Purchaser agrees with the Vendor to vote in favour of any resolutions requested by the Vendor to be placed on an agenda for a special or annual general meeting including, but not limited to, those that deal with amendments to the Form P - Declaration of Phased Strata Plan in respect of the order of the phases, the number of strata lots in each phase, construction schedules, unit entitlement of the strata lots, and the phase boundaries. The Purchaser further agrees, if requested by the Vendor, to deliver to the Vendor in advance of such meeting its written proxy so the Vendor may exercise such votes on the Purchaser's behalf. In the absence of such a proxy, the Vendor may present this Agreement to the meeting as evidence of the Purchaser's proxy in favour of the Vendor and the Vendor's unfettered discretion to exercise the Purchaser's proxy on these matters.
22. Number and Gender: All words in this Agreement may be read and construed in the singular or plural, masculine or feminine, or body corporate, as the context requires. Where there is more than one Purchaser, the obligations of the Purchaser will be construed as joint and several obligations.
23. Binding Effect: This Agreement will enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and permitted assigns. All covenants and agreements herein will survive the Completion Date and not merge.
24. Entire Agreement:
  - a. This Agreement is the entire agreement between the parties with respect to the purchase and sale of the Strata Lot and there are no other representations, warranties conditions or collateral agreements, express or implied, whether made by the Vendor, any agent, employee or representative of the Vendor or any other person including, without limitation, anything arising out of any marketing material

including sales brochures, models, representative view sets, show room displays, photographs, illustrations, renderings, revenue projections or pro-forms provided to the Purchaser other than those contained in this Agreement or in the Disclosure Statement and any amendments to the Disclosure Statement.

- b. This Agreement may not be altered or amended except by an amendment in writing signed by both parties. The Purchaser hereby waives the right of the Purchaser to pursue any action in negligent misrepresentation or collateral contract against the Vendor arising from any marketing activity of the Vendor as set out above.

25. Privacy Consent:

- a. The Purchaser consents to the collection, use and disclosure of personal information contained in this Agreement and otherwise as collected by or on behalf of the Vendor and its agents, affiliates, and service providers for the following purposes:
  - i. to complete the transaction contemplated by this Agreement;
  - ii. to engage in business transactions included in securing financing for the construction of the development;
  - iii. to provide ongoing products and services to the Purchasers;
  - iv. to market, sell, provide and inform the Purchasers of the Vendor's products and services, including information about future projects;
  - v. as required by law; and
  - vi. for additional purposes identified when or before the information is collected.
- b. The Purchaser consents to the collection, use, and disclosure of the information to agents, contractors, and service providers of the Vendor and its affiliates in connection with the above purposes. Subject to legal and contractual requirements, the Purchaser may refuse or withdraw consent to for the collection, use, and disclosure of for the purposes of subsections 25(a)(iii) and 25(a)(iv) at any time by contacting the Vendor at the address set out above.

26. Major Delays: If the Purchaser or Vendor are unable to perform any of their obligations under this Agreement by reason of major events outside the parties' control, including but not limited to, strikes, riots, equipment failure, natural disaster, war, pandemic, government shutdown, civil unrest, et cetera, then the parties shall be relieved from their obligations during the delay and the parties shall complete their obligations within a reasonable period after the delay.

27. Governing Law: It is expressly agreed between the Vendor and the Purchaser that this Agreement and each and every part thereof will be governed and construed in accordance with the laws of the Province of British Columbia.
28. Waiver: A waiver by either party of the strict performance by the other of any provision of this agreement will not constitute waiver of any subsequent breach of such provision or any other provision of this agreement.
29. Rescission Rights if Building Permit not Yet Issued: If the Purchaser has received a Disclosure Statement for a strata lot that states that a building permit for the strata lot has not yet been issued, then the Purchaser and Vendor agree that:
- a. the purchaser may cancel the purchase agreement for a period of seven days after receipt of an amendment to the disclosure statement that sets out particulars of the issued building permit if the layout or size of the applicable development unit, the construction of a major common facility, including a recreation centre or clubhouse, or the general layout of the development, is materially changed by the issuance of the building permit;
  - b. if an amendment to the disclosure statement that sets out particulars of an issued building permit is not received by the purchaser within 12 months after the initial disclosure statement was filed, the purchaser may at his or her option cancel the purchase agreement at any time after the end of that 12- month period until the required amendment is received by the purchaser, at which time the purchaser may cancel the purchase agreement for a period of seven days after receipt of that amendment only if the layout or size of the applicable development unit, the construction of a major common facility, including a recreation centre or clubhouse, or the general layout of the development, is materially changed by the issuance of the building permit;
  - c. the amount of the deposit to be paid by a purchaser who has not yet received an amendment to the disclosure statement that sets out particulars of an issued building permit is no more than 10% of the purchase price; and
  - d. all deposits paid by a purchaser, including interest earned if applicable, will be returned promptly to the purchaser upon notice of cancellation from the purchaser.
30. Ongoing Development: The Purchaser acknowledges and accepts that the Strata Lot is part of an ongoing phased development and that further units will be constructed adjacent to the Strata Lot, with attendant construction noise, dust, dirt tracks on roadways, and coming and going of vehicular traffic associated with the construction of the Development. The Purchaser also acknowledges and accepts that construction of the strata common facilities, such as the roadways, will be ongoing throughout the course of the construction of the

Development, with attendant construction noise, dust, temporary roadway closures or detours, and the coming and going of vehicular traffic associated with the construction of the strata common facilities. The Purchaser hereby waives all claims it may have now or in the future against the Vendor, and its successors and assigns relating to the ongoing development and the inconveniences attendant to it.

31. Legal Advice: The parties acknowledge that Columbia Valley Law Corporation prepared this Agreement and represents the Vendor only. The Purchaser is recommended to obtain independent legal advice on this Agreement.
32. Construction of Agreement: This Agreement shall be construed as though the parties participated equally in drafting it. Any rule of construction that a document be construed against the drafting party, including the *contra proferentem* doctrine, shall not apply to the construction of this Agreement.
33. Execution: This Agreement may be executed and delivered electronically and in counterpart.

Schedule B

Acknowledgment of Disclosure Statement Receipt

1. The Purchaser consents to receiving a copy of the disclosure statement for the development, Pinetree Valley Development - Pinetree Meadows, and all amendments to it by electronic means.
2. If the Acceptance Date for the Agreement is before to March 15, 2024, then the Purchaser hereby acknowledges receiving and having a reasonable opportunity to read, prior to the execution of this Agreement:
  - a. the Disclosure Statement dated June 30, 2022;
  - b. the First Amendment to Disclosure Statement dated July 09, 2022;
  - c. the Second Amendment to Disclosure Statement dated June 30, 2023;
  - d. the Third Amendment to Disclosure Statement dated October 25, 2023; and
  - e. the Fourth Amendment to the Disclosure Statement dated March 15, 2024;(the "Disclosure Statement").
3. If the Acceptance Date for the Agreement is after March 15, 2024, then the Purchaser hereby acknowledges receiving and having a reasonable opportunity to read, prior to the execution of this Agreement either the Consolidated Disclosure Statement dated March 15, 2024, or the Disclosure Statement as defined herein.
4. The execution of this Acknowledgment of Disclosure Statement Receipt shall constitute a receipt by the Purchaser in respect of the Disclosure Statement and the Consolidated Disclosure Statement.
5. The Disclosure Statement relates to a development property that is not yet completed. The Purchase acknowledges that the information in section 7.2 of the Disclosure Statement regarding this Agreement has been drawn to the attention of the Purchaser.

Dated: \_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Print Purchaser's name:

\_\_\_\_\_  
Print Purchaser's name:







**PINETREE VALLEY DEVELOPMENT - PINETREE MEADOWS  
OFFER TO PURCHASE AND AGREEMENT OF SALE  
POST-TITLES**

Date of Offer:       \_\_ day of \_\_\_\_\_, 202\_\_.

Vendor:               1345408 B.C. LTD.

Vendor's Solicitor:   Columbia Valley Law Corporation  
Box 639, 1309 – 7<sup>th</sup> Avenue, Invermere, BC V0A 1K0  
[reception@columbialegal.ca](mailto:reception@columbialegal.ca)

Purchaser:

\_\_\_\_\_  
Name(s) and Occupation(s)

\_\_\_\_\_  
Mailing Address(es)

\_\_\_\_\_  
Telephone Number(s)

\_\_\_\_\_  
Email Address(es)

Purchaser's Solicitor:

\_\_\_\_\_

FOR VALUABLE CONSIDERATION, THE PARTIES AGREE AS FOLLOWS:

Property:

1. The Purchaser hereby offers to purchase from the Vendor on the terms and conditions contained in this Agreement, including those terms and conditions set forth in any Schedule to this Agreement, the following property:

a. A strata lot located within the development known as Pinetree Valley Development - Pinetree Meadows (the "Development") and legally described as:

STRATA LOT \_\_\_\_ DISTRICT LOT 1092 KOOTENAY DISTRICT STRATA PLAN EPS8541 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V; and

b. The following: range, fridge, dishwasher, washer, and dryer (the "Appliances")  
  
(collectively, the "Strata Lot").

Purchase Price:

2. The Purchase Price for the Strata Lot is \$\_\_\_\_\_ (the "Purchase Price"). The Purchase Price does not include Goods and Services Tax and other applicable taxes.

3. The portion of the Purchase Price allocated to the Appliances is \$\_\_\_\_\_.

Deposit:

4. The Purchaser shall pay an initial deposit of \$\_\_\_\_\_ (the "Initial Deposit") upon submission of this Agreement to the Vendor. The Initial Deposit shall be fully refundable to the Purchaser if this Agreement is not executed by the Vendor and delivered to the Purchaser on or before the Acceptance Date set out herein.

5. The Purchaser shall pay a second deposit in the amount of \$\_\_\_\_\_ (the "Second Deposit"). The Initial Deposit plus the Second Deposit shall not exceed 10% of the Purchase Price. The Purchaser shall pay the Second Deposit on the date that is the later of:

a. the date that the Purchaser removes the last condition-precedent contained in this Agreement (if any); and

b. within 5 business days after the execution of this Agreement.

6. The Purchaser shall pay the Initial Deposit and the Second Deposit (collectively, the "Deposit") by way of bank drafts payable to "Columbia Valley Law Corporation in Trust" delivered to the Vendor's Solicitor at the address set out above.
7. The Deposit shall be applied against the Purchase Price.
8. No interest on the Deposit shall be paid or is payable to the Purchaser.
9. In the event that the Purchaser fails to pay the Deposit as required by this Agreement, the Vendor may, at the Vendor's option, terminate this Agreement.
10. The Deposit shall be returned to the Purchaser:
  - a. if a condition-precedent contained in this Agreement is not removed, waived, or declared fulfilled; or
  - b. if the Vendor fails to complete the transaction on the Completion Date in full satisfaction of any claims the Purchaser may have against the Vendor at law or in equity.
11. If the Purchaser fails to complete the transaction in accordance with the terms of this Agreement, then the Deposit will be forfeited to the Vendor without prejudice to any other remedies the Vendor may have against the Purchaser at law or in equity.

Schedules:

12. Schedules A, B, and C attached hereto form an integral part of this Agreement and all terms and conditions of Schedules A, B, and C are incorporated into and form part of this Agreement. The Purchaser acknowledges that the Purchaser has read all paragraphs and schedules of this Agreement.
13. On submission of this Agreement to the Vendor, the Purchaser shall deliver to the Vendor a duly executed copy of the acknowledgment of disclosure statement receipt attached as Schedule B.

Acceptance:

14. **This offer will be open for acceptance up to 5:00 p.m. Mountain Time on \_\_\_\_\_, 202\_\_ (the "Acceptance Date") unless withdrawn in writing with notification to the other party of such revocation prior to notification of its acceptance.**

15. Upon acceptance by the Vendor by signing a copy of this Agreement, there will be a binding Agreement of Purchase and Sale on the terms and conditions herein set forth.

DATED at \_\_\_\_\_ this \_\_\_ day of \_\_\_\_\_ 202\_\_.  
[location]

\_\_\_\_\_  
Purchaser:

\_\_\_\_\_  
Witness:

\_\_\_\_\_  
Purchaser:

\_\_\_\_\_  
Witness:

This Offer is ACCEPTED by the Vendor this \_\_\_ day of \_\_\_\_\_ 202\_\_.

1345408 B.C. LTD.

Per: \_\_\_\_\_  
Authorized signatory

\_\_\_\_\_  
Witness:

SCHEDULE A  
ADDITIONAL TERMS AND CONDITIONS

1. Completion Date:

- a. The purchase and sale of the Strata Lot shall complete on \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_ (the "Completion Date").
- b. Completion shall occur as follows:
  - i. the Purchaser's lawyer shall prepare the conveyance documents and send them to the Vendor's lawyer;
  - ii. the Vendor's lawyer shall return the duly executed conveyance documents to the Purchaser's lawyer before the Completion Date on undertakings agreed to between the parties' lawyers; and
  - iii. if the parties' lawyers cannot agree on undertakings, then the standard CBA BC real estate undertakings shall be used.
- c. The Purchaser acknowledges and accepts that construction and other delays may affect the date on which the Strata Lot is completed. The Strata Lot may be occupied when the District of Invermere has given written permission to occupy the Strata Lot ("Permission to Occupy"). Permission to Occupy refers to the Strata Lot only and not to any other strata lot or the common property within the Development.
- d. If Permission to Occupy has not been received prior to the Completion Date, then the Vendor may delay the Completion Date from time to time as required by the Vendor until Permission to Occupy has been received. The Vendor shall give notice of such delay not less than 5 business days before the Completion Date.
- e. If the Vendor is delayed in:
  - i. completing the servicing of the Development; or
  - ii. performing any other obligation under this Agreement by reason of unforeseen circumstance including earthquake, fire, explosion, accident, action or inaction of any government authority, strike, lockout, inability to obtain or delay in obtaining any labour, materials or equipment, flood, act of god, delay or failure by carriers or contractors, climate conditions; or
  - iii. by any other reason or circumstance beyond the exclusive control of the Vendor;

then the time within which the Vendor must do anything contained herein, and the Completion Date established in accordance with section 1 of this Agreement, will be

extended by the period equivalent of such delay as set out in written notice from the Vendor to the Purchaser, which notice will include the new extended Completion Date. For greater certainty, delays in connection with public health declarations, government agency slowdown or closures, and similar events are deemed to be circumstances beyond the exclusive control of the Vendor.

- f. If the Purchaser wishes to extend the Completion Date, then the Purchaser may apply to the Vendor to do so. The Vendor may arbitrarily withhold its consent to any extension of the Completion Date.

2. Possession: The Purchaser shall have vacant possession of the Strata Lot at 12:00 p.m. Mountain Time on the day following the Completion Date.

3. Lien Holdback:

- a. That portion, if any, of the Purchase Price required by the *Builders Lien Act* of British Columbia or the *Strata Property Act* of British Columbia to be held back by the Purchaser in respect of potential builders' lien claims (the "Lien Holdback") shall be held by the Purchaser's solicitor or notary in trust.
- b. The Purchaser warrants that the Purchaser will direct the Purchaser's solicitor or notary to pay to the Vendor's solicitor, on the 56<sup>th</sup> day after Permission to Occupy the Strata Lot has been issued, the Lien Holdback less any amount representing builders' lien claims, if applicable, registered against title to the Strata Lot.
- c. If the Lien Holdback is not released to the Vendor on the 56<sup>th</sup> day after Permission to Occupy the Strata Lot has been issued, then the Purchaser shall pay the Vendor interest on the Lien Holdback, less any amount representing builders' lien claims filed against the Strata Lot, if applicable, in the amount of 30% per annum compounded monthly until the Lien Holdback, less any amount representing builders' lien claims filed against the Strata Lot, if applicable, has been delivered to the Vendor.
- d. The Purchaser or the Purchaser's solicitor or notary public is solely responsible to notify the Vendor's Solicitor in writing of any builders lien claims filed against the Strata Lot by 1:00 p.m. Mountain Time on the 56<sup>th</sup> day after permission to occupy the Strata Lot has been issued.
- e. The Purchaser hereby authorizes the Vendor and the Vendor's Solicitor to do all things necessary to discharge any builders' liens, including bringing court proceedings in the name of the Purchaser, provided that any such proceedings will be solely at the expense of the Vendor.



4. Title: On the Completion Date, the Vendor shall:

- a. provide title to the Strata Lot to the Purchaser, subject to the exceptions listed in section 23(2) of the *Land Title Act*, free and clear of all registered liens, mortgages, charges and encumbrances of any nature whatsoever save and except:
  - i. the existing encumbrances and legal notations set out in section 4.3 of the Disclosure Statement;
  - ii. the proposed encumbrances set out in section 4.4 of the Disclosure Statement; and
  - iii. any other easements, rights-of-way, and any development covenants or agreements in favour of utilities, public authorities and other parties as required by them;

(the "Permitted Encumbrances")

and on or before the Completion Date, the Vendor will have taken whatever steps are necessary to obtain or make arrangements for any release or discharge of all liens, mortgages, charges and encumbrances (the "Charges") save and except the Permitted Encumbrances registered against title to the Strata Lot. The Vendor shall bear all costs of providing clear title to the Strata Lot as set out in this paragraph.

- b. The Purchaser acknowledges and agrees that the Vendor may be using the purchase monies received from the Purchaser to obtain a partial discharge of the Charges from the Strata Lot. The Purchaser's solicitor or notary public shall pay the balance of the adjusted Purchase Price on the Completion Date to the Vendor's Solicitor in trust on their undertaking to pay sufficient funds to the holders of the Charges to legally oblige such Charge holders to discharge their Charge from title to the Strata Lot.

5. Purchaser Financing

- a. If the Purchaser is relying upon a new mortgage to finance the Purchase Price, then the Purchaser, while still required to pay the balance of the adjusted Purchase Price on the Completion Date, may wait to pay same until after the transfer and new mortgage documents have been lodged for registration at the applicable Land Title Office but only if before such lodging against title to the Strata Lot, the Purchaser has:
  - i. deposited in trust with its solicitor or notary public the cash balance of the Purchase Price not being financed by the mortgage;

- ii. fulfilled all the new mortgagee's conditions for funding except lodging for registration; and
  - iii. made available to the Vendor's Solicitor a lawyer's or notary public's undertaking to pay on the Completion Date the balance of the adjusted Purchase Price upon the lodging of the transfer and the new mortgage documents and the advance by the new mortgagee of the mortgage proceeds.
6. No Set-off: Except as expressly set forth in this Agreement or as otherwise mutually agreed to in writing by the Purchaser and the Vendor, the Purchaser's obligation to make the payments provided for in this Agreement shall not be affected by any circumstances including, without limitation, any set-off, counterclaim, recoupment, defense or other right which the Purchaser may have against the Vendor.
7. Adjustments, Costs, and GST/PST:
  - a. The Purchase Price does not include federal Goods and Services Tax ("GST") and other applicable taxes. The Purchaser shall assume and pay where applicable all real property taxes, GST, and Provincial Sales Tax ("PST"), on the value of the Strata Lot, and Property Transfer Tax, rates, local improvement assessments and other charges levied against the Strata Lot, strata fees, if any, and all adjustments both incoming and outgoing of whatsoever nature made as of the Completion Date.
  - b. The Purchaser shall pay to the Vendor on the Completion Date the amount of the GST due on the value of the Strata Lot and the Vendor shall be responsible for remitting the appropriate amount of tax.
  - c. The Strata Lot includes the Appliances. The Purchaser agrees that GST and PST is payable on the Appliances by the Purchaser. On the Completion Date, the Purchaser shall pay to the Vendor the amount of the GST and PST due on the value of the Appliances, and the Vendor shall be responsible for remitting the appropriate amount of tax.
8. Strata Lot Plans: The Purchaser acknowledges that the Purchaser is purchasing the Strata Lot as shown on the proposed form of strata plan attached as **Exhibit B4** to the Disclosure Statement, and the proposed architectural designs attached as **Exhibit C4** to the Disclosure Statement. The Vendor will construct the Strata Lot substantially in accordance with such plans and architectural designs, however the Vendor may make modifications to the features and design of the Development and to the Strata Lot as are reasonable in the opinion of the Vendor, and may use materials other than as prescribed in the plans, all without compensation to the Purchaser.

9. Variation in Square Footage: The square footage area of the Strata Lot may vary from that set out in the proposed strata plan by 5% without compensation to the Purchaser. If the Strata Lot varies by more than 5% to the disadvantage of the Purchaser, then the Vendor agrees to reduce the price of the Strata Lot by a percentage which is equal to the percentage by which the area of the Strata Lot as shown on the registered strata plan exceeds 5% less than as shown in **Exhibit B4** to the Disclosure Statement. For greater clarity, there will be no adjustment made in respect of the first 5% of square footage variance, but only in respect of that portion of the strata lot which varies to the disadvantage of the Purchaser by more than 5%.
  
10. Municipal Services: The Purchaser acknowledges that the Development, including the Strata Lot, may include service facilities and equipment required by municipal authorities and any other authority having jurisdiction over the Development, such as transformers, fire hydrants, vents, ducts, fans and other such facilities and equipment. These service facilities will be located within the Development and the Strata Lot as required by municipal authorities and any other government authorities having jurisdiction. The Purchaser acknowledges the current plans for the Development and the Strata Lot may not indicate the location of all such service facilities and the Vendor reserves the right to amend all or a portion of the service facilities as is deemed necessary by the Vendor, without compensation to the Purchaser.
  
11. Inspection:
  - a. The Vendor and the Purchaser, or their designated representatives, may make an inspection of the Strata Lot for deficiencies. The Strata Lot shall be inspected at a reasonable time designated by the Vendor prior to the Completion Date.
  
  - b. At the conclusion of such inspection, a list of any defects or deficiencies shall be prepared including the dates by which corrections are to occur (the "Deficiency List"). The Vendor and the Purchaser shall sign the Deficiency List and the Purchaser shall be deemed to have accepted the physical condition of the Strata Lot subject only to the listed deficiencies.
  
  - c. The Purchaser hereby acknowledges and agrees that neither the Purchaser nor its representative for inspection, other representatives, agents or assigns shall be allowed access to the Strata Lot except for the purposes of this inspection prior to the Completion Date, except with the express written authorization of the Vendor.
  
  - d. If the Purchaser and the Vendor cannot agree on any matter whatsoever relating to a deficiency, the decision of the architect for the Development will be final and binding upon the parties, and no appeal will lie to any court in respect of such alleged deficiency.

12. Transaction Documents:

- a. The Purchaser shall prepare a Form A Transfer, a Statement of Adjustments without any notes to the Statement of Adjustments, and other documents reasonably required by the Vendor's Solicitor (the "Closing Documents") and deliver them to the Vendor at least five days prior to the Completion Date. No other documents will be accepted by the Vendor.
- b. Where property taxes for the Strata Lot are based on an estimated amount, the Vendor and the Purchaser shall make any further adjustments necessary upon receipt of the current tax levy notice.
- c. The Purchaser shall bear all costs of preparation and registration of the Closing Documents and delivery of the purchase monies to the Vendor.

13. No Interest in Land: Neither this Agreement nor any interest in the Strata Lot created hereunder shall be registered in the applicable Land Title Office except for the Form A transfer of the Strata Lot on the Completion Date. This Agreement creates contractual rights only between the Vendor and the Purchaser and not an interest in land.

14. Civic Address: The civic address and strata lot numbers relating to the Strata Lot are subject to change at the discretion of the Vendor without compensation to the Purchaser. If the Strata Lot numbering varies from that set out in **Exhibit B4** to the Disclosure Statement, then the Purchaser agrees that the Vendor may amend this Agreement to indicate the correct Strata Lot number.

15. Time of the Essence: Time will be of the essence hereof and unless the balance of the Purchase Price and all applicable taxes and adjustments are paid on or before the Completion Date, the Vendor may at the Vendor's option terminate this Agreement, and in such event the Deposit will be absolutely forfeited to the Vendor, without prejudice to any other remedies the Vendor may have against the Purchaser at law or in equity.

16. Risk: The Strata Lot will be at the risk of the Vendor until the Completion Date and thereafter at the risk of the Purchaser.

17. Assignment:

- a. The Purchaser shall not directly or indirectly assign its rights under this Agreement without the prior consent of the Vendor, which consent may be withheld at the absolute discretion of the Vendor.
- b. Without the Vendor's prior consent, any assignment of this purchase agreement is prohibited.

- c. An assignment under the *Real Estate Development Marketing Act* is a transfer of some or all of the rights, obligations and benefits under a purchase agreement made in respect of a strata lot in a development property, whether the transfer is made by the purchaser under the purchase agreement to another person or is a subsequent transfer.
- d. Each proposed party to an assignment agreement must provide the developer with the information and records required under the *Real Estate Development Marketing Act*.
- e. Before the developer consents to an assignment of a purchase agreement, the developer will be required to collect information and records under the *Real Estate Development Marketing Act* from each proposed party to an assignment agreement, including personal information, respecting the following:
  - i. the party's identity;
  - ii. the party's contact and business information;
  - iii. the terms of the assignment agreement.
- f. Information and records collected by the developer must be reported by the developer to the administrator designated under the *Property Transfer Tax Act*. The information and records may only be used or disclosed for tax purposes and other purposes authorized by section 20.5 of the *Real Estate Development Marketing Act*, which includes disclosure to the Canada Revenue Agency.
- g. The Vendor will not disclose the assignment information to any party without the written consent of the Assignor and the Assignee, except as prescribed by section 20.5 of the *Real Estate Development and Marketing Act*, namely:
  - i. for the purposes of administering or enforcing *the Real Estate Development Marketing Act*, a taxation Act, the *Home Owner Grant Act*, or the *Land Deferment Act*;
  - ii. in court proceedings related to the Acts referred to in subparagraph (i);
  - iii. under an agreement that: is between the government and another government, relates to the administration or enforcement of tax enactments, and provides for the disclosure of information and records to and the exchange of similar information and records with that other government;
  - iv. for the purpose of the compilation of statistical information by the government or the government of Canada; or

- v. to the British Columbia Assessment Authority.
- h. After the Vendor consents to any assignment of the Purchaser's rights under this Agreement, the Vendor will be required to:
  - i. collect a copy of the written and fully executed assignment agreement and keep that copy for 6 years following the date on which the strata plan is deposited;
  - ii. file with the administrator designated by the *Property Transfer Tax Act* (the "Administrator") all of the assignment information; and
  - iii. file any additional information or records requested by the Administrator in order to verify the assignment information; and

the Assignor and Assignee agree that they will provide and deliver any such materials to the Vendor upon its written request.

- 18. No Resale Prior to Completion: The Purchaser shall not advertise or offer the Strata Lot for sale, nor enter into any agreement for the sale of the Strata Lot prior to the date that is 1 year after the Completion Date without the express written consent of the Vendor, which consent may be arbitrarily withheld by the Vendor.
- 19. Tender: Tender or payment of monies under this Agreement shall be by bank draft or by solicitor's or notary's trust cheque unless otherwise agreed to in writing by the parties.
- 20. Notices: Any notice, document or communication required or permitted to be given under this Agreement shall be in writing and either delivered by hand, transmitted by facsimile or electronic mail, or sent by registered mail to the Vendor or the Vendor's Solicitor or to the Purchaser or the Purchaser's Solicitor as the case may be, at the above address. The time of giving such notice, document, or communication will be, if personally delivered, when delivered, if sent by facsimile or by electronic mail then on the day of transmission, and if mailed, then on the date recorded as the date of delivery by the postal service.
- 21. Voting on Certain Resolutions: The Purchaser agrees with the Vendor to vote in favour of any resolutions requested by the Vendor to be placed on an agenda for a special or annual general meeting including, but not limited to, those that deal with amendments to the Form P - Declaration of Phased Strata Plan in respect of the order of the phases, the number of strata lots in each phase, construction schedules, unit entitlement of the strata lots, and the phase boundaries. The Purchaser further agrees, if requested by the Vendor, to deliver to the Vendor in advance of such meeting its written proxy so the Vendor may exercise such votes on the Purchaser's behalf. In the absence of such a proxy, the Vendor may present this Agreement to the meeting as evidence of the Purchaser's proxy in favour of the Vendor and the Vendor's unfettered discretion to exercise the Purchaser's proxy on these matters.

22. Number and Gender: All words in this Agreement may be read and construed in the singular or plural, masculine or feminine, or body corporate, as the context requires. Where there is more than one Purchaser, the obligations of the Purchaser will be construed as joint and several obligations.
23. Binding Effect: This Agreement will enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and permitted assigns. All covenants and agreements herein will survive the Completion Date and not merge.
24. Entire Agreement:
- a. This Agreement is the entire agreement between the parties with respect to the purchase and sale of the Strata Lot and there are no other representations, warranties conditions or collateral agreements, express or implied, whether made by the Vendor, any agent, employee or representative of the Vendor or any other person including, without limitation, anything arising out of any marketing material including sales brochures, models, representative view sets, show room displays, photographs, illustrations, renderings, revenue projections or pro-forms provided to the Purchaser other than those contained in this Agreement or in the Disclosure Statement and any amendments to the Disclosure Statement.
  - b. This Agreement may not be altered or amended except by an amendment in writing signed by both parties. The Purchaser hereby waives the right of the Purchaser to pursue any action in negligent misrepresentation or collateral contract against the Vendor arising from any marketing activity of the Vendor as set out above.
25. Privacy Consent:
- a. The Purchaser consents to the collection, use and disclosure of personal information contained in this Agreement and otherwise as collected by or on behalf of the Vendor and its agents, affiliates, and service providers for the following purposes:
    - i. to complete the transaction contemplated by this Agreement;
    - ii. to engage in business transactions included in securing financing for the construction of the development;
    - iii. to provide ongoing products and services to the Purchasers;
    - iv. to market, sell, provide and inform the Purchasers of the Vendor's products and services, including information about future projects;
    - v. as required by law; and

- vi. for additional purposes identified when or before the information is collected.

The Purchaser consents to the collection, use, and disclosure of the information to agents, contractors, and service providers of the Vendor and its affiliates in connection with the above purposes. Subject to legal and contractual requirements, the Purchaser may refuse or withdraw consent to for the collection, use, and disclosure of for the purposes of subsections 25(a)(iii) and 25(a)(iv) at any time by contacting the Vendor at the address set out above.

- 26. Major Delays: If the Purchaser or Vendor are unable to perform any of their obligations under this Agreement by reason of major events outside the parties' control, including but not limited to, strikes, riots, equipment failure, natural disaster, war, pandemic, government shutdown, civil unrest, et cetera, then the parties shall be relieved from their obligations during the delay and the parties shall complete their obligations within a reasonable period after the delay.
- 27. Governing Law: It is expressly agreed between the Vendor and the Purchaser that this Agreement and each and every part thereof will be governed and construed in accordance with the laws of the Province of British Columbia.
- 28. Waiver: A waiver by either party of the strict performance by the other of any provision of this agreement will not constitute waiver of any subsequent breach of such provision or any other provision of this agreement.
- 29. Rescission Rights if Building Permit not Yet Issued: If the Purchaser has received a Disclosure Statement for a strata lot that states that a building permit for the strata lot has not yet been issued, then the Purchaser and Vendor agree that:
  - a. the purchaser may cancel the purchase agreement for a period of seven days after receipt of an amendment to the disclosure statement that sets out particulars of the issued building permit if the layout or size of the applicable development unit, the construction of a major common facility, including a recreation centre or clubhouse, or the general layout of the development, is materially changed by the issuance of the building permit;
  - b. if an amendment to the disclosure statement that sets out particulars of an issued building permit is not received by the purchaser within 12 months after the initial disclosure statement was filed, the purchaser may at his or her option cancel the purchase agreement at any time after the end of that 12- month period until the required amendment is received by the purchaser, at which time the purchaser may cancel the purchase agreement for a period of seven days after receipt of that amendment only if the layout or size of the applicable development unit, the



construction of a major common facility, including a recreation centre or clubhouse, or the general layout of the development, is materially changed by the issuance of the building permit;

- c. the amount of the deposit to be paid by a purchaser who has not yet received an amendment to the disclosure statement that sets out particulars of an issued building permit is no more than 10% of the purchase price; and
- d. all deposits paid by a purchaser, including interest earned if applicable, will be returned promptly to the purchaser upon notice of cancellation from the purchaser.

30. Ongoing Development: The Purchaser acknowledges and accepts that the Strata Lot is part of an ongoing phased development and that further units will be constructed adjacent to the Strata Lot, with attendant construction noise, dust, dirt tracks on roadways, and coming and going of vehicular traffic associated with the construction of the Development. The Purchaser also acknowledges and accepts that construction of the strata common facilities, such as the roadways, will be ongoing throughout the course of the construction of the Development, with attendant construction noise, dust, temporary roadway closures or detours, and the coming and going of vehicular traffic associated with the construction of the strata common facilities. The Purchaser hereby waives all claims it may have now or in the future against the Vendor, and its successors and assigns relating to the ongoing development and the inconveniences attendant to it.
31. Legal Advice: The parties acknowledge that Columbia Valley Law Corporation prepared this Agreement and represents the Vendor only. The Purchaser is recommended to obtain independent legal advice on this Agreement.
32. Construction of Agreement: This Agreement shall be construed as though the parties participated equally in drafting it. Any rule of construction that a document be construed against the drafting party, including the *contra proferentem* doctrine, shall not apply to the construction of this Agreement.
33. Execution: This Agreement may be executed and delivered electronically and in counterpart.

Schedule B

Acknowledgment of Disclosure Statement Receipt

1. The Purchaser consents to receiving a copy of the disclosure statement for the development, Pinetree Valley Development - Pinetree Meadows, and all amendments to it by electronic means.
2. If the Acceptance Date for the Agreement is before to March 15, 2024, then the Purchaser hereby acknowledges receiving and having a reasonable opportunity to read, prior to the execution of this Agreement:
  - a. the Disclosure Statement dated June 30, 2022;
  - b. the First Amendment to Disclosure Statement dated July 09, 2022;
  - c. the Second Amendment to Disclosure Statement dated June 30, 2023;
  - d. the Third Amendment to Disclosure Statement dated October 25, 2023; and
  - e. the Fourth Amendment to the Disclosure Statement dated March 15, 2024;(the "Disclosure Statement").
3. If the Acceptance Date for the Agreement is after March 15, 2024, then the Purchaser hereby acknowledges receiving and having a reasonable opportunity to read, prior to the execution of this Agreement either the Consolidated Disclosure Statement dated March 15, 2024, or the Disclosure Statement as defined herein.
4. The execution of this Acknowledgment of Disclosure Statement Receipt shall constitute a receipt by the Purchaser in respect of the Disclosure Statement and the Consolidated Disclosure Statement.
5. The Disclosure Statement relates to a development property that is not yet completed. The Purchase acknowledges that the information in section 7.2 of the Disclosure Statement regarding this Agreement has been drawn to the attention of the Purchaser.

Dated: \_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Print Purchaser's name:

\_\_\_\_\_  
Print Purchaser's name:





# Exhibit N

# East Kootenay Realty

STRATA & PROPERTY MANAGEMENT DIVISION

1210

## AGENCY AGREEMENT

THIS AGREEMENT dated for reference as of the 31 day of May, 2021, 2022

BETWEEN:

THE OWNERS, STRATA PLAN NES TBD  
a Strata Corporation constituted under the laws of British  
Columbia known as ~~Central & Watkins, Kimberley, B.C.~~  
Pine Tree Meadows, Invermere  
(hereinafter called the "Strata Corporation")

OF THE FIRST PART

AND:

EAST KOOTENAY REALTY LTD.,  
a company incorporated under the laws of the Province of British  
Columbia with offices at 290 Wallinger Avenue, Kimberley, B.C.,  
V1A 1Z1

(hereinafter called the "Agent")

OF THE SECOND PART

WHEREAS:

- A. The Strata Corporation is responsible for the control, management, maintenance and administration of the common property and common assets of the Strata Corporation and all personnel, operations, business and all things and activities comprising or associated with or carried on in the Strata Plan.
- B. The Agent has agreed to provide certain services to the Strata Corporation.

  
INITIALS



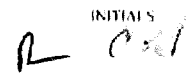
AGENT STRATA

- C. The Strata Corporation has agreed to contract with the Agent for the purposes of providing services described herein.

WITNESS THEREFORE that in consideration of the sum of Ten (\$10.00) Dollars now paid by each party to the other (the receipt and sufficiency whereof is by each hereby acknowledged) and in consideration of the mutual promises contained herein, the parties agree, one with the other, as follows:

### Definitions

1. In this Agreement, the following terms shall have the following meanings:
  - 1.1. "Act" means the *Strata Property Act* and amendments thereto and any regulations adopted pursuant to the Act;
  - 1.2. "Agent" means the strata property agency brokerage described on page 1 hereof;
  - 1.3. "Agent's Fees" means the fees payable to the Agent pursuant to Clause 5.2 of this Agreement;
  - 1.4. "Agreement" means this agreement, including Schedule A, Schedule B and any other schedules attached hereto, and any amendments thereto;
  - 1.5. "Bylaws" means the bylaws adopted by the Strata Corporation and in effect from time to time;
  - 1.6. "Laws" means all applicable restrictive covenants, zoning ordinances and building codes, health, environmental and safety laws and regulations, and other federal, provincial and other laws, statutes, ordinances, rules, regulations, orders and court decisions;
  - 1.7. "Meetings" means all meetings of the Strata Corporation and Strata Council, including the annual general meeting, special general meeting, committee meetings, arbitrations and mediation hearings, court hearings, or other meetings requiring the Agent's attendance pursuant to this Agreement;
  - 1.8. "Owners" means the owners of strata lots included in the Strata Plan;
  - 1.9. "RESA" means the *Real Estate Services Act* and amendments thereto and any regulations or rules adopted pursuant to the *Real Estate Services Act*;
  - 1.10. "Rules" means the rules made pursuant to sec. 125 of the Act from time to time;

INITIALS  
  
 AGENT      STRATA

- 1.11. "Section" means a section of the Strata Corporation created pursuant to Part 11 of the Act;
- 1.12. "Strata Corporation" means the strata corporation described on page 1 hereof;
- 1.13. "Strata Council" means the strata council of the Strata Corporation;
- 1.14. "Strata Plan" means the strata plan filed in the Land Title Office that created the Strata Corporation; and
- 1.15. "Tax" means the Harmonized Sales Tax and/or the Goods and Services Tax as may be applicable under the *Excise Tax Act*, Provincial Sales Tax as may be applicable under the *Provincial Sales Tax Act* and any other applicable tax in replacement or substitution therefor that is applicable to the services provided under this Agreement.

#### Exclusive Appointment


2. Commencing on the Commencement Date set out in item 1 of Schedule A attached hereto, the Strata Corporation hereby appoints the Agent as its sole and exclusive Agent to provide strata agency services to the Strata Corporation upon the terms and conditions herein contained, and the Agent agrees to serve the Strata Corporation in that capacity in a faithful, diligent and honest manner, subject to the direction of the Strata Council and the terms of this Agreement.

#### Agent's Agreement

3. The Agent hereby covenants and agrees with the Strata Corporation as follows:

#### General

- 3.1. Agent Services - To furnish the services of the Agent as agent for the Strata Corporation in assisting the Strata Council in managing the affairs of the Strata Corporation;
- 3.2. Administration - To assist in the administration of the common property and common assets of the Strata Corporation under the direction of the Strata Council;
- 3.3. Strata Corporation's Performance - To assist the Strata Council with the performance of all obligations required to be performed by the Strata Corporation pursuant to agreements entered into between the Strata Corporation and any other person, firm or corporation in respect of the affairs of the Strata Corporation;

INITIALS  
  
 AGENT STRATA



- 3.4. Staffing – To provide sufficient staff at the Agent's expense in order to provide the Agent's services hereunder. The Agent shall designate Darren Close of the Agent to be the principal contact person between the Agent and the Strata Corporation;

#### Financial

- 3.5. Strata Fees - To receive and record in a timely fashion all strata fees, special levies, user fees, contributions to the contingency reserve fund, and other revenues and amounts due to the Strata Corporation;
- 3.6. Unpaid Strata Fees - To demand and attempt to recover from the Owners, all strata fees, contingency reserve fees, special levies or user fees and any and all other monies from time to time payable by such Owners to the Strata Corporation in any lawful manner howsoever and to make and agree to all just and reasonable abatements, payments and allowances in respect thereof;
- 3.7. Non-Payment of Strata Fees - To take legal action at the expense of the Strata Corporation for and in the name of the Strata Corporation, to effect the collection of unpaid monthly strata fees, special levies, user fees, contributions to the contingency reserve fund and any other monies due to the Strata Corporation and to sign, file and deliver certificates of liens, receipts, certificates, or acknowledgements, all at the direction of the Strata Council;
- 3.8. Annual Budget – To assist the Strata Council in budgeting the Strata Corporation revenue and expenditures and in determining the appropriate amount of contribution to be paid by each Owner towards operating expenses and the contingency reserve fund as required by the Act and in this regard to furnish annually, an estimate of revenues and expenses;
- 3.9. Accounting Statement - To provide the Strata Council with a monthly accounting statement of receipts, disbursements, expenses and charges;
- 3.10. Bank Statement – To provide the Strata Council with a copy of each monthly bank statement for each trust account and a reconciliation of same within 6 weeks after the end of the month to which the statement relates;
- 3.11. Expenditures – To sign cheques and to otherwise pay from the Strata Corporation's funds in a timely fashion, all charges, expenses and outgoings whatsoever payable by, or chargeable to the Strata Corporation provided funds are available to make such payments and the Strata Council's authorization is provided where required;

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- 3.12. Payroll Accounts – To provide payroll accounting for Strata Corporation employees, if necessary, either directly or through a third-party service provider and to charge a fee for such services in the amount set forth in item 2 of Schedule A;
- 3.13. Strata Corporation's Monies - To deposit all receipts of the Strata Corporation into the appropriate trust account or accounts in accordance with the provisions of RESA. such trust accounts to be separate from the Agent's corporate accounts and deposited with an institution qualified to engage in the credit union, banking or trust business, and to withdraw funds from or transfer funds between such accounts as may be appropriate. The Agent may transfer such monies between accounts and pooled trust accounts as permitted by RESA and may invest the Strata Corporation's funds as appropriate and as permitted under RESA and sec. 95 of the Act;

### Trust Accounts

- 3.14. Maintenance of Trust Accounts – To maintain at least one separate trust account in the name of the Strata Corporation, as further specified in item 3 of Schedule A attached hereto;
- 3.15. Contingency Reserve/Special Levy Trust Accounts - If the Agent is to hold contingency reserve money or special levy money as specified in item 3 of Schedule A, to maintain separate trust accounts for the contingency reserve money and the special levy money;
- 3.16. Statutory Review of Books - To keep full and detailed books and to make the books available for the annual review of books maintained by the Agent as required by the Real Estate Council of BC pursuant to RESA and to charge the fee specified in item 1 of Schedule B, whether or not the Strata Corporation's books are in fact reviewed in whole or in part, pursuant to the statutory review;
- 3.17. Strata Corporation's Audit - To keep full and detailed books and if directed by the Strata Corporation, to arrange for an outside accountant to conduct an audit of the Strata Corporation's books, at the Strata Corporation's cost;
- 3.18. Signing Authority – To ensure that the signing authority of the Agent for the operating fund trust account and/or pooled trust accounts includes at least one managing broker of the Agent. If contingency reserve and/or special levy trust accounts are maintained, two signing authorities shall be required for any transfer of funds, which signing authority may be any two of the following: a managing broker, a licensee, director, officer or accountant of the Agent;


  
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### Meetings

- 3.19. Meetings - To arrange for a representative of the Agent to attend at a mutually agreed time and date, up to the number of Meetings per year set forth in item 4 of Schedule A attached hereto. It being understood however, that the Agent's attendance over and above the number of Meetings specified in item 4 of Schedule A, or attending at any Meeting of a duration longer than the number of hours specified in item 5 of Schedule A, shall be mutually agreed upon by the parties and the Agent shall be entitled to charge the additional fees shown in Clauses 5.2(b) or 5.2(c) as applicable;

### Strata Council

- 3.20. Strata Council - To consult with and confer fully and freely with the Strata Council (in person at Meetings, or by telephone or email) on behalf of the Strata Corporation in the performance of any of the Strata Council's duties and to act upon the resolutions of the Strata Council in so far as such resolutions do not conflict with the Act, RESA, any Laws, the Bylaws, the Rules or a direction given by the Strata Corporation; The receipt by the Agent of written authorization of the Strata Council is sufficient authority for the Agent to so act;
- 3.21. Assistance to Strata Council – To advise the Strata Council on the Act, and to advise the Strata Council of generally accepted practises throughout the strata agency industry. Such interpretation of the Act to be used by the Strata Council as a guide and shall not be regarded as legal advice;

### Records

- 3.22. Records - To keep full and detailed records of the transactions of the Strata Corporation and to retain the records required to be maintained by sec. 35 of the Act, including the owner registry (save and except any of the prescribed documents not provided to the Agent by the Strata Corporation and any other documents listed in Schedule B), if applicable, for such time as required by RESA or the Act, and to make available for inspection at the request of the Strata Corporation, all of the Strata Corporation's documents, accounts and records which the Agent may have and to charge an hourly fee in the amount specified in item 5 of Schedule A directly to the party requesting, for the supervision of the inspection of such records. Any such material shall be made available to any Owner, after first receiving reasonable notice from the Owner in accordance with the Act, of their intention to inspect the records at the office of the Agent. Subject to compliance with the Act, electronic records may be retained outside British Columbia or Canada, in which case they may be subject to the laws of the jurisdiction in which such records are located.

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- 3.23. Use and Disclosure of Strata Corporation Information and Personal Information of Owners – To collect, use and disclose information respecting the Strata Corporation, including personal information respecting any Owner for any and all purposes related to the management, maintenance and administration of the Strata Corporation and for such other purposes as are appropriate in connection with the performance of the duties of the Agent respecting the affairs of the Strata Corporation, including the provision of documentation and information as required by the Act to facilitate the sale of any strata lot which shall include its distribution to the Owner's real estate licensees, potential purchasers, purchasers and their conveyancers, governmental authorities, Owners' mortgagees or other authorized requestors in accordance with the Act;
- 3.24. Owner/Tenant's Registry – To maintain a registry of all Owners and tenanted strata lots;
- 3.25. Minutes – At the request of the Strata Council, to prepare minutes for Meetings at which the Agent is in attendance, and provide the minutes of Strata Council meetings and annual and special general meetings of the Strata Corporation pursuant to the terms and conditions of this Agreement and as prescribed by the Act;
- 3.26. Correspondence and Forms – To receive and respond to all correspondence as directed by the Strata Council and to sign, file and deliver statutory forms including certificates, receipts, or acknowledgements, all at the direction of the Strata Council;

#### Bylaws and Rules

- 3.27. Bylaws and Rules – To familiarize itself with RESA, the Act and the Strata Corporation's Bylaws and Rules;
- 3.28. Bylaw and Rules Enforcement – To assist with the enforcement of the Bylaws and Rules and, if so directed by the Strata Council, take appropriate action including legal action to enforce or stop any breach or infraction of the Bylaws and Rules, at the expense of the Strata Corporation;
- 3.29. Fines – To provide notice of fines upon the levying of fines by the Strata Council and provide follow up correspondence and initiate legal action as is necessary, at the direction and expense of the Strata Corporation;
- 3.30. Liens – To complete, sign, file and remove liens against delinquent Owners in accordance with the Act and to provide follow up correspondence and initiate legal action as necessary, all at the direction and expense of the Strata Corporation. The Agent may charge a fee for the administration involved or the collection of receivables as specified in item 2 of Schedule B and charge back such fee to the Owner;

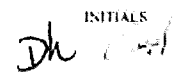
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### Insurance

- 3.31. Property Insurance – Upon the direction of the Strata Council, to secure annual updates to the insurance appraisal for the Strata Plan and to renew insurance policies as they expire pursuant to the Act. All insurance appraisal costs and premium costs shall be expenses of the Strata Corporation;
- 3.32. E&O Insurance – Upon the direction of the Strata Council, to assist the Strata Corporation to place and maintain, at the expense of the Strata Corporation, Strata Council Errors & Omissions Insurance;
- 3.33. Liability Insurance – To assist the Strata Corporation to place and maintain, at the expense of the Strata Corporation, Comprehensive General Liability Insurance having a minimum coverage in the amount of \$2,000,000.00 or such greater amount as may be directed by the Strata Council. Such insurance policy shall list the Agent as additional insured and shall be applicable to any indemnification of the Agent by the Strata Corporation as required under this Agreement;
- 3.34. Insurance Coverage – To assist the Strata Corporation to place and maintain adequate property, liability, equipment breakdown and other insurance required from time to time and have a qualified insurance agent review the insurance coverage of the Strata Corporation at least every year. The Agent shall at the direction and cost of the Strata Corporation arrange for an insurance appraisal. The Agent shall not be liable for any negligence of any such insurance agent or the insurance appraiser;
- 3.35. Availability of Insurance – When assisting the Strata Corporation in obtaining the insurance described in Clauses 3.31 to 3.34, the Agent shall attempt to obtain such insurance on commercially reasonable terms. The Agent shall have no liability to the Strata Corporation or the Owners if such insurance is not available at all or if it is not available on commercially reasonable terms and the Strata Council elects not to maintain any or all such insurance;
- 3.36. Agent's Insurance – The Agent shall maintain such insurance as is required by RESA:

### Maintenance and Services

- 3.37. Contractors and Employees - To co-ordinate the work of contractors, suppliers or employees and whenever directed by the Strata Council or the Agent deems it advisable or necessary, the Agent shall cooperate with the Rental Pool Management on site, hire or discharge contractors, suppliers or employees, and it is agreed and understood that all such employees and independent contractors shall be deemed to be employees and independent contractors of the Strata Corporation and not of the Agent, and paid by the

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Strata Corporation and not the Agent and that the Agent shall not be responsible for the acts, defaults or negligence of such employees or independent contractors if reasonable care has been exercised in their recommendation, appointment and retention;

- 3.38. Contracts – To make and sign contracts in the name of the Strata Corporation to the extent the Agent’s policies permit it to sign such contracts, in respect to the common property and common assets, for electricity, gas, fuel, water, telephone, janitorial services, window cleaning, landscaping, garbage disposal, vermin extermination and other services or such of them as the Strata Council shall deem advisable, and to monitor and negotiate renewal or replacement of such contracts;
- 3.39. Supplies - Subject to the limits expressed by the Strata Council, to place orders for and purchase, in the name of the Strata Corporation, all such equipment, tools, appliances, materials and supplies as is necessary to equip properly and maintain the common property and common assets of the Strata Corporation;
- 3.40. Emergency Services – To use commercially reasonable efforts to maintain a 24hour emergency contact service such that the Strata Council or Owners can contact the Agent with respect to matters affecting life or property damage, however the Strata Corporation acknowledges that such services may not be available in the event of a major regional emergency;
- 3.41. Limitation on Expenditures - The Agent agrees to obtain the approval of the Strata Council of the Strata Corporation to all expenditures in accordance with the Act and the Bylaws, other than: (a) expenses contained in the approved annual budget; (b) recurring operating charges; or (c) emergency repairs in excess of the maximum amount established by the Bylaws, if such expenditures are necessary in the opinion of the Agent to protect the common property and common assets of the Strata Corporation from damage or to maintain common services to occupants of any one or more strata lots. Where all or a portion of the expenditure falls within the jurisdiction of a Section, the Agent will seek the approval of the executive of the relevant Section to such expenditure;

#### Proceedings

- 3.42. Legal Proceedings – To assist in resolution of disputes involving the Strata Corporation as directed by the Strata Council, by recourse to the appropriate authority, including legal proceedings, arbitration, mediation, small claims court, human rights tribunal, internal appeals and residential tenancy disputes;

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AGENT STRATA

- 3.43. Legal Counsel – Any provision in this Agreement allowing the Agent to take legal action on behalf of the Strata Corporation shall mean, where appropriate or required, taking legal action through the Strata Corporation's legal counsel;
- 3.44. Owner's Defaults - To sign and give notices to Owners of any defaults in any obligations of such Owners to repair or to maintain their strata lots or limited common property in a timely fashion;
- 3.45. Compliance with Notices or Orders – To notify the Strata Council of any notices or orders of any competent public authority requiring repairs to be done in respect of the common property and common assets, or any part thereof, and to notify the Owners of individual strata lots that they must in a like manner comply with such notices or orders in regard to their own individual strata lots;
- 3.46. Compliance with Laws - To take such action on behalf of the Strata Corporation as the Strata Council may direct, as may be necessary to comply promptly with any and all orders or requirements affecting the Strata Corporation made by any governmental body or agency having authority or orders of any Fire Marshall, or board of fire underwriters or similar body;

#### Other

- 3.47. Sale of Strata Lots – To provide and sign documentation as required by the Act to facilitate the sale, financing or other dealings with any strata lot at the cost of the Owner or the proposed purchaser or lender. The Agent shall be entitled to retain the fees and disbursements it charges such Owners, proposed purchasers, lenders, real estate licensees, lawyers or notaries; and
- 3.48. Fees, Rebates or Discounts – Not to collect or charge any undisclosed fee, rebate or discount, and if any such fee, rebate or discount should be received by the Agent that fee, rebate or discount will be held in trust for and credited to the account of the Strata Corporation.

#### Agent's Authorization

4. The Agent shall be deemed the Agent of the Strata Corporation and to enable the Agent to effectively perform its services under this Agreement the Strata Corporation hereby appoints the Agent as its agent to perform the services set out in Clause 3 hereof and to execute all documents and contracts for and on behalf of the Strata Corporation, as directed by the Strata Council, and to commence legal proceedings at the expense of the Strata Corporation as directed by the Strata Council and to perform all other duties provided for in this Agreement.

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 AGENT STRATA

Strata Corporation's Agreement

5. The Strata Corporation covenants and agrees:

5.1. Indemnity - To save the Agent harmless from any and all claims, damages, costs and liability incurred in connection with the services provided to the Strata Corporation and, without limiting the generality of the foregoing, to indemnify and save the Agent harmless from all claims, damages, costs and liability whatsoever incurred by the Agent in performing its responsibilities hereunder and to protect the Agent against any and all such claims, damages, costs, and liability in the same manner and to the same extent as the Strata Corporation, unless such claim, damage, cost or liability is caused by the gross negligence or wilful misconduct of the Agent;

5.2. Agent's Fees - To pay to the Agent the following fees:

- (a) a fee in advance each and every month during the term of this Agreement, in the amount and on the day specified in item 7 of Schedule A;
- (b) an additional fee in the amount specified in item 8 of Schedule A, for each additional Meeting over the number specified in Clause 3.19 and item 4 of Schedule A;
- (c) an additional hourly fee in the amount specified in item 9 of Schedule A, for each hour of attendance at any Meeting longer than the hours specified in Clause 3.19 and item 5 of Schedule A;
- (d) an additional fee for appearing as a witness, or assisting with litigation support, special projects and/or major renovations, as determined by the size and nature of the special project and/or major renovations and as may be agreed between the Strata Corporation and the Agent or in the amount determined pursuant to Schedule B, if attached and initialled by both parties;
- (e) an additional fee in the amount specified in item 10 of Schedule A, per strata lot for each month of depositing and processing of special levies;
- (f) such additional fees as are provided for in Schedule B, or as may be agreed upon in writing from time to time;
- (g) together with any applicable Tax payable on such fees or related disbursements;

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- 5.3. Payment of Agent's Fees - The Strata Corporation hereby authorises the Agent to deduct the Agent's Fees and disbursements from the strata fees, special levies, assessments, user fees and any other monies collected by the Agent pursuant to Clause 3;
- 5.4. Shortfall - That if the bills, accounts or expenses paid by the Agent pursuant to Clause 3 hereof in any calendar month exceed the strata fees and other monies collected in such month by the Agent or if the Strata Corporation does not otherwise have sufficient funds to pay such bills, accounts or expenses, to pay the Agent the amount of such excess promptly upon request, which may include transfer of funds from the Contingency Reserve Fund where permitted under the Act. The Agent shall have no obligation to advance funds to the Strata Corporation for any purpose whatsoever;
- 5.5. Costs - To pay promptly the Agent's costs of printing, duplicating, mailing, postage, long distance telephone charges, courier or other service charges directly attributed to the Strata Corporation as per the attached item 5 of Schedule B attached hereto;
- 5.6. Transfer Documentation - To direct and compensate the Agent in accordance with the Act for all transfer of title and ancillary documents for owners;
- 5.7. Exclusivity - That the Strata Corporation, during the Term of this Agreement and for two (2) years after the termination hereof, will not engage or contract directly or indirectly with any present or past employee of the Agent, to perform services the same as or similar to the services the employee performed for the Agent unless agreed to in writing by the Agent;
- 5.8. Documentation - To provide the Agent with all documents and records available to the Strata Corporation, which may be reasonably required by the Agent to properly assist in connection with the services provided by the Agent to the Strata Corporation;
- 5.9. By laws and Rules - To provide to the Agent a copy of the Bylaws and Rules of the Strata Corporation and to promptly notify the Agent of any amendments or additions thereto; and
- 5.10. Existing Project - Where the Agent is assuming its role from a prior strata agent or from a self-managed building, the Agent shall not be responsible for errors, missing or inaccurate information in the records, information or materials of the prior agent or the self-managed building provided to the Agent, or for any consequential errors, missing or inaccurate information in the records or materials maintained by the Agent. Nor is the Agent responsible for the past financial affairs of the Strata Corporation, including matters relating to the status of any employee or contractor of the Strata Corporation. The Agent will not, unless expressly directed by the Strata Corporation, conduct a

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detailed review of the records, information, materials or practices of the prior agent or self managed strata corporation, except as is necessary to fulfill its role going forward under this Agreement.

#### No Set Off

6. That the Strata Corporation shall not be entitled to set off against the Agent's Fees or any other monies payable to the Agent under this Agreement, any uncollected strata fees, special levies or user fees or other monies owed the Strata Corporation.

#### Agent to Receive Instructions from Strata Council

7. The Strata Corporation hereby authorizes its Strata Council to deal with the Agent. It is agreed and understood that the Agent at all times shall be entitled to rely on and to act upon the instructions or directions received from the Strata Council, and where appropriate or circumstances require, the President or other members of the Strata Council. Without limiting the generality of the foregoing, the Agent may from time to time request instructions or directions in writing signed on behalf of the Strata Corporation by at least two members of the Strata Council, or a formal resolution of the Strata Council after a properly convened meeting of the Strata Council. The foregoing shall constitute the full and sufficient authority for the Agent to act in accordance with such instruction or directions. The Strata Council agrees to provide timely response to requests from the Agent for directions, instructions and information.

#### Financial Statements

8. That the Strata Council agrees to review each statement of receipts and disbursements referred to in Clause 3.9, and within thirty (30) days from the date of provision of such statements to the Strata Council, to notify the Agent, in writing, of any alleged mistake or error on the part of the Agent in paying any bill, account or expense on behalf of the Strata Corporation. If the Agent receives no such notification within thirty (30) days of provision of such statements to the Strata Council, the statement shall be deemed to be conclusive and binding and the Agent shall be free from any and all claims in respect of such statement.

#### Assignment by Agent

9. The Agent may assign all of its interest in this Agreement and its rights hereunder to any other strata property brokerage, with consent from the Strata Corporation, provided such assignee is a licensed strata property agent and covenants with the Strata Corporation to observe and perform the obligations of the Agent hereunder.

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No Waiver

10. If a party to this Agreement breaches or defaults in its performance under this Agreement and the other party, expressly or implied, waives such default that waiver shall not be deemed or construed to be a waiver to any future breach or default in the performance of such defaulting party's obligations under this Agreement.

Severance

11. That in the event that any provision of this Agreement, or any part thereof, shall be found to be invalid the remainder of this Agreement shall be binding on the parties hereto and shall be construed that the invalid provision or part thereof had been deleted from this Agreement.

Successors and Assigns

12. This Agreement shall ensure to the benefit of and shall be binding upon the parties hereto and their respective successors and assigns.

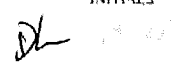
Amendments in Writing

13. Any amendment to this Agreement shall be effective only if it is in writing and is duly signed by the parties.

Duration and Termination

14. This Agreement shall commence and become effective on the date set forth in item 1 of Schedule A and shall continue for an indefinite term until terminated in accordance with this Clause. This Agreement shall terminate upon the occurrence of any of the following events:
- (a) Two months after receipt by the Agent of a notice by the Owners, terminating this Agreement;
  - (b) Two months after receipt by the Strata Corporation of a notice from the Agent, terminating this Agreement;
  - (c) Immediately, through the bankruptcy of the Agent; or
  - (d) Immediately, through the insolvency or fraud of the Agent.

After Termination

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15. Upon the termination of this Agreement, all obligations of the Agent shall cease except as otherwise expressly provided in RESA, and the Strata Corporation shall pay to the Agent any monies due to it under this Agreement and the Agent shall pay to the Strata Corporation all monies held by it in trust for the Strata Corporation. Further, the Agent shall transfer all records maintained for the Strata Corporation to the Strata Corporation or its agent as may be directed by the Strata Council, upon payment of any outstanding fees to the Agent or as required by RESA. The Agent shall be entitled to retain the original financial records for such period as is required for the Agent to comply with RESA, but the Agent shall provide the Strata Corporation with copies of the financial records, at the Strata Corporation's expense as provided in Schedule B.

#### Holdback

16. Upon termination of this Agreement, the Strata Corporation shall continue to be responsible for the payment of any and all bills, accounts, and expenses incurred by the Agent within the authority of this Agreement to be paid by the Agent after such termination. The Agent shall be entitled to retain, for thirty (30) days after the date of such termination, a holdback of the monies (the "Holdback") to pay such bills, accounts and expenses or any of them. If a Holdback is not retained by the Agent or is insufficient, the Strata Corporation agrees to reimburse the Agent promptly upon demand for any and all such bills, accounts and expenses paid by the Agent after the termination of this Agreement.

#### No Partnership

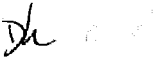
17. The relationship of the Agent to the Strata Corporation shall be that of agent and principal and this Agreement shall not under any circumstances make the Agent or any of its employees, officers or authorized representatives, to be the legal representative, partner or employee of the Strata Corporation.

#### Personal Information

18. The Strata Corporation hereby consents to the collection, use and disclosure by the Agent of information about the Strata Corporation and personal information about the Owners, for all purposes consistent with the matters contemplated herein.

#### Disclosure of Conflicts

19. If at any time, the Agent determines it is in a conflict of interest with the Strata Corporation, the Agent shall give written notice of such conflict to Strata Council as soon as reasonably possible. The Strata Corporation hereby acknowledges and consents to the

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Agent acting for other strata corporations, and sections and owners within such strata corporations.

#### Disclosure of Payments

20. If at any time, the Agent anticipates receiving or receives, directly or indirectly, any form of payment or other compensation from an Owner or someone other than the Strata Corporation as a result of recommending an insurance broker, or any other person providing other products or services, the Agent shall disclose the details thereof to the Strata Corporation in writing, including the source of such payments, the amount or likely amount of the payment and all other relevant facts relating to such provision of real estate services.

#### Charges for Documents

21. The Agent, without further specific disclosure to the Strata Corporation, shall be entitled to charge and retain fees (which fees may include a disbursement component) for the following

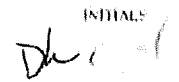
- (a) the provision of Form B (and all attachments) and Form F and other statutory form as required by the *Strata Property Act*;
- (b) the provision of copies of minutes, Bylaws, Rules, strata plans, engineering reports, financial statements and similar documents of the Strata Corporation when requested by Owners (other than the original distribution of same) or any other person authorized to receive such documents;

and any and all priority fees charged for the priority provision of such documents in accordance with the fees specified in the attached Schedules.

#### Sections, the Strata Corporation and Owners

22. The Strata Corporation hereby consents to the Agent acting as agent for the Strata Corporation and any or all of the Sections of the Strata Corporation. The Strata Corporation hereby consents to the Agent providing property rental services or trading services to individual Owners. The Agent shall enter into separate agency agreements with each Section for which it is to provide strata management services or financial management services, and separate service agreements with each individual Owner, and will advise the Strata Corporation in writing when it commences acting for such Sections or any individual Owner.

#### Primary Client and Secondary Client

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23. The Agent hereby declares that the Agent's "primary client" is as specified in item 7 of Schedule B (the "Primary Client") and the "secondary client" is as specified in item 7 of Schedule B (the "Secondary Client" or "Secondary Clients"). In the event of a conflict, the Agent will provide the full services it has contracted to provide to the Primary Client and the Agent shall provide limited representation to the Secondary Client or Secondary Clients.

#### Conflict with Sections

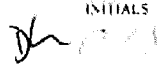
24. The Strata Corporation acknowledges that potential conflicts may arise between a Section and the Strata Corporation or between Sections. In that case, the Agent will notify the Strata Corporation and all affected Sections of the conflict. The Agent may (a) continue to act for the Agent's Primary Client and cease to act for the Secondary Client with respect to the matter giving rise to the conflict; (b) withdraw from the matter giving rise to the conflict in a manner consistent with the applicable Rules, RESA or other professional rules; or (c) to obtain the informed consent of the Strata Corporation and any Section involved, to proceed in assisting the parties. If the Agent ceases to act for the Secondary Client with respect to the matter giving rise to the conflict pursuant to section 24(a) above, the Agent shall notify the Secondary Client of such action in writing. If the Agent withdraws pursuant to subsection 24(b), the modification in the services to be provided by the Agent will be documented in writing. If the Agent obtains the informed consent of the Strata Corporation and any Section involved pursuant to subsection 24(c), the agreement of parties for the Agent to proceed in such circumstances shall be documented in writing. If the Agent withdraws from the matter, the Agent will help the Strata Corporation and the applicable Section(s) retain other advisors and will make a smooth transfer of appropriate file materials and information.

#### Conflict with Owners

25. If the Agent is providing property rental services or trading services to individual Owners, there may be conflicts as between such Owners, the Strata Corporation and the Sections. If the Strata Corporation or a Section is declared to be the Agent's Primary Client, the Agent will provide full representation to the Primary Client and the Agent shall provide limited representation to the Owners.

#### Limited Services to Secondary Client

26. In the event of a conflict where the Agent continues to act for the Agent's Primary Client and ceases to act for the Secondary Client with respect to the matter giving rise to the conflict, the Agent will not be able to:

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- (a) act in the Secondary Client's best interests, if those interests conflict with the interests of a Primary Client;
- (b) act in accordance with the Secondary Client's instructions, if acting in accordance with those instructions would lead the Agent to breach any of the Agent's obligations to a Primary Client;
- (c) maintain the confidentiality of information about the Secondary Client; or
- (d) disclose to the Secondary Client's any confidential information about the Primary Client.

### Sections and Expenses

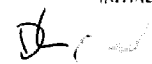
27. The Agent will work with the Strata Corporation and the Sections to appropriately allocate costs and expenses as between the Strata Corporation and the Sections in accordance with the Act, the Bylaws and any policies of the Strata Corporation and the Sections. Where possible the Agent shall obtain the agreement of the Strata Corporation and the Sections as to a policy for allocating routine expenditures and shall allocate such expenditures in a manner consistent with such policy. Where practical the Agent shall obtain the agreement of the Strata Corporation and the Sections as to the allocation of unusual expenditures before the expenditure is authorized or made. Where the Strata Corporation and the Sections cannot agree as the allocation of an expenditure, the expenditure shall be allocated in accordance with the previously adopted practices or policies or if no such practice or policy is applicable, the expenditure shall be allocated to the Strata Corporation, pending the resolution by the Strata Corporation and the Sections as to how the expense shall be allocated.

### Sections Accounts

28. The Agent will establish separate accounts for any Section that it is acting for, in addition to any account it maintains for the Strata Corporation as required by RESA and the Act.

### Joint Meetings

29. Where the Agent is acting for the Strata Corporation and one or more Sections, the Agent may, with the written consent of the Strata Council and the Section Executive, hold joint meetings of Strata Corporation and one or more Sections (or between the Sections). Such consent may be provided generally or for specific meetings. The Agent shall take reasonable steps when preparing agendas for such joint meetings to indicate where agenda items require the approval of the Strata Council or a particular Section Executive and resolutions with respect to such matters will be voted on only by the Strata Council

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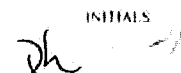
or the relevant Section Executive. Joint minutes may be taken and maintained as part of the minutes of the Strata Corporation and the respective Sections in attendance. Upon the request of a Strata Council Member or an Executive Member at or prior to the meeting, certain matters pertaining to just the Strata Corporation or a particular Section, may be discussed at an in-camera portion of the meeting, with the minutes of such in-camera portions of the meeting being made available to appropriate entity only.

#### Annual Review Fee

30. Annually, the parties shall review the fees and other charges payable under this Agreement. Any such change in fees or charges, shall be agreed to between the parties and shall be evidenced in writing which may include a formal fee amendment agreement or a letter from the Agent to the Strata Corporation setting out such agreed changes in the fees and charges signed by the Agent and two members of the Strata Council.

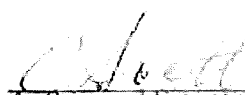
#### Additional Disclosure

31. From time to time the Agent and its employees and contractors may use credit cards to transact on behalf of the Strata Corporation. As a result of these transactions, a benefit may be realized by the Agent and its employees and contractors.

INITIALS  
  
 AGENT STRATA




EXECUTED ON BEHALF OF )  
NES TBD )  
by its authorized signatories: )


  
\_\_\_\_\_  
Authorized Signatory )

\_\_\_\_\_  
Authorized Signatory )

EXECUTED ON BEHALF OF )  
EAST KOOTENAY REALTY )  
\_\_\_\_\_  
by its authorized signatories: )

  
\_\_\_\_\_  
Authorized Signatory )

\_\_\_\_\_  
Authorized Signatory )

INITIALS  
  
AGENT STRATA

### SCHEDULE A

- |                   |  |
|-------------------|--|
| 1. Clause 2       | Commencement Date:   |
| 2. Clause 3.12    | Fee for providing payroll services: \$nil  |
| 3.                | <p>Clause 3.14 and 3.15 The Agent shall maintain the following trust accounts on behalf of the Strata Corporation (check if applicable):</p> <p><input checked="" type="checkbox"/> Operating fund trust account</p> <p><input checked="" type="checkbox"/> Contingency reserve trust account</p> <p><input checked="" type="checkbox"/> Special levy trust account</p> <p><input type="checkbox"/> Other: _____</p> |
| 4. Clause 3.19    | Maximum Number of Meetings: <u>12</u>  |
| 5. Clause 3.19    | Maximum Hours per Meeting Annually: <u>24</u>  |
| 6. Clause 3.22    | Hourly fee for supervision of inspection of records: \$ <u>50</u>  |
| 7. Clause 5.2(a)  | Monthly Agents' Fee: \$30 per each of the Strata Lots, payable on the 1st day of each month  |
| 8. Clause 5.2(b)  | An additional fee for each Meeting over the maximum number: \$50.00 per hour   |
| 9. Clause 5.2(c)  | Hourly rate for attendance at each Meeting over specified number of hours: <u>\$50.00</u><br>(plus Tax)  |
| 10. Clause 5.2(e) | An additional fee of <u>NIL</u> per strata lot for each month of depositing and processing of special levies: _____ (with a minimum fee of _____)  |

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**SCHEDULE B**

**Special Terms and Amendments**

- 1. Clause 3.16 Annual fee for the statutory review of books: per accountant billing
- 2. Clause 3.30 Fee for administration of liened receivables: NIL
- 3. Clause 5.2(d) Additional fees:

Litigation Support (Clause 3.42): As billed by legal service if necessary

Special Projects: \_\_\_\_\_

Major Renovations: \_\_\_\_\_

Supervising Independent Audits: \_\_\_\_\_

Other: \_\_\_\_\_

- 4. Clause 5.2(f) Additional fees:

NONE \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

- a. Clause 5.5 Printing Costs: \$0.25 per page (Print Costs to be approved Strata Corporation in advance)

Mailing Costs: As necessary per billing

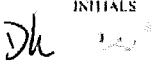
Long Distance Telephone Charges: as billed

Courier Costs: Per billing

Other Service Charges: \_\_\_\_\_

Storage Charges: \_\_\_\_\_

- 5. Clause 15 Cost of photocopying: \$0.25 per page

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6. Clause 23 Primary Client:

Secondary Client: \_\_\_\_\_

Secondary Client: \_\_\_\_\_

7. Special Terms

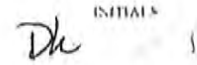
1. A one-time start-up cost of \$2,000 for the following

- a) Review of strata bylaws with comments,
- b) supply of insurance quotes for strata operating budget,
- c) ~~calculating and submitting a draft operational budget for Central and Watkins to the Directors of Archer properties group,~~
- d) any and all other paper work needed from a strata manager for a disclosure statement,
- e) ~~and the above to be completed within 10 days of a Director of Archer properties signing of the contract.~~

2. Price for the Strata Manager will be calculated at \$30/unit as the units are completed with occupancy

3. This monthly price per unit will include the oversight of contractors for general work completed for the strata but not general utility bills or similar invoicing.

4. Exclusivity clause 5.7. This is based on an individual and does not limit the strata from hiring another strata management company even if an ex-employee works for the company hired for such work.

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## ASSIGNMENT OF MANAGEMENT CONTRACT

Further to the Agency Agreement dated the 31<sup>st</sup> day of May, 2022

### BETWEEN:

**THE OWNERS**, Strata Plan EPS8541, a Strata Corporation constituted under the laws of British Columbia commonly known as Pine Tree Valley. (hereinafter called the 'Strata Corporation')

### AND

**EAST KOOTENAY REALTY LTD** with an office at 25- 10TH Avenue South Cranbrook, BC V1C 2M9 British Columbia

**EAST KOOTENAY REALTY LTD**, hereby agrees that the Agency Agreement, hereby attached to this Assignment of Management Contract, between itself and the **Strata Corporation** is hereby assigned to **ROCKIES WEST REALTY (2007) LTD.**, a company incorporated by the Province of British Columbia, and licensed by the British Columbia Financial Services Authority, all matters contained in the attached Agency Agreement, commencing the Assignment date of January 2 2024, are agreed to between **EAST KOOTENAY REALTY LTD** and **ROCKIES WEST REALTY (2007) LTD.**

**EAST KOOTENAY REALTY LTD.**, assumes full responsibility and indemnifies **ROCKIES WEST REALTY (2007) LTD.**, along with its Agents, from any claims or action taken for services provided to Strata Corporation by **EAST KOOTENAY REALTY LTD.**, before the initiation of this Management Contract Assignment.

Dated this \_\_\_\_\_ day of 01/10/24, 2024

**EAST KOOTENAY REALTY LTD.**

\_\_\_\_\_  
Agent

\_\_\_\_\_  
Managing Broker

**ROCKIES WEST REALTY (2007) LTD.**

Authentisign  
  
\_\_\_\_\_  
Agent

Authentisign  
  
\_\_\_\_\_  
Managing Broker