

1345408 B.C. LTD.

SECOND AMENDMENT TO DISCLOSURE STATEMENT

Pinetree Valley Development – Pinetree Meadows

DATE OF DISCLOSURE STATEMENT: June 30, 2022

DATE OF ANY PRIOR AMENDMENTS: July 09, 2022

DATE OF THIS AMENDMENT: June 30, 2023

DEVELOPER: 1345408 B.C. Ltd. (the “Developer”)

ADDRESS FOR SERVICE: Box 639, 1309 – 7th Ave, Invermere, BC V0A 1K0

BUSINESS ADDRESS: 4091 Johnston Road, Invermere, BC V0A 1K4

REAL ESTATE BROKER: The Developer intends to use its own employees to market the strata lots. The employees are not licensed under the *Real Estate Services Act* and are not acting on behalf of the purchaser.

"This Disclosure Statement has been filed with the Superintendent of Real Estate, but neither the Superintendent, nor any other authority of the government of the Province of British Columbia, has determined the merits of any statement contained in the Disclosure Statement, or whether the Disclosure Statement contains a misrepresentation or otherwise fails to comply with the requirements of the *Real Estate Development Marketing Act*. It is the responsibility of the developer to disclose plainly all material facts, without misrepresentation."

"This Disclosure Statement relates to a development property that is not yet completed. Please refer to section 7.2 for information on the purchase agreement. That information has been drawn to the attention of _____ [insert purchaser's name], who has confirmed that fact by initialing in the space provided here: _____ [space for purchaser's initials]."

RIGHT OF RESCISSION

Under section 21 of the *Real Estate Development Marketing Act*, the purchaser or lessee of a development unit may rescind (cancel) the contract of purchase and sale or contract to lease by serving written notice on the developer or the developer's brokerage, within 7 days after the later of the date the contract was entered into or the date the purchaser or lessee received a copy of this Disclosure Statement.

A purchaser may serve a notice of rescission by delivering a signed copy of the notice in person or by registered mail to

- (a) the developer at the address shown in the disclosure statement received by the purchaser,**
- (b) the developer at the address shown in the purchaser's purchase agreement,**
- (c) the developer's brokerage, if any, at the address shown in the disclosure statement received by the purchaser, or**
- (d) the developer's brokerage, if any, at the address shown in the purchaser's purchase agreement.**

The developer must promptly place purchasers' deposits with a brokerage, lawyer or notary public who must place the deposits in a trust account in a savings institution in British Columbia. If a purchaser rescinds their purchase agreement in accordance with the Act and regulations, the developer or the developer's trustee must promptly return the deposit to the purchaser.

OVERVIEW OF THIS AMENDMENT

The following disclosure statements have been filed by the Developer in respect of the project known as “Pinetree Valley Development – Pinetree Meadows”:

- Disclosure Statement dated June 30, 2022 (the “Original Disclosure Statement”); and
- First Amendment to Disclosure Statement dated July 09, 2022 (the “First Amendment”)

This Second Amendment to Disclosure Statement, dated June 30, 2023 (the “Second Amendment”) amends the Original Disclosure Statement and the First Amendment (collectively, the “Disclosure Statement”) as follows:

Overview of Exhibits: All references to Exhibits attached to the Disclosure Statement are amended as set out in this Second Amendment, such that, wherever an amended Exhibit is shown to be attached to a more recent amendment to disclosure statement, the previous version of the same Exhibit is deleted from the Disclosure Statement in their entirety and replaced with the most recent amended version of the Exhibit.

A summary of the amendments to the Exhibits is set out in the below schedule.

LISTS OF AMENDED EXHIBITS ATTACHED TO THIS SECOND AMENDMENT

Original Disclosure Statement Exhibits	First Amendment Exhibits	Second Amendment Exhibits
A – Proposed Strata Phasing Plan	A1 – Proposed Strata Phasing Plan	A2 – Proposed Strata Phasing Plan
B – Proposed Phase 1 Strata Plan	B1 – Proposed Phase 1 – 4 Strata Plans	B2 – Proposed Phase 1 – 4 Strata Plans
C – Architectural Designs for the Proposed Phase 1 Strata Lots	C1 – Architectural Designs for the Proposed Phase 1 – 4 Strata Lots	C2 – Architectural Designs for the Proposed Phase 1 – 4 Strata Lots
D – Form P – Phased Strata Plan Declaration	D1 – Form P – Phased Strata Plan Declaration	D2 – Form P – Phased Strata Plan Declaration
E – Form V – Schedule of Unit Entitlement	E1 – Form V – Schedule of Unit Entitlement	E2 – Form V – Schedule of Unit Entitlement
F – Strata Corporation Proposed Bylaws		
G – Estimated Operating Budget	G1 – Estimated Operating Budget	G2 – Estimated Operating Budget
H – Covenant in Favour of the District of Invermere		

I - Development Permit No.22.01		
J – Purchase Agreement	J1 – Purchase Agreement	J2 – Purchase Agreement
		K – Encumbrances
		L – Phases 1-4 Building Permits

2. **Section 2.1 – General Description of the Development:** Section 2.1 is deleted in its entirety and replaced with the following:

The Development, Pinetree Valley Development – Pinetree Meadows, is located in the District of Invermere. The parent parcel of the Development is described as LOT 1 DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN 8385, EXCEPT PART INCLUDED IN PLAN NEP20703 AND EPP120442, PID: 013-506-722. The civic address of the Development is 2128 15th Ave., Invermere, V0A 1K4.

The Development will consist of 8 phases with 4 strata lots in each phase, for a total of 32 strata lots. In each phase, the Developer will construct one building comprised of 4 condos. The Developer has amended the proposed strata phasing plan for all phases of the Development. The amended proposed strata phasing plan is attached as **Exhibit A2**.

Under this Disclosure Statement, the Developer is offering for sale the strata lots in phases 1, 2, 3, and 4. Copies of the proposed strata plans for phases 1, 2, 3, and 4 are attached as **Exhibit B2**. The architectural designs for the proposed phase 1, 2, 3, and 4 strata lots are attached as **Exhibit C2** to the Disclosure Statement.

The roadways between the strata lots will be common property to be used by the strata lot owners for access and servicing.

The Developer owns the lands adjacent to the strata lots and intends to develop additional bare land strata lots. The Development is to be part of a community that will be called Pine Tree Valley. Upon completion, the Pine Tree Valley community will have 32 strata lots and 68 bare land strata lots.

3. **Section 2.3 – Phasing:** Section 2.3 is deleted in its entirety and replaced with the following:

The Development is part of a phased strata plan. A phased strata plan is a development that is constructed and completed in parts, but all parts will become one strata corporation.

The Development includes 32 potential strata lots, which will be constructed in 8 phases with 4 strata lots being developed in each phase.

The Developer is currently marketing strata lots in phases 1, 2, 3, and 4. The Developer is entitled not to proceed with subsequent phases.

Development Permit No.22.01 was issued by the approving officer for the District of Invermere for all 8 phases of the Development.

The Developer has amended the proposed Form P – Phased Strata Plan Declaration. A copy of the amended Form P – Phased Strata Plan Declaration is attached as **Exhibit D2**. The Form P has not been signed by the approving officer for the District of Invermere but will be signed in due course.

Circumstances may arise in the future where the Developer must request the assistance of the strata corporation to vote in favour of certain amendments to the Form P - Phased Strata Plan Declaration with respect to the order of the phases, the number of strata lots in each phase, construction schedules, unit entitlement of the strata lots, and the phase boundaries. The contract of purchase and sale provides that the Purchaser agrees, if requested by the Developer, to deliver to the Developer in advance of such meeting, its written proxy so the Developer may exercise such votes on the Purchaser's behalf. In the absence of such a proxy, the Vendor may present the contract of purchase and sale to the meeting as evidence of the Purchaser's proxy in favour of the Developer and the Developer 's unfettered discretion to exercise the Purchaser's proxy on these matters.

4. **Section 3.1 – Unit Entitlement:** Section 3.1 is deleted in its entirety and replaced with the following:

Unit entitlement is a number that is used to determine a strata lot's proportionate share of the common property and common assets, and its contribution to the common expenses and liabilities of the strata corporation. The unit entitlement of each strata lot is the habitable area in square meters, rounded to the nearest whole number.

The Developer has amended the Form V - Schedule of Unit Entitlement that the Developer proposes to file under the Strata Property Act. The amended Form V - Schedule of Unit Entitlement is attached as **Exhibit E2**.

5. **Section 3.3 – Common Property and Facilities:** Section 3.3 is deleted in its entirety and replaced with the following:

The roadways, exterior grounds and surfaces, mechanical areas, and garbage facilities in the development as shown on the amended proposed strata phasing plan attached as **Exhibit A2** are common property of the development.

6. **Section 3.6 – Parking:** Section 3.6 is deleted in its entirety and replaced with the following:

Each strata lot will have one uncovered parking stall in the location indicated on the proposed phase 1 - 4 strata plans attached as **Exhibit B2**.

7. **Section 3.8 – Budget:** Section 3.8 is deleted in its entirety and replaced with the following:

The strata corporation will be responsible for paying for the following services:

- (a) Maintenance of the roadways, including snow clearing;
- (b) Landscaping the common property; and

- (c) Repair and maintenance of the structure and exterior of the buildings including exterior stairs, decks, railings, doors, windows, and any other object which is affixed to the exterior of the buildings.

The owner of a strata lot will be responsible for paying the taxes and utilities associated with that strata lot.

The Developer has amended the estimated operating budget and schedule showing how the budget will be allocated amongst the individual strata lot owners. A copy of the estimated operating budget and schedule are attached as **Exhibit G2**.

8. Section 3.12 - Rental Disclosure Statement: Section 3.12 is deleted in its entirety from the Disclosure Statement.

9. Section 4.1 – Legal Description: Section 4.1 is deleted in its entirety and replaced with the following:

The parent parcel of the Development is currently described as LOT 1 DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN 8385, EXCEPT PART INCLUDED IN PLAN NEP20703 AND EPP120442; PID: 013-506-722.

10. Section 4.3 – Existing Encumbrances and Legal Notations: Section 4.3 is deleted in its entirety and replaced with the following:

As of the date of this Disclosure Statement, title to the Development shows the following Charges, Liens and Interests, that are all “Permitted Encumbrances” for the purposes of the contract of purchase and sale.

The descriptions of the Charges, Liens, and Interests below are summaries only. Purchasers are recommended to obtain a title search and review title and satisfy themselves as to the charges.

- (a) Statutory Right of Way XG25633 in favour of the District of Invermere: This charge establishes a right of way that enables the District of Invermere to lay down, install, construct, entrench, maintain, inspect, alter, remove, replace, bury, use, protect, and otherwise establish and operate water and sewer works and related fixtures and equipment. The District of Invermere can access the property with or without machinery, vehicles, and equipment, and can remove soil and clear trees or other obstructions as necessary or convenient in relation to the water and sewer works. The owner of the property is prohibited from knowingly doing or permitting anything to be done on the property that will interfere with or injure the sewer and water works.
- (b) Covenant CA1641649 in favour of the District of Invermere: This charge establishes that no building shall be constructed on the Lands with a height exceeding 7.5 meters.
- (c) Statutory Right of Way CB155429 in favour of British Columbia Hydro and Power Authority: This charge establishes a right of way that enables British Columbia Hydro and Power Authority to construct, operate, and maintain the infrastructure required for the distribution of electricity.

- (d) Statutory Right of Way CB155430 in favour of Telus Communications Inc.: This charge establishes a right of way that enables Telus Communications Inc. to construct, operate, and maintain the infrastructure required for telecommunications and data transmission.
- (e) Covenant CB502444 in favour of the District of Invermere: This charge establishes a no build area, except in accordance with the engineers report attached to the charge or in accordance with a geotechnical report conducted by a Geotechnical P. Engineer, over a part of the property.

Copies of the encumbrances registered at the Land Title Office are attached to Disclosure Statement as **Exhibit K**.

11. **Section 4.4 – Proposed Encumbrances:** Section 4.4 is deleted in its entirety and replaced with the following:

- (a) Covenant in favour of the District of Invermere: This charge will establish that the Lands will only be used in a manner that is determined to be safe by an engineer’s geotechnical report. A copy of the proposed covenant is attached as **Exhibit H** to the Original Disclosure Statement.
- (b) Mortgage in favour of a financial institution: This charge will relate to a mortgage used to finance the development. The mortgage terms will provide for the partial discharge of the mortgage upon payment to the lender of an agreed portion of the sale proceeds received from the sale of a strata lot.

The Developer may register further easements, covenants or rights of way as are necessary to meet the requirements of local government authorities or utility service providers. Any such encumbrance (in addition to the encumbrances described above) shall be a permitted encumbrance and purchasers shall take title to the strata lot subject to such encumbrance.

12. **Section 5.1 – Construction Dates:** Section 5.1 is deleted in its entirety and replaced with the following:

For the purposes of this section:

“commencement of construction” means the date of commencement of excavation in respect of construction of an improvement that will become part of a development unit within the development property, and where there is no excavation it means the date of commencement of construction of an improvement that will become part of a development unit within the development property;

“completion of construction” means the first date that a development unit within the development property may be lawfully occupied, even if such occupancy has been authorized on a provisional or conditional basis; and

“estimated date range” means a date range, not exceeding three months, for the commencement of construction or the completion of construction.

The Developer has amended the proposed dates for construction for each phase of the development. A copy of the amended Form P – Phased Strata Plan Declaration is attached as **Exhibit D2**.

The Developer intends to construct phases 1-4 in the following order: Phase 1, Phase 2, Phase 4, and Phase 3.

More generally, the estimated date ranges are as follows:

- (a) Phase 1: the Developer has commenced construction, and is estimated to complete construction between September 30, 2023, and December 31, 2023.
- (b) Phase 2: the Developer has commenced construction, and is estimated to complete construction between December 01, 2023, and March 31, 2024.
- (c) Phase 4: Is estimated to commence construction between August 01, 2023, and November 30, 2023, and is estimated to complete construction between January 30, 2024, and April 30, 2024.
- (d) Phase 3: Is estimated to commence construction between February 01, 2024, and May 31, 2024, and is estimated to complete construction between July 01, 2024, and October 31, 2024.

If the Developer proceeds with any subsequent phases of the Development, then the Developer intends to market these phases in separate phased disclosure statements. The estimated date ranges for these subsequent phases are as follows:

- (a) Phase 5: Is estimated to commence construction between August 01, 2024, and November 30, 2024, and is estimated to complete construction between January 01, 2025, and April 30, 2025.
- (b) Phase 6: Is estimated to commence construction between October 01, 2024, and January 31, 2025, and is estimated to complete construction between April 01, 2025, and July 31, 2025.
- (c) Phase 7: Is estimated to commence construction between November 01, 2024, and February 28, 2025, and is estimated to complete construction between May 01, 2025, and August 31, 2025.
- (d) Phase 8: Is estimated to commence construction between December 01, 2024, and March 31, 2025, and is estimated to complete construction between July 01, 2025, and October 31, 2025.

13. **Section 6.1 – Development Approval:** Paragraph 2 of section 6.1 is deleted in its entirety and replaced with the following:

The Developer has obtained building permits issued by the District of Invermere for all phases being marketed under this Disclosure Statement. These building permits for phases 1, 2, 3, and 4 are attached to this Second Amendment as **Exhibit L**.

14. **Section 6.2 Construction Financing:** Section 6.2 is deleted in its entirety and is replaced with the following:

The Developer has a satisfactory financing commitment that is sufficient to finance the construction and completion of Phases 1-4, including the installation of all utilities and other services associated with the development units in Phases 1-4.

The satisfactory financing commitment has been arranged through the availability of the Developer's own funds and a commitment of funds from a lender.

15. **Section 7.2 – Purchase Agreement:** Section 7.2 is deleted in its entirety and replaced with the following:

The Developer will use the forms of purchase agreement substantially in the form attached to this Disclosure Statement as Exhibit J2 (the "Agreement"), subject to any changes agreed to between the Developer and the purchaser.

Exhibit J2 contains the form of purchase agreement to be used for Phases 1-4 Pre-Title sales.

Unless otherwise noted, capitalized terms used in this section 7.2 and not otherwise defined, have the same meaning given to such terms as in the Agreement.

7.2.1 Termination Provisions:

The Agreement provides that the Developer may terminate the Agreement under certain circumstances:

- i. Paragraph 7 of the Agreement provides that the Developer may terminate the Agreement if the purchaser fails to provide the Deposit as required under the Agreement; and
- ii. Paragraph 15 of Schedule A to the Agreement (the "Schedule"), provides that the Developer may terminate the Agreement if the purchaser fails to complete the transaction in accordance with the terms of the Agreement.

The Agreement provides that the Purchaser may terminate the Agreement under paragraph 1(c) of the Schedule to the Agreement (the "Schedule"), the Purchaser may elect to terminate the agreement if the Completion Date has not occurred within 2 years of the date of the Agreement.

7.2.2 Extension Provisions:

The Schedule provides in subparagraph 1(d) that the Completion Date may be delayed as the strata lot is not yet complete. Paragraph 1(e) allows the Developer to extend the Completion Date on account of construction delays or at the Developer's discretion in the event that the

strata lot is not ready to be occupied. The Purchaser has no ability to refuse any such extension. Pursuant to subparagraph 1(f) of the Schedule, if the Purchaser wishes to extend for any reason, then the Developer shall not be required to consent to such an extension.

7.2.3 Assignment Provisions:

As of January 1, 2019, developers are required under the *Real Estate Development Marketing Act* to include in the Disclosure Statement a statutorily prescribed notice to purchasers and a set of contractual terms when the developer permits a purchaser to assign a purchase agreement. Section 7.2.3 of the Disclosure Statement, and the provision from the purchase agreement set out below regarding "Assignment", shall serve as this notice to the purchaser and also provide the terms in the purchase contract for dealing with assignments.

17. Assignment:

- a. The Purchaser shall not directly or indirectly assign its rights under this Agreement without the prior consent of the Vendor, which consent may be withheld at the absolute discretion of the Vendor.
- b. Without the Vendor's prior written consent, any assignment of this purchase agreement is prohibited.
- c. An assignment under the *Real Estate Development Marketing Act* is a transfer of some or all of the rights, obligations and benefits under a purchase agreement made in respect of a strata lot in a development property, whether the transfer is made by the purchaser under the purchase agreement to another person or is a subsequent transfer.
- d. Each proposed party to an assignment agreement must provide the developer with the information and records required under the *Real Estate Development Marketing Act*.
- e. Before the developer consents to an assignment of a purchase agreement, the developer will be required to collect information and records under the *Real Estate Development Marketing Act* from each proposed party to an assignment agreement, including personal information, respecting the following:
 - i. the party's identity;
 - ii. the party's contact and business information;
 - iii. the terms of the assignment agreement.
- f. Information and records collected by the developer must be reported by the developer to the administrator designated under the *Property Transfer Tax Act*. The information and records may only be used or disclosed for tax purposes and other purposes

authorized by section 20.5 of the *Real Estate Development Marketing Act*, which includes disclosure to the Canada Revenue Agency.

- g. The Vendor will not disclose the assignment information to any party without the written consent of the Assignor and the Assignee, except as prescribed by section 20.5 of the *Real Estate Development and Marketing Act*, namely:
 - i. for the purposes of administering or enforcing *the Real Estate Development Marketing Act*, a taxation Act, the *Home Owner Grant Act*, or the *Land Deferment Act*;
 - ii. in court proceedings related to the Acts referred to in subparagraph (i);
 - iii. under an agreement that: is between the government and another government, relates to the administration or enforcement of tax enactments, and provides for the disclosure of information and records to and the exchange of similar information and records with that other government;
 - iv. for the purpose of the compilation of statistical information by the government or the government of Canada; or
 - v. to the British Columbia Assessment Authority.
- h. After the Vendor consents to any assignment of the Purchaser's rights under this Agreement, the Vendor will be required to:
 - i. collect a copy of the written and fully executed assignment agreement and keep that copy for 6 years following the date on which the strata plan is deposited;
 - ii. file with the administrator designated by the *Property Transfer Tax Act* (the "Administrator") all of the assignment information; and
 - iii. file any additional information or records requested by the Administrator in order to verify the assignment information; and

the Assignor and Assignee agree that they will provide and deliver any such materials to the Vendor upon its written request.

7.2.3 Deposit Interest Provisions

Pursuant to section 6 of the Agreement, no interest will be paid on the deposit to the purchaser.

7.2.4 Other Provisions of the Agreement

Purchasers are referred to the following provisions in paragraphs 8, 9, 18, 21, and 30:

8. Strata Lot Plans: The Purchaser acknowledges that the Purchaser is purchasing the Strata Lot as shown on the proposed form of strata plan attached as **Exhibit B2** to the Second Amendment of the Disclosure Statement. The Vendor will construct the Strata Lot substantially in accordance with such plans, however the Vendor may make modifications to the features and design of the Development and to the Strata Lot as are reasonable in the opinion of the Vendor, and may use materials other than as prescribed in the plans, all without compensation to the Purchaser.

9. Variation in Square Footage: The square footage area of the Strata Lot may vary from that set out in the proposed strata plan by 5% without compensation to the Purchaser. If the Strata Lot varies by more than 5% to the disadvantage of the Purchaser, the Vendor agrees to reduce the price of the Strata Lot by a percentage which is equal to the percentage by which the area of the property as shown on the registered strata plan exceeds 5% less than as shown in **Exhibit B2** to the Second Amendment of the Disclosure Statement. For greater clarity, there will be no adjustment made in respect of the first 5% of square footage variance, but only in respect of that portion of the strata lot which varies to the disadvantage of the Purchaser by more than 5%.

18. No Resale Prior to Completion: The Purchaser shall not advertise or offer the Strata Lot for sale, nor enter into any agreement for the sale of the Strata Lot prior to the date that is 1 year after the Completion Date without the express written consent of the Vendor, which consent may be arbitrarily withheld by the Vendor.

21. Voting on Certain Resolutions: The Purchaser agrees with the Vendor to vote in favour of any resolutions requested by the Vendor to be placed on an agenda for a special or annual general meeting that deals with amendments to the Form P - Declaration of Phased Strata Plan in respect of the order of the phases, the number of strata lots in each phase, construction schedules, unit entitlement of the strata lots, and the phase boundaries. The Purchaser further agrees, if requested by the Vendor, to deliver to the Vendor in advance of such meeting its written proxy so the Vendor may exercise such votes on the Purchaser's behalf. In the absence of such a proxy, the Vendor may present this Agreement to the meeting as evidence of the Purchaser's proxy in favour of the Vendor and the Vendor 's unfettered discretion to exercise the Purchaser's proxy on these matters.

30. Ongoing Development: The Purchaser acknowledges that the Property is part of an ongoing phased development and that further units will be constructed adjacent to the Property, with attendant construction noise, dust, dirt tracks on roadways, and coming and going of vehicular traffic association with the development. The Purchaser hereby waives all claims it may have now or in the future against the Vendor, and its successors and assigns relating to the ongoing development and the inconveniences attendant on it.

Purchasers are recommended to carefully review the entirety of Exhibit J2 in addition to what is outlined above.

DEEMED RELIANCE:

Section 22 of the *Real Estate Development Marketing Act* provides that every purchaser who is entitled to receive this Disclosure Statement is deemed to have relied on any false or misleading statement of a material fact contained in this Disclosure Statement, if any, and any omission to state a material fact. The developer, its directors and any person who has signed or authorized the filing of this Disclosure Statement are liable to compensate the purchaser for any misrepresentation, subject to any defences available under section 22 of the Act.

DECLARATION:

The foregoing statements disclose, without misrepresentation, all material facts relating to the Development referred to above, as required by the *Real Estate Development Marketing Act* of British Columbia, as of June 30, 2023.

1345408 B.C. Ltd. by its authorized signatory


Christine Scott


Director: Christine Scott



Director: Max Graham

Exhibit A2

**SKETCH PLAN TO ACCOMPANY PHASED DECLARATION
OF LOT A DISTRICT LOT 1092 KOOTENAY DISTRICT
PLAN EPP120433**

BCGS : 82K.050



The intended plot size of this plan is
560 mm in width by 432 mm in height (C size)
when plotted at a scale of 1:300.

NOTE:
All areas and building dimensions are from drawings supplied to Global Raymac Surveys on
July 6th, 2022. Site Plan drawing:
2022 07.05 - Site.dwg



This plan lies within the Regional District of East Kootenay

NOTES:

PHASE 1: 4 SL Lots and 4 LCP Lots
PHASE 2: 4 SL Lots and 4 LCP Lots
PHASE 3: 4 SL Lots and 4 LCP Lots
PHASE 4: 4 SL Lots and 4 LCP Lots
PHASE 5: 4 SL Lots and 4 LCP Lots
PHASE 6: 4 SL Lots and 4 LCP Lots
PHASE 7: 4 SL Lots and 4 LCP Lots
PHASE 8: 4 SL Lots and 4 LCP Lots

PROJECT NAME:
Pinetree Meadows
CIVIC ADDRESS:
2121 15th Avenue
Invermere, BC

LEGEND

- | | | |
|-------------------------------------|-------------------|-------------------|
| --- denotes phase boundary | □ denotes Phase 1 | □ denotes Phase 5 |
| SL denotes Strata Lot | □ denotes Phase 2 | □ denotes Phase 6 |
| LCP denotes Limited Common Property | □ denotes Phase 3 | □ denotes Phase 7 |
| (C) denotes Common Property | □ denotes Phase 4 | □ denotes Phase 8 |
| (p) denotes Parking | | |

GLOBAL RAYMAC LAND SURVEYING LTD.

1022B 7th Avenue, Invermere, BC V0A 1K0
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH.DWG

Date: March 21st, 2023

Surveyed : -

Drawn: NDW

Checked: EG/AB

PINETREE ROAD



LOT A
PLAN
EPP120443

LOT B
PLAN EPP120443

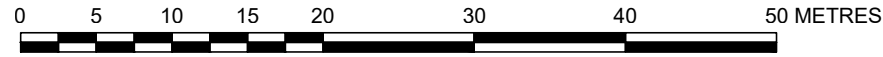
LOT B
PLAN EPP120443

15th AVENUE

Exhibit B2

**PROPOSED STRATA PLAN OF PART OF LOT A
DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN
EPP120443**

EAST KOOTENAY ASSESSMENT AUTHORITY
BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:500.

This plan lies within the Regional District of East Kootenay

NOTES:

This Plan is Phase 1 of a 8 phase strata plan under the Section 224 Strata Plan property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.

Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

The UTM Coordinates and estimated absolute accuracy achieved are derived from GNSS Observations to the published coordinates of the Invermere Active Control Station Geodetic Control Monument 164418.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 (HT2_0)).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on December 3rd, 2022
21-070 Phase 1 Buildings 1-9 Site Data - Drafting View - OVERALL SITE PLAN 2022 Nov 28 OPT-3

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within external boundaries of the land that is subject to the strata plan.

All angles deflect by multiples of 45 or 90° unless otherwise indicated.

GLOBAL RAYMAC LAND SURVEYING LTD.

1022B 7th Avenue, Invermere, BC V0A 1K0
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH1.DWG

Date: January 5th, 2023

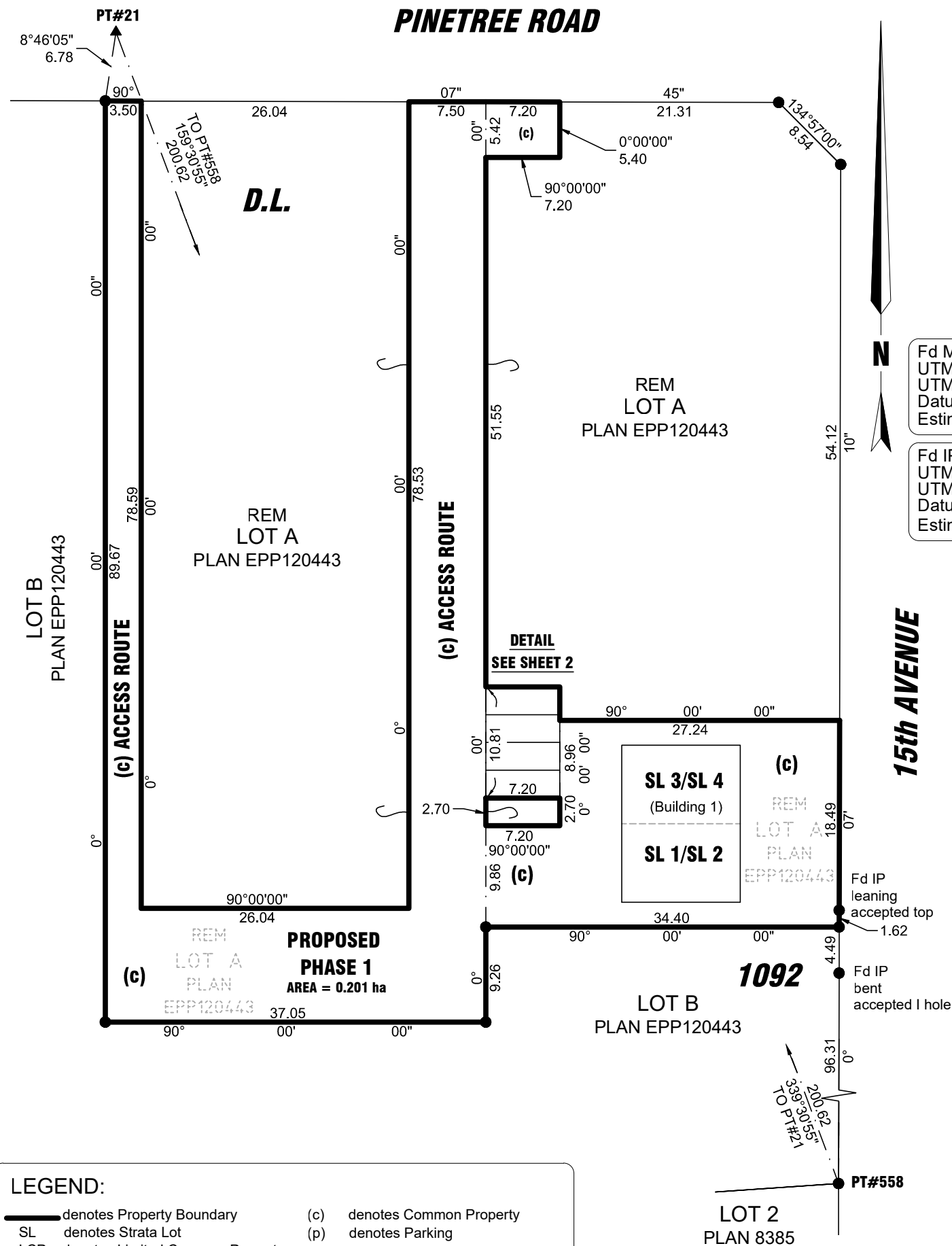
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

LEGEND:

- denotes Property Boundary
- SL denotes Strata Lot
- LCP denotes Limited Common Property
- (c) denotes Common Property
- (p) denotes Parking



**STRATA PLAN EPS
(PHASE 1) PRELIMINARY**

Sheet 1 of 5

Fd Mag Nail PT#21
UTM Northing: 5594185.55
UTM Easting: 567911.05
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

Fd IP #558
UTM Northing: 5593997.71
UTM Easting: 567981.22
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

CIVIC ADDRESS:

2121 15th Avenue,
Invermere, BC

**DETAIL OF FOUNDATION FOR BUILDING 1
(STRATA LOTS 1 TO 4)**

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

LEGEND:

LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot (p) denotes Parking
(c) denotes Common Property

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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH1.DWG

Date: January 5th, 2023

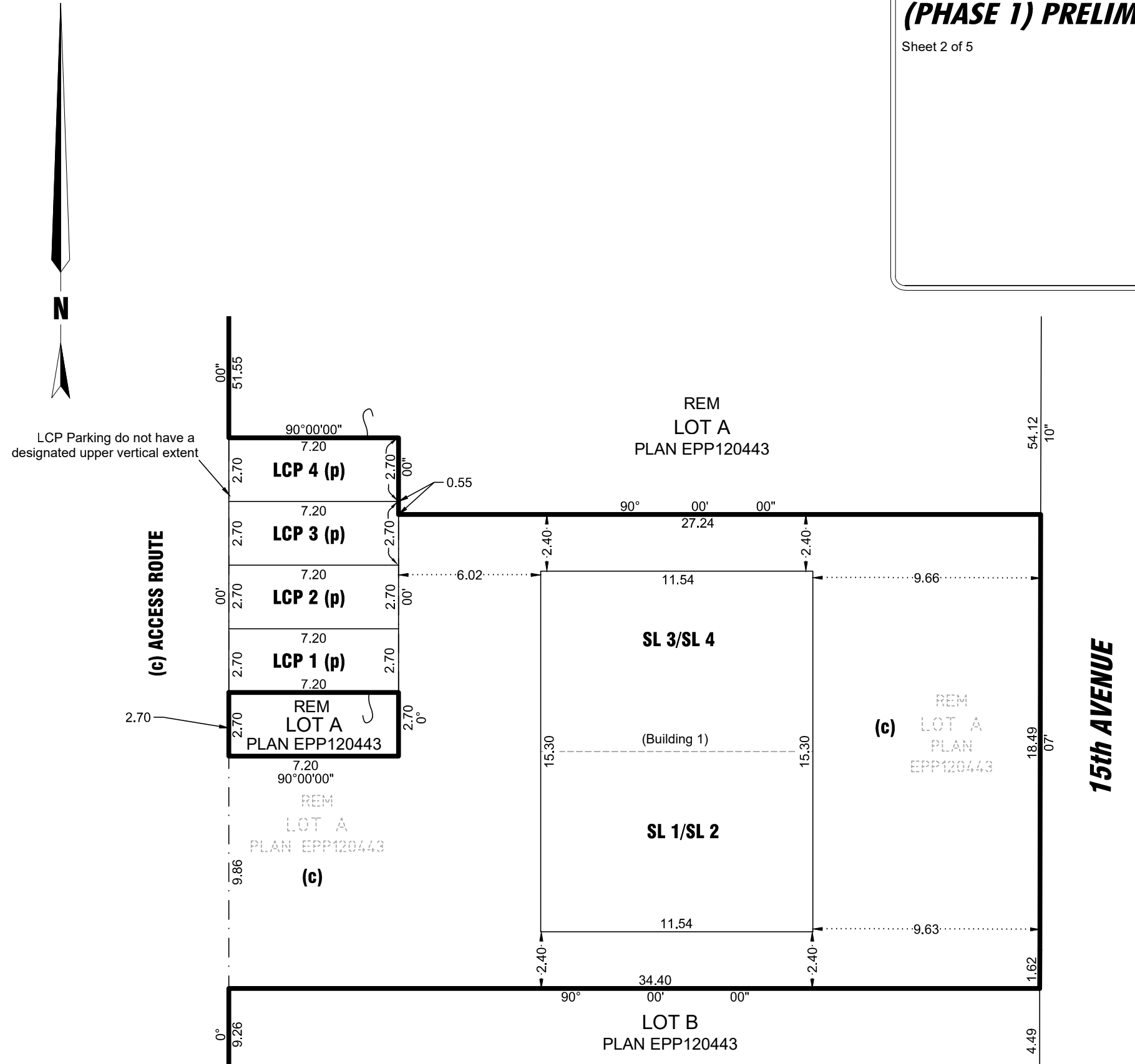
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 1) PRELIMINARY**

Sheet 2 of 5



Preliminary Plan Prepared
January 5th, 2023

**BUILDING 1
(STRATA LOTS 2 & 4)**
LOWER LEVEL

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section View arrows on this plan point in the direction of view.

LEGEND:

- SL denotes Strata Lot m² denotes meters squared
- LCP denotes Limited Common Property
- for the Exclusive Use of Designated Strata Lot
- (c) denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

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Date: January 5th, 2023

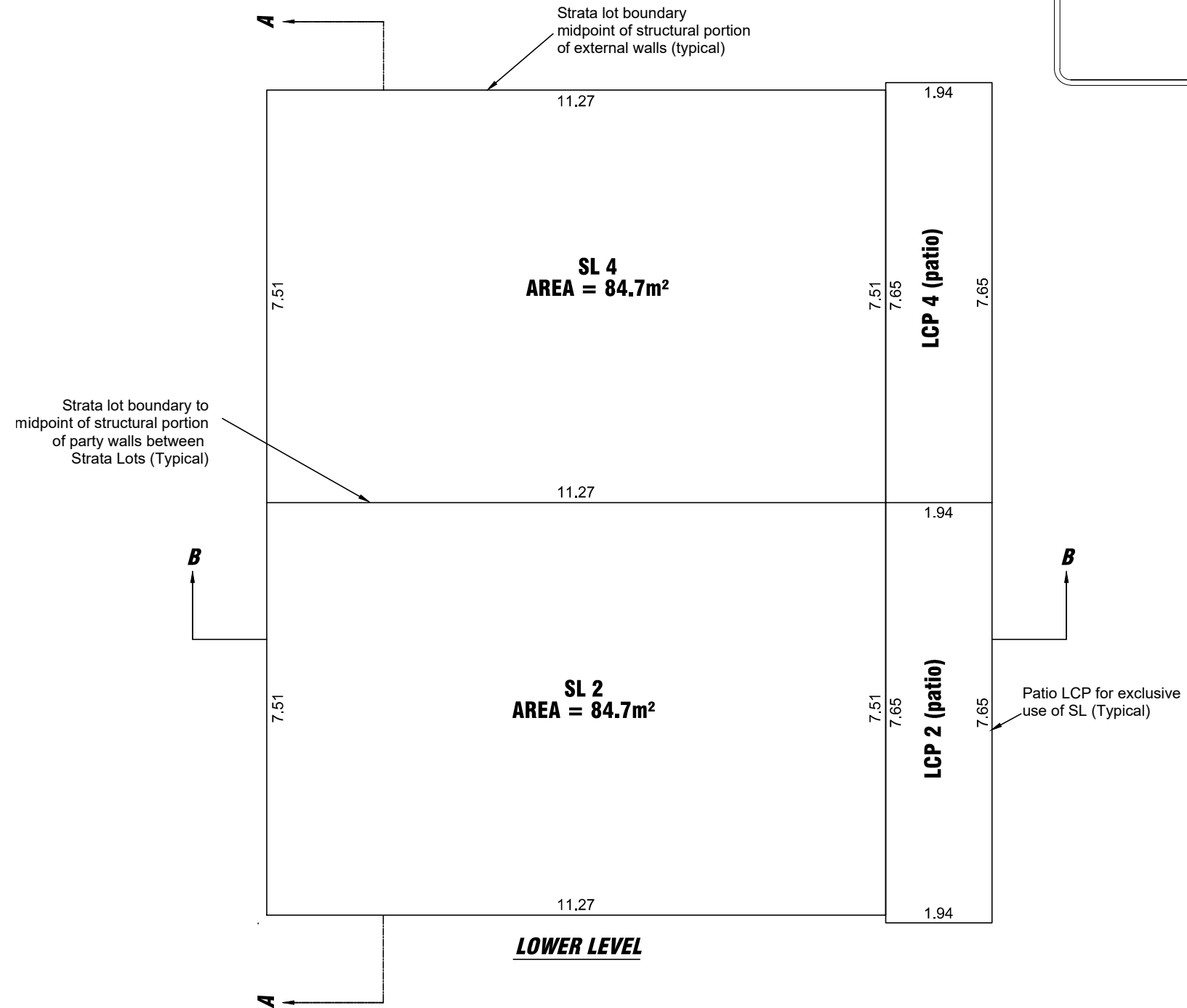
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 1) PRELIMINARY**

Sheet 3 of 5



BUILDING 1
(STRATA LOTS 1 & 3)
 MAIN FLOOR

BCGS : 82K.050



The intended plot size of this plan is
 280 mm in width by 432 mm in height (B size)
 when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section View arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
 LCP denotes Limited Common Property
 for the Exclusive Use of Designated Strata Lot
 (c) denotes Common Property
 m² denotes meters squared

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH1.DWG

Date: January 5th, 2023

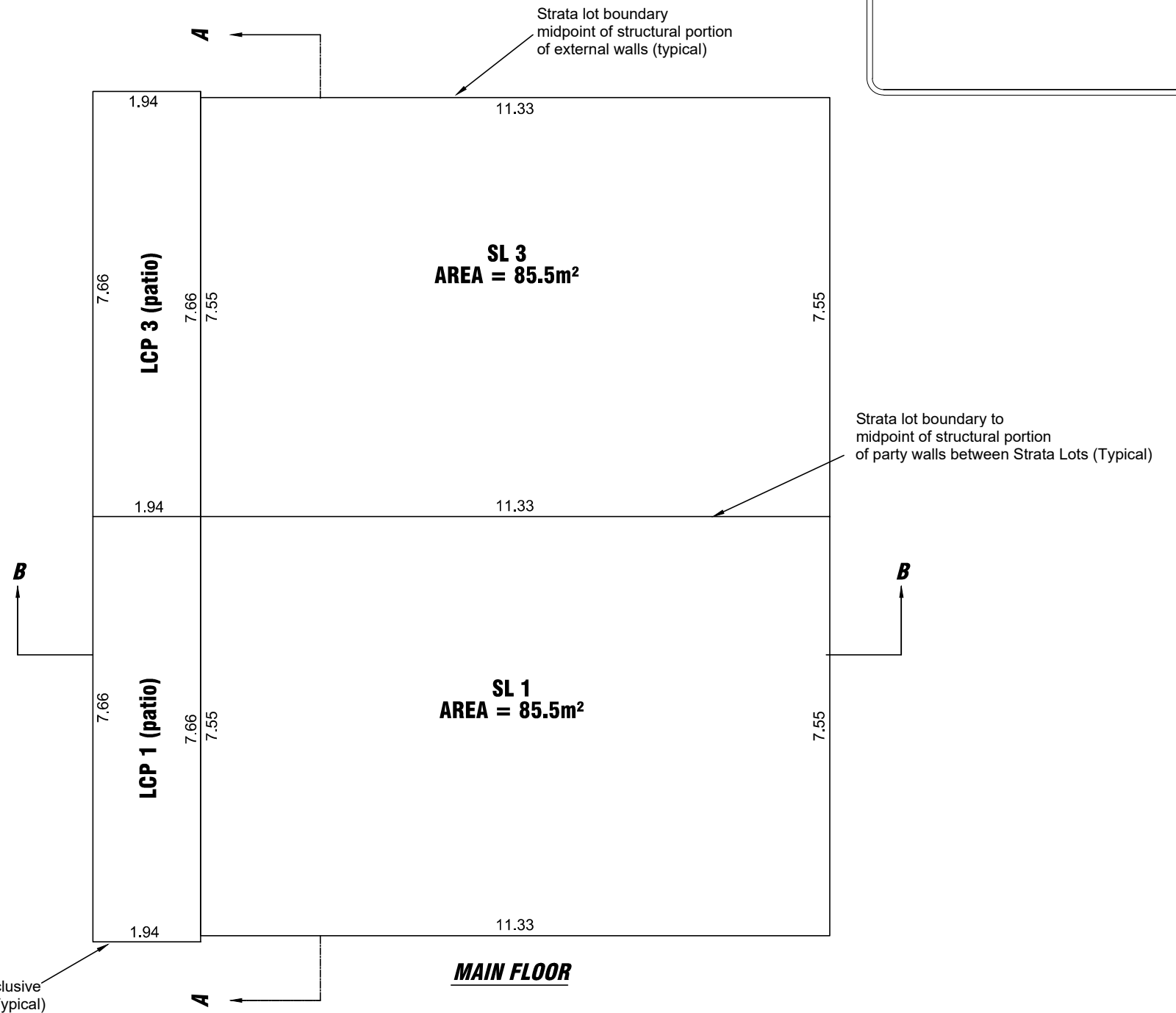
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STRATA PLAN EPS
(PHASE 1) PRELIMINARY

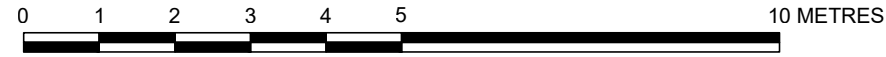
Sheet 4 of 5



Preliminary Plan Prepared
 January 5th, 2023

**BUILDING 1
(STRATA LOTS 1 TO 4)
CROSS SECTIONS**

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

LEGEND:

SL denotes Strata Lot
(c) denotes Common Property

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Date: January 5th, 2023

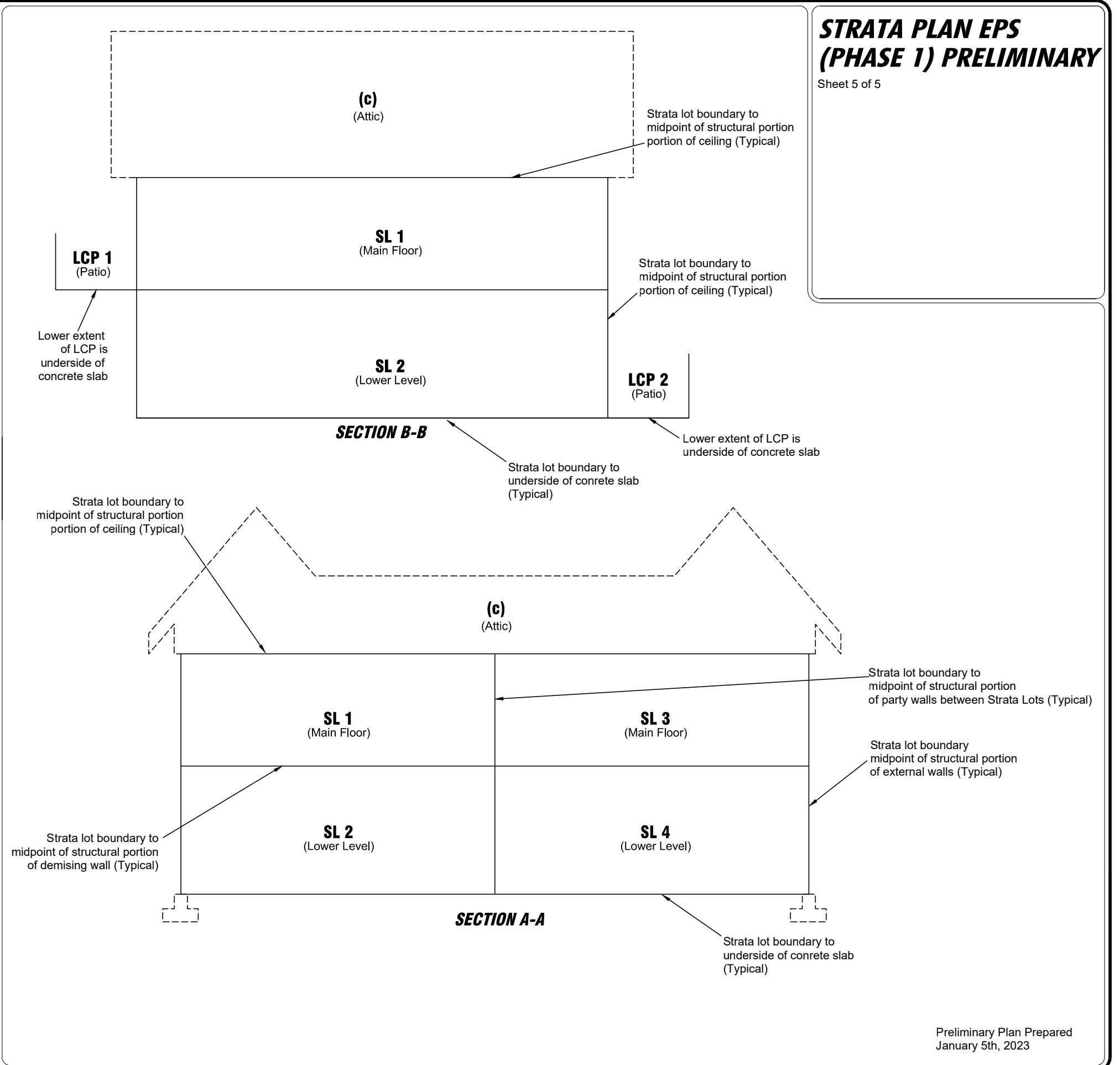
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Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 1) PRELIMINARY**

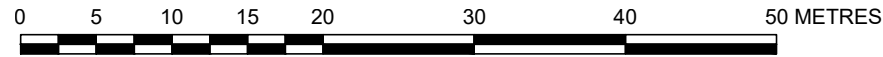
Sheet 5 of 5



Preliminary Plan Prepared
January 5th, 2023

**PROPOSED STRATA PLAN OF PART OF LOT A
DISTRICT LOT 1092 KOOTENAY DISTRICT
PLAN EPP120443**

EAST KOOTENAY ASSESSMENT AUTHORITY
BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:500.

This plan lies within the Regional District of East Kootenay

NOTES:

This Plan is Phase 2 of a 8 phase strata plan under the Section 224 Strata Plan property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.

Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 (HT2_0)).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on December 3rd, 2022:
21-070 Phase 1 Buildings 1-9 Site Data - Drafting View - OVERALL SITE PLAN 2022 Nov 28 OPT-3

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within external boundaries of the land that is subject to the strata plan.

All angles deflect by multiples of 45 or 90° unless otherwise indicated.

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Job No. : 22IX0025

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Date: January 5th, 2023

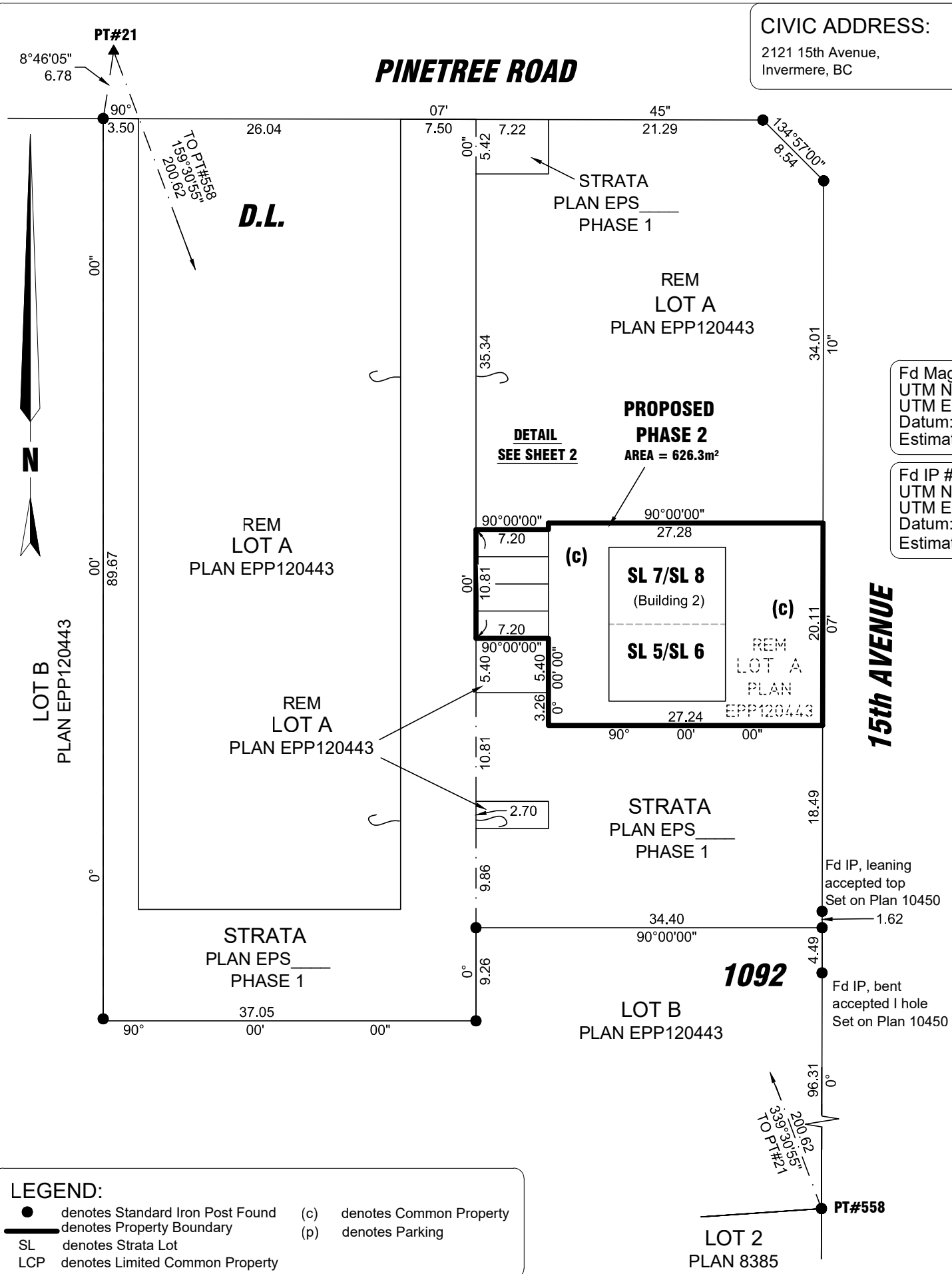
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

LEGEND:

- denotes Standard Iron Post Found
- denotes Property Boundary
- SL denotes Strata Lot
- LCP denotes Limited Common Property
- (c) denotes Common Property
- (p) denotes Parking



CIVIC ADDRESS:

2121 15th Avenue,
Invermere, BC

**STRATA PLAN EPS
(PHASE 2) PRELIMINARY**

Sheet 1 of 6

Fd Mag Nail PT#21
UTM Northing: 5594185.55
UTM Easting: 567911.05
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

Fd IP #558
UTM Northing: 5593997.71
UTM Easting: 567981.22
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

**DETAIL OF FOUNDATION FOR BUILDING 1
(STRATA LOTS 5 TO 8)**

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

LEGEND:

LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot (p) denotes Parking
(c) denotes Common Property

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH2.DWG

Date: January 5th, 2023

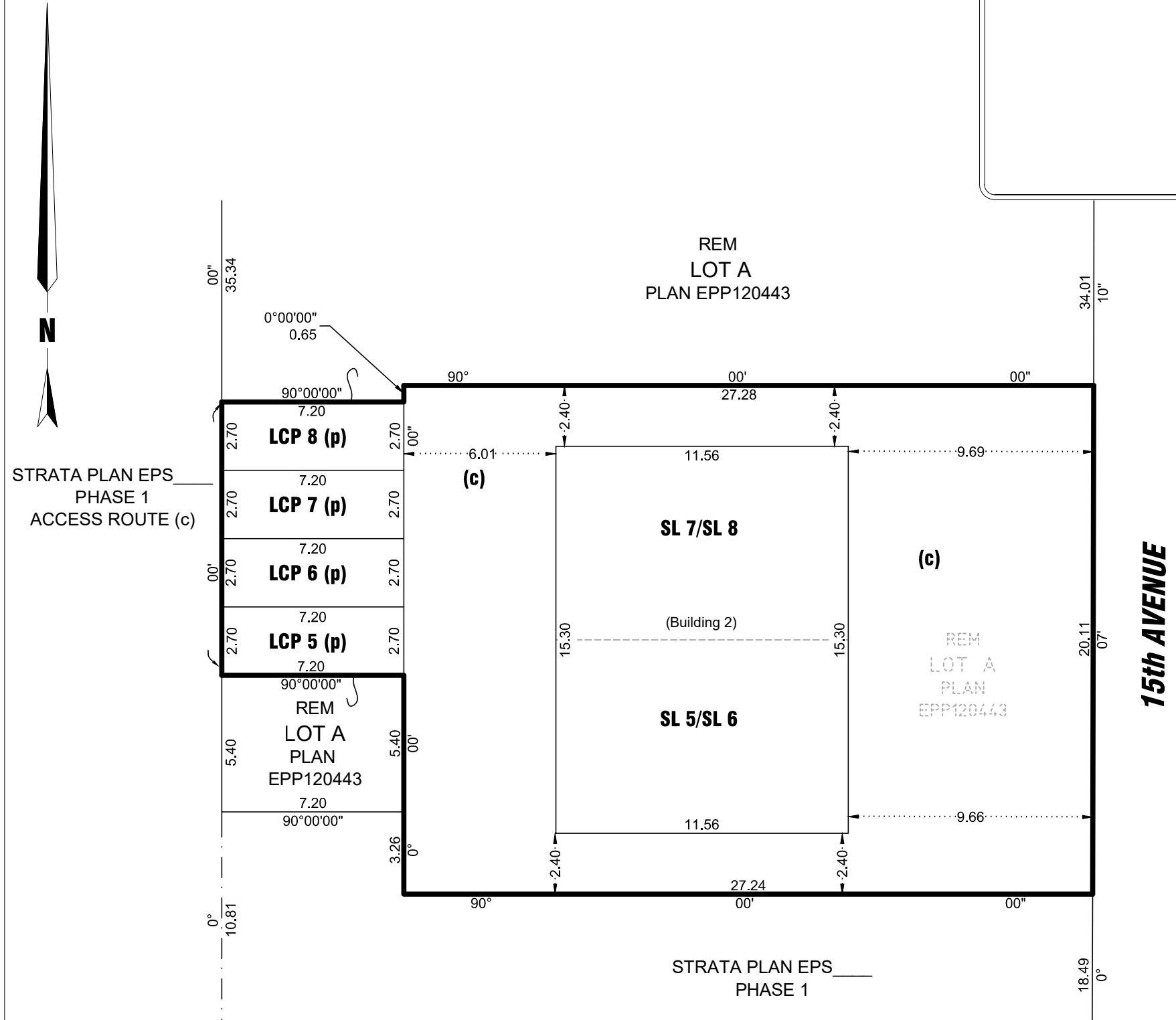
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Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 2) PRELIMINARY**

Sheet 2 of 6



15th AVENUE

STRATA PLAN EPS
PHASE 1

Preliminary Plan Prepared
January 5th, 2023

BUILDING 2
(STRATA LOTS 6 & 8)
 LOWER LEVEL

BCGS : 82K.050



The intended plot size of this plan is
 280 mm in width by 432 mm in height (B size)
 when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
 LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
 (c) denotes Common Property
 m² denotes meters squared

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CAD FILE: 22IX0025_ST1_PH2.DWG

Date: January 5th, 2023

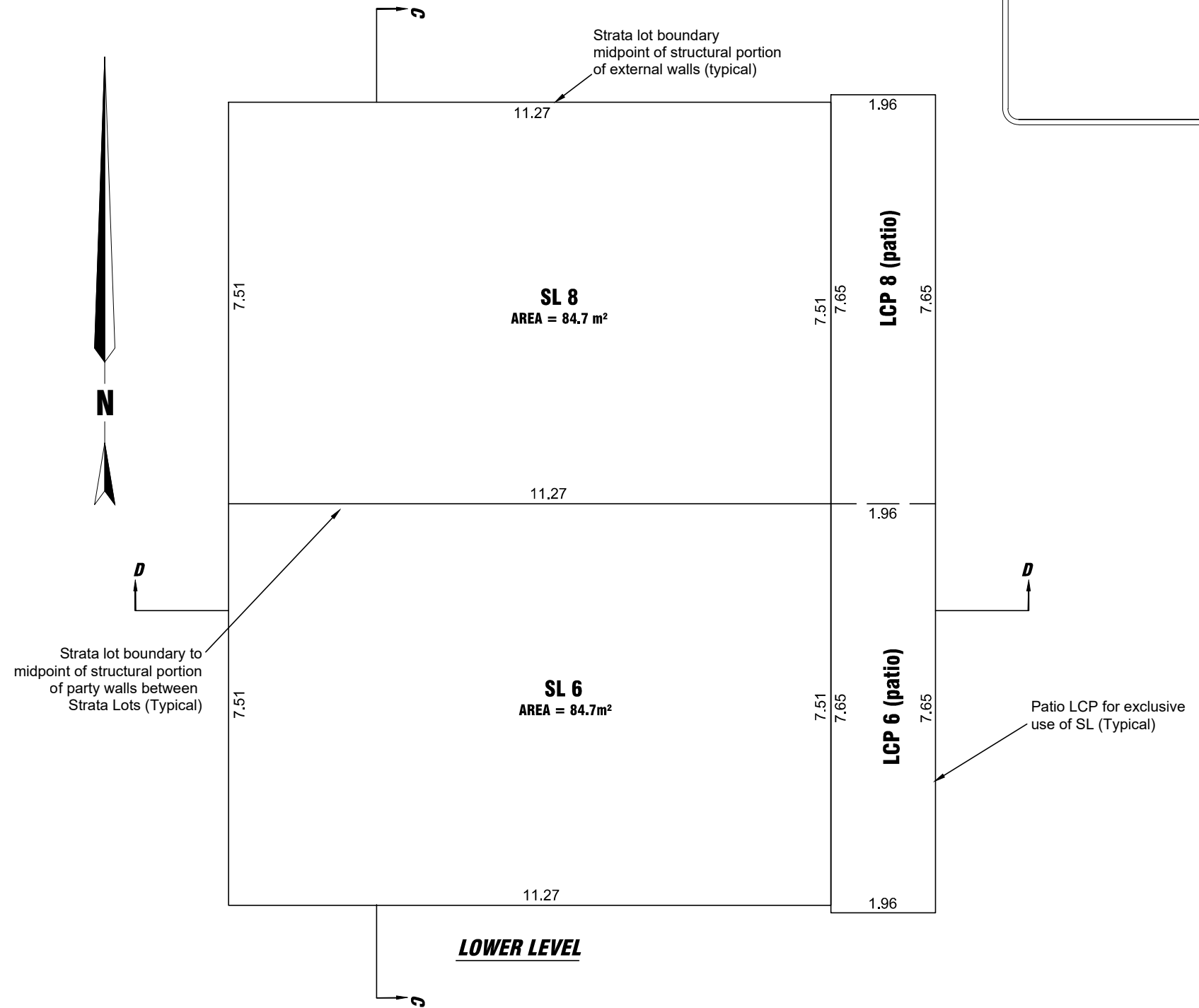
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Checked: EG/AB

STRATA PLAN EPS
(PHASE 2) PRELIMINARY

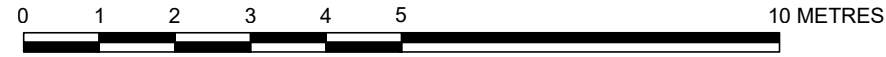
Sheet 3 of 6



Preliminary Plan Prepared
 January 5th, 2023

**BUILDING 2
(STRATA LOTS 5 & 7)**
MAIN FLOOR

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
LCP denotes Limited Common Property
for the Exclusive Use of Designated Strata Lot
(c) denotes Common Property
m² denotes meters squared

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH2.DWG

Date: January 5th, 2023

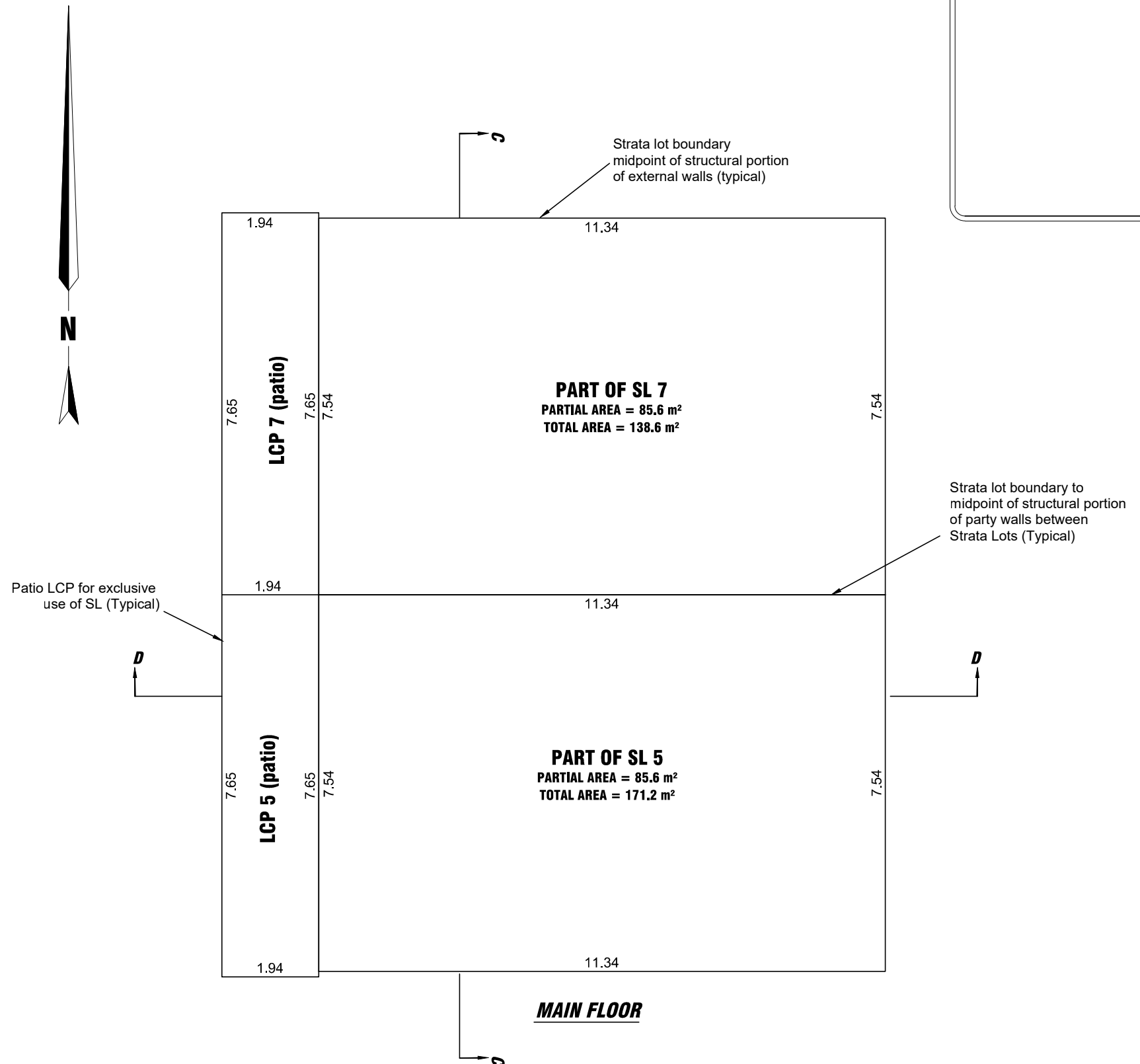
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Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 2) PRELIMINARY**

Sheet 4 of 6



MAIN FLOOR

Preliminary Plan Prepared
January 5th, 2023

**BUILDING 2
(STRATA LOT 5 & 7)
SECOND FLOOR**

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
(c) denotes Common Property
m² denotes meters squared

GLOBAL RAYMAC LAND SURVEYING LTD.

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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH2.DWG

Date: January 5th, 2023

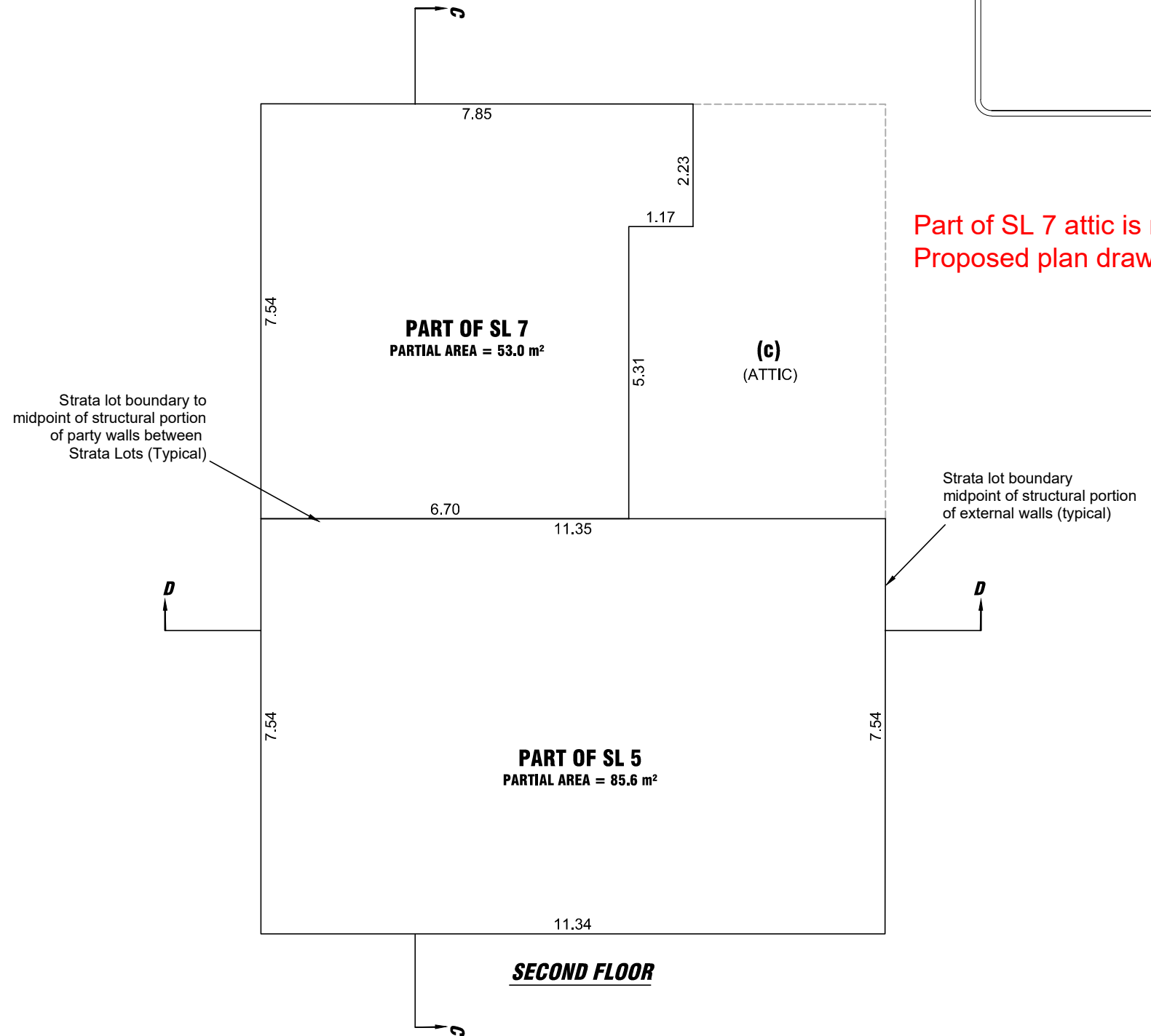
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Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 2) PRELIMINARY**

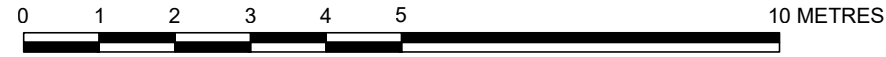
Sheet 5 of 6



Preliminary Plan Prepared
January 5th, 2023

**BUILDING 2
(STRATA LOTS 5 TO 8)
CROSS SECTIONS**

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

LEGEND:

SL denotes Strata Lot
(c) denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH2.DWG

Date: January 5th, 2023

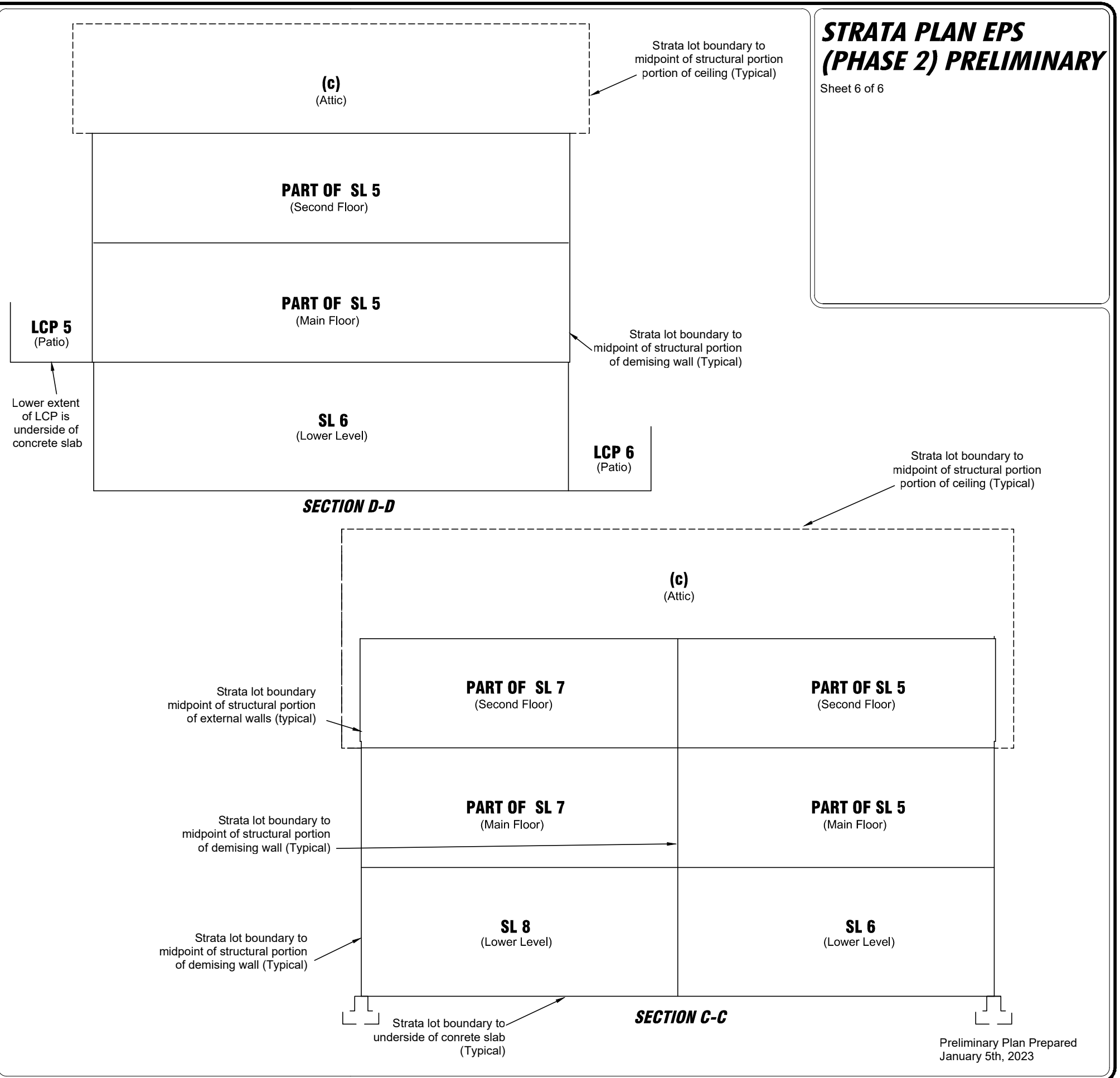
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 2) PRELIMINARY**

Sheet 6 of 6



Preliminary Plan Prepared
January 5th, 2023

**PROPOSED STRATA PLAN OF PART OF LOT A
DISTRICT LOT 1092 KOOTENAY DISTRICT
PLAN EPP120443**

EAST KOOTENAY ASSESSMENT AUTHORITY
BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:500.

This plan lies within the Regional District of East Kootenay

NOTES:

This Plan is Phase 3 of a 8 phase strata plan under the Section 224 Strata Plan property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.

Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 (HT2_0)).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on December 3rd, 2022
21-070 Phase 1 Buildings 1-9 Site Data - Drafting View - OVERALL SITE PLAN 2022 Nov 28 OPT-3

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within external boundaries of the land that is subject to the strata plan.

All angles deflect by multiples of 45° or 90° unless otherwise indicated.

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH3.DWG

Date: March 21st, 2023

Surveyed : DRS

Drawn: NDW

Checked: EG/AB

LEGEND:

- denotes Standard Iron Post Found
- denotes Property Boundary
- SL denotes Strata Lot
- LCP denotes Limited Common Property
- (c) denotes Common Property
- (p) denotes Parking

PINETREE ROAD

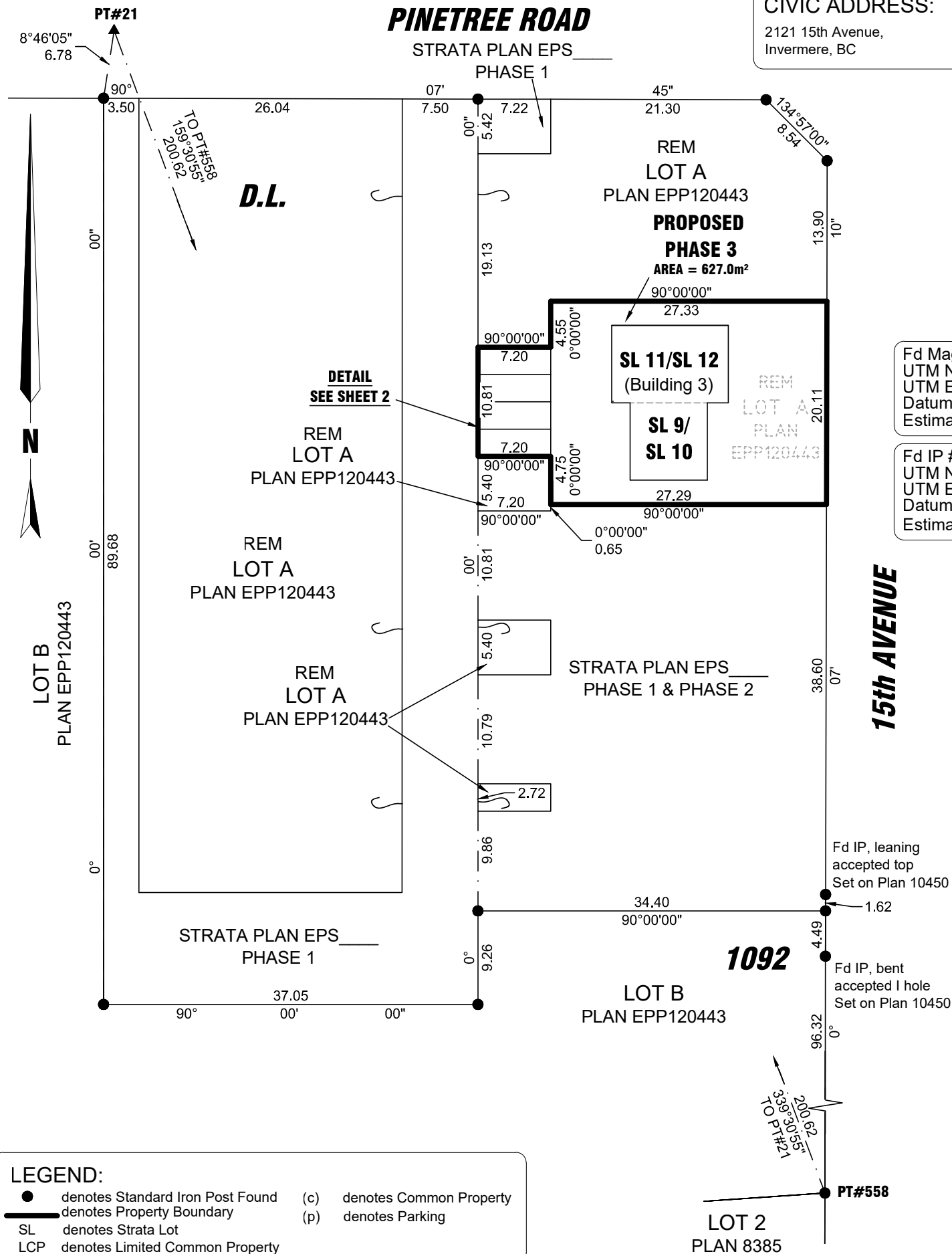
STRATA PLAN EPS
PHASE 1

CIVIC ADDRESS:

2121 15th Avenue,
Invermere, BC

**STRATA PLAN EPS
(PHASE 3) PRELIMINARY**

Sheet 1 of 6



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UTM Easting: 567911.05
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

Fd IP #558
UTM Northing: 5593997.71
UTM Easting: 567981.22
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

15th AVENUE

1092

LOT 2
PLAN 8385

**DETAIL OF FOUNDATION FOR BUILDING 3
(STRATA LOTS 9 TO 12)**

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

LEGEND:

LCP denotes Limited Common Property
for the Exclusive Use of Designated Strata Lot (p) denotes Parking
(c) denotes Common Property

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH3.DWG

Date: March 21st, 2023

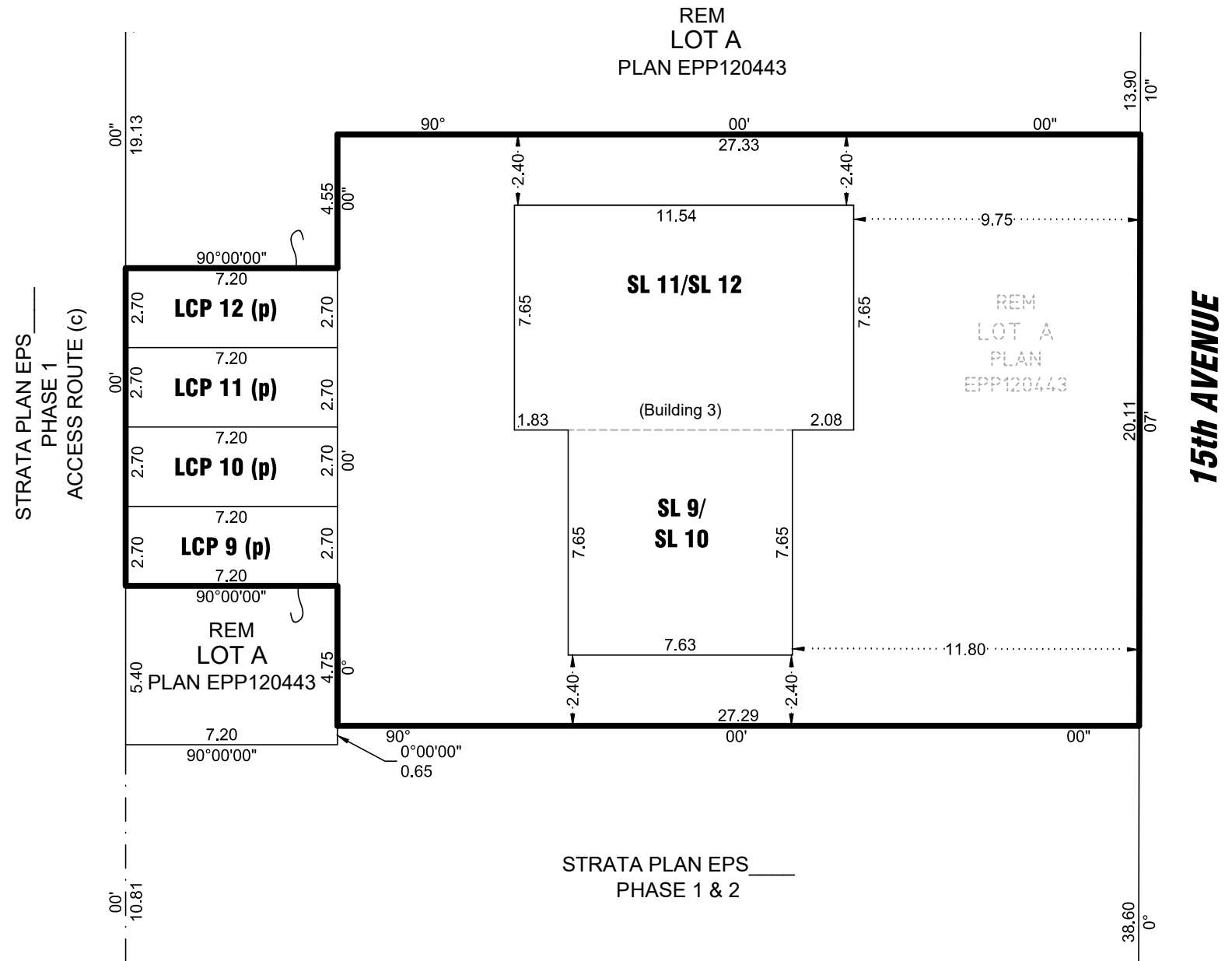
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Checked: EG/AB

**STRATA PLAN EPS
(PHASE 3) PRELIMINARY**

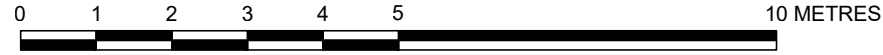
Sheet 2 of 6



Preliminary Plan Prepared
March 21st, 2023

BUILDING 3
(STRATA LOTS 10 & 12)
 LOWER LEVEL

BCGS : 82K.050



The intended plot size of this plan is
 280 mm in width by 432 mm in height (B size)
 when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND:
 SL denotes Strata Lot
 LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
 (c) denotes Common Property
 m² denotes meters squared

GLOBAL RAYMAC LAND SURVEYING LTD.

1022B 7th Avenue, Invermere, BC V0A 1K0
 Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

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Date: March 21st, 2023

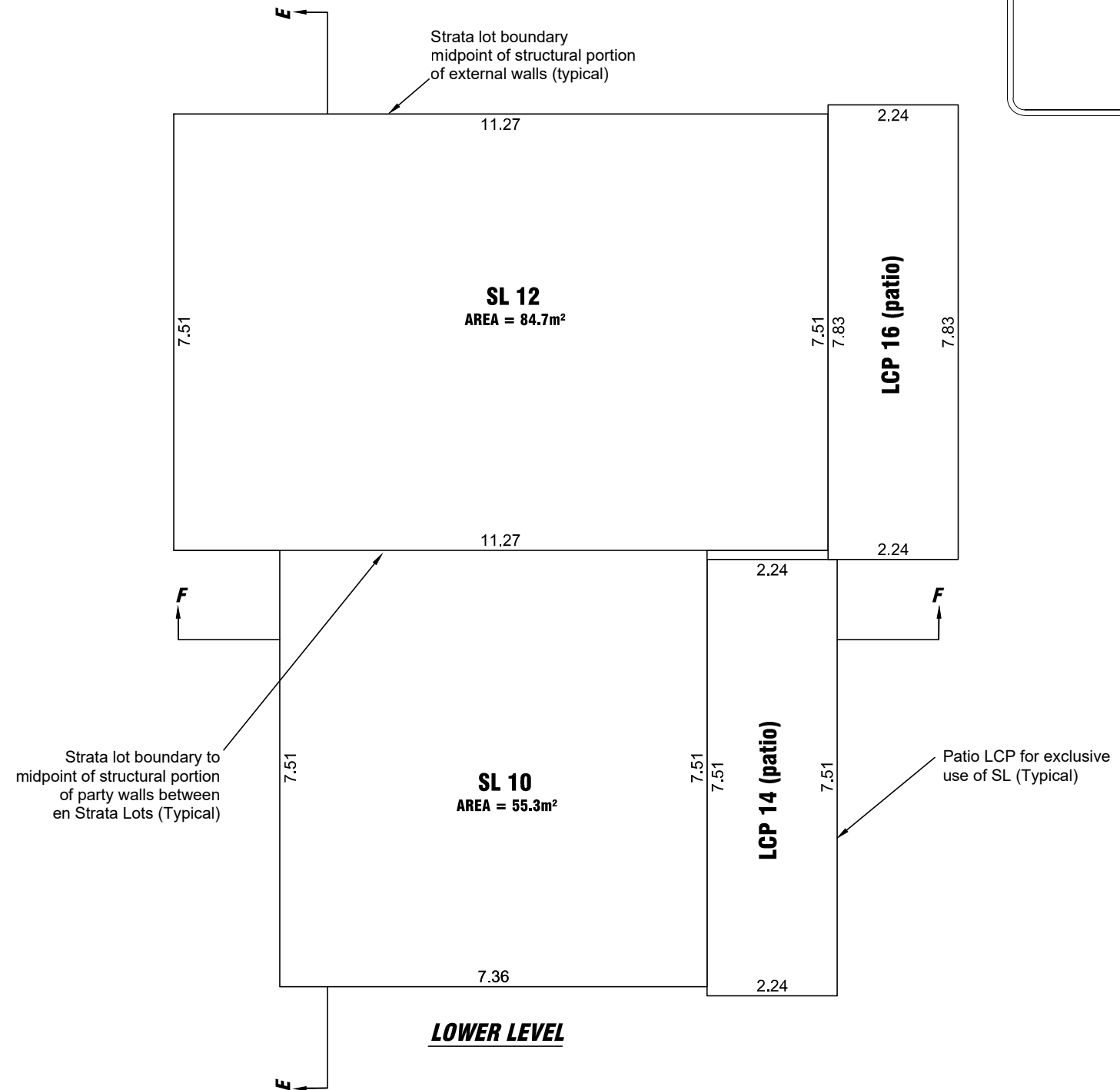
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Drawn: NDW

Checked: EG/AB

STRATA PLAN EPS
(PHASE 3) PRELIMINARY

Sheet 3 of 6

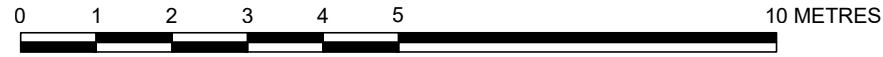


LOWER LEVEL

Preliminary Plan Prepared
 March 21st, 2023

**BUILDING 3
(STRATA LOTS 9 & 11)**
MAIN FLOOR

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
LCP denotes Limited Common Property
for the Exclusive Use of Designated Strata Lot
(c) denotes Common Property
m² denotes meters squared

GLOBAL RAYMAC LAND SURVEYING LTD.

1022B 7th Avenue, Invermere, BC V0A 1K0
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH3.DWG

Date: March 21st, 2023

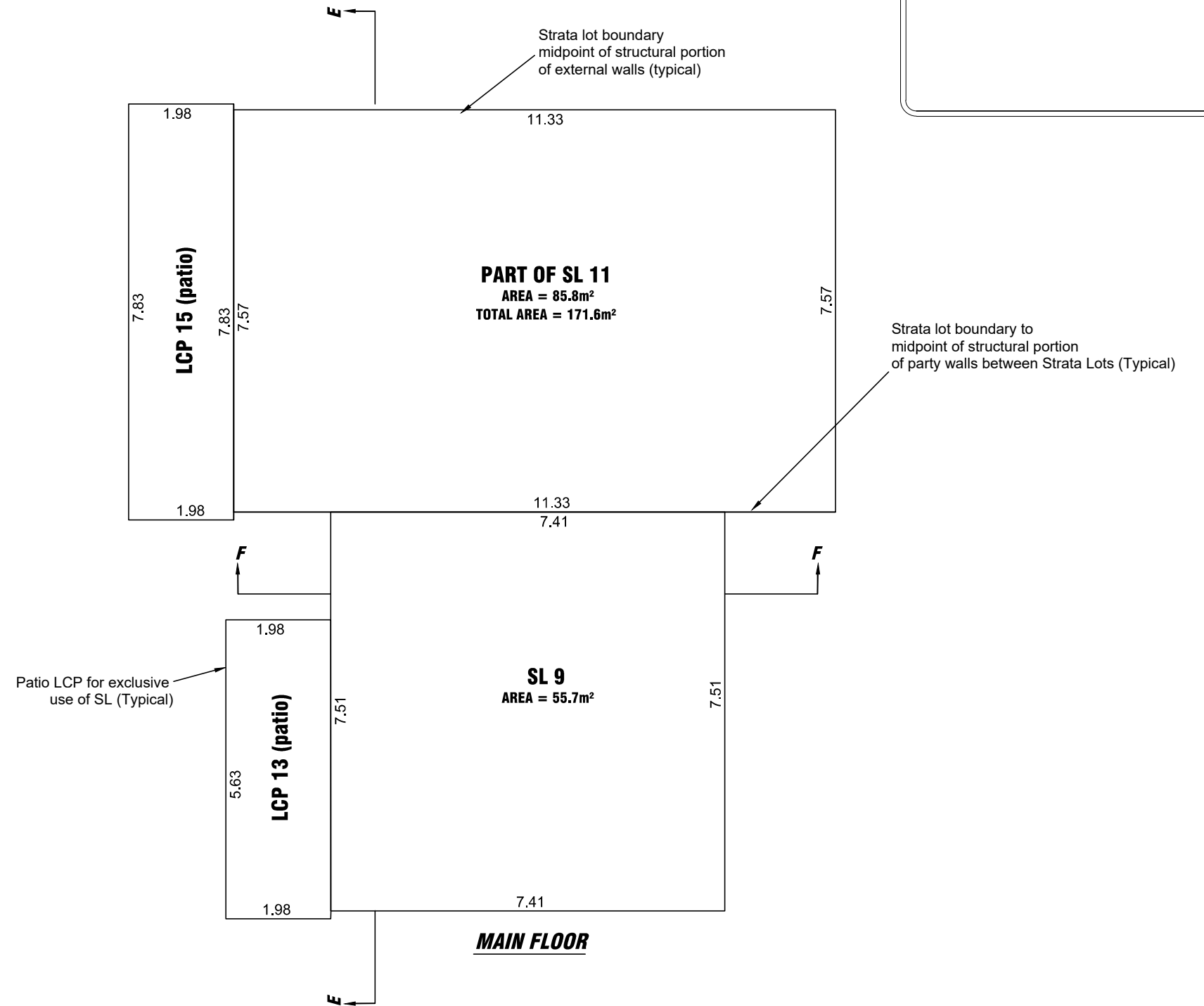
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 3) PRELIMINARY**

Sheet 4 of 6



Preliminary Plan Prepared
March 21st, 2023

**BUILDING 3
(STRATA LOT 11)
SECOND FLOOR**

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
LCP denotes Limited Common Property
for the Exclusive Use of Designated Strata Lot
(c) denotes Common Property
m² denotes meters squared

GLOBAL RAYMAC LAND SURVEYING LTD.

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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH3.DWG

Date: March 21st, 2023

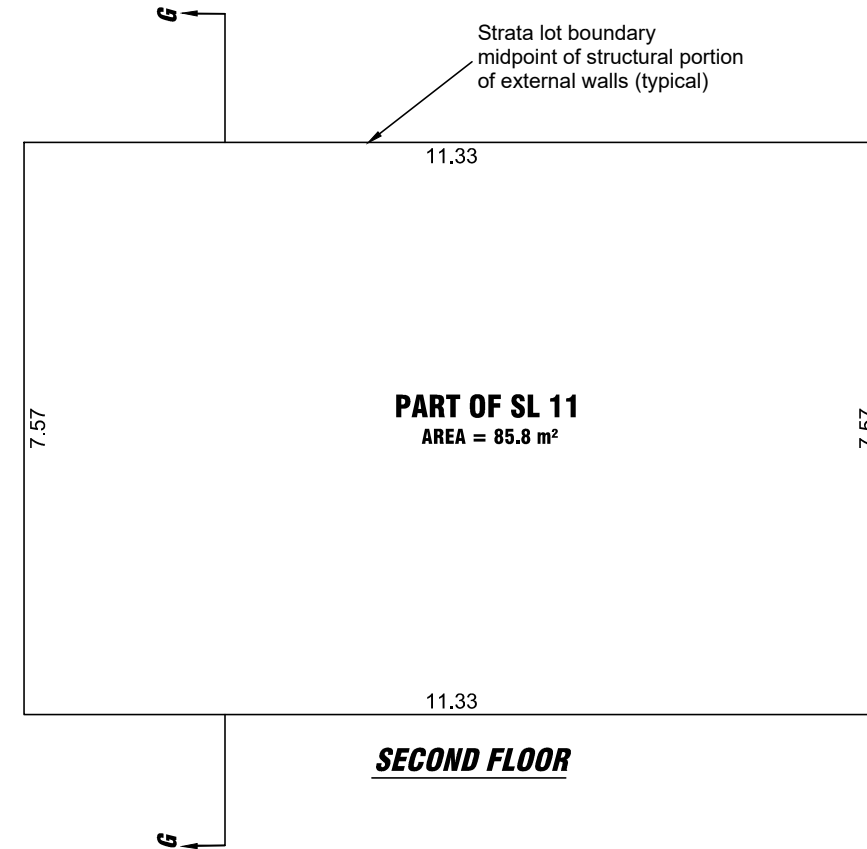
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Drawn: NDW

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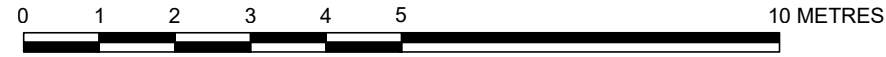
**STRATA PLAN EPS
(PHASE 3) PRELIMINARY**

Sheet 5 of 6



**BUILDING 3
(STRATA LOTS 9 TO 12)
CROSS SECTIONS**

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

LEGEND:

SL denotes Strata Lot
(c) denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

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Date: March 21st, 2023

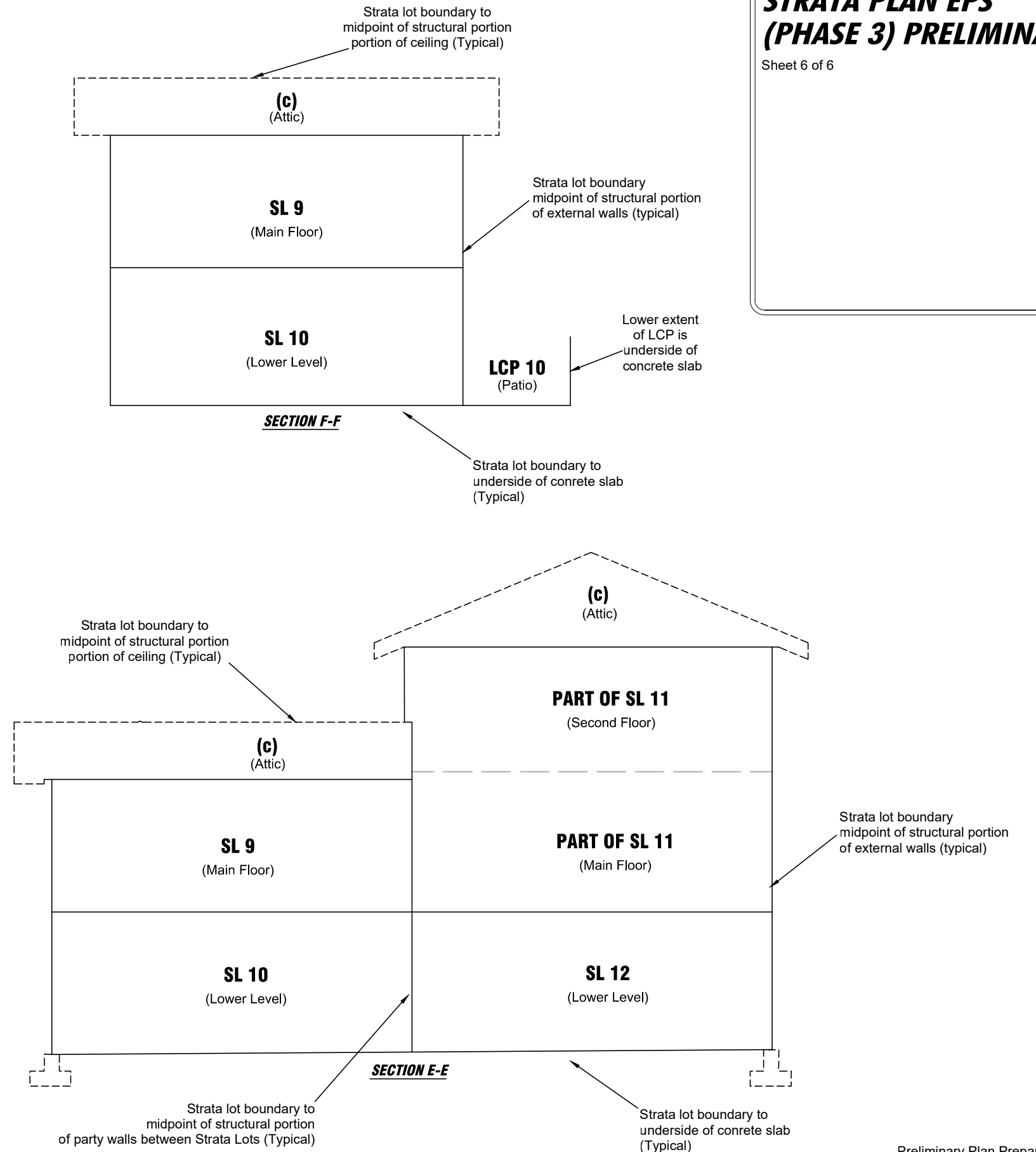
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 3) PRELIMINARY**

Sheet 6 of 6



Preliminary Plan Prepared
March 21st, 2023

**PROPOSED STRATA PLAN OF PART OF LOT A
DISTRICT LOT 1092 KOOTENAY DISTRICT
PLAN EPP120443**

EAST KOOTENAY ASSESSMENT AUTHORITY
BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:500.

This plan lies within the Regional District of East Kootenay

NOTES:

This Plan is Phase 4 of a 8 phase strata plan under the Section 224 Strata Plan property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.

Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 (HT2_0)).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on December 3rd, 2022
21-070 Phase 1 Buildings 1-9 Site Data - Drafting View - OVERALL SITE PLAN 2022 Nov 28 OPT-3

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within external boundaries of the land that is subject to the strata plan.

All angles deflect by multiples of 45° or 90° unless otherwise indicated.

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Date: ~~March 21st, 2023~~

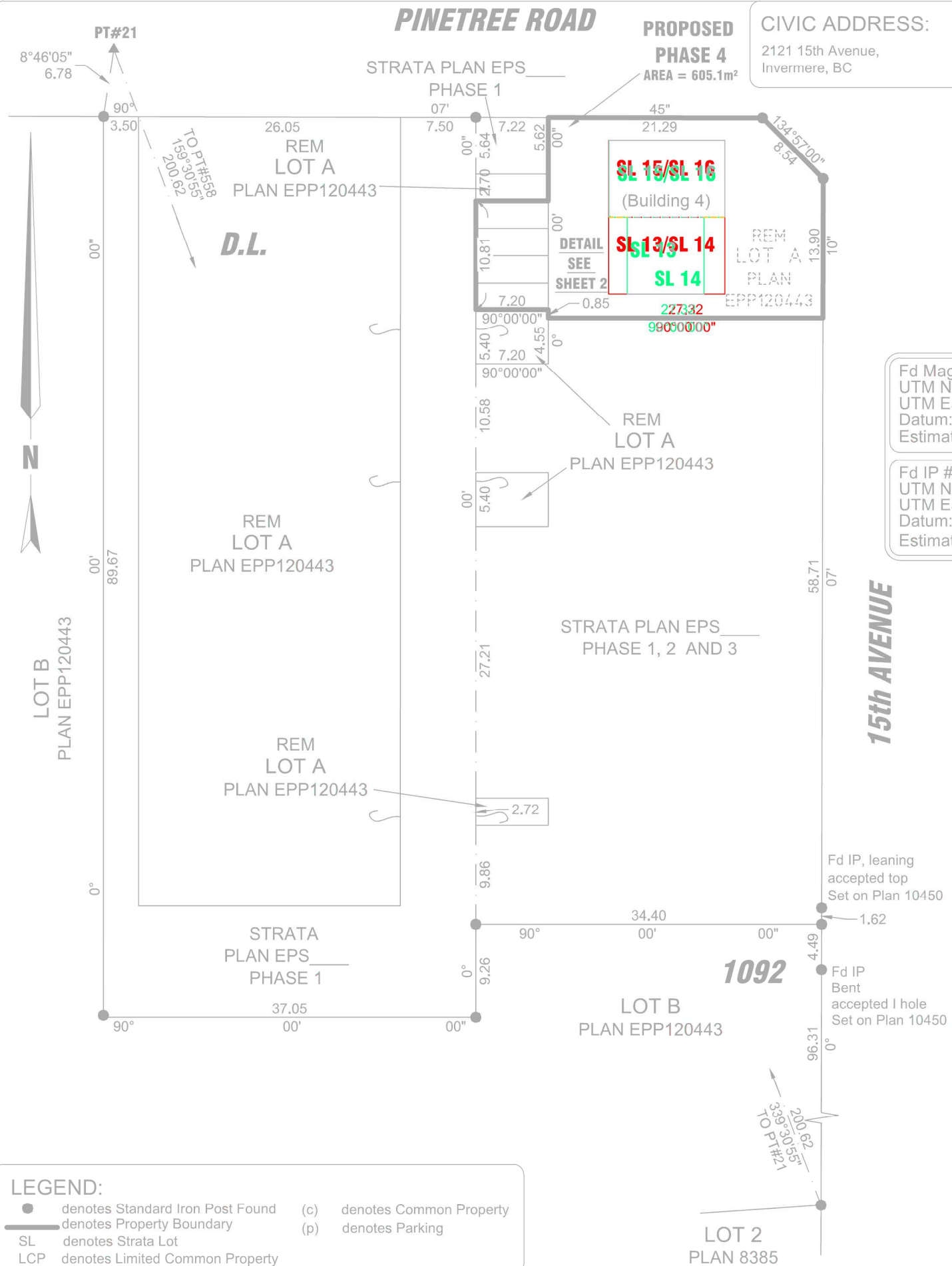
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

LEGEND:

- denotes Standard Iron Post Found
- denotes Property Boundary
- SL denotes Strata Lot
- LCP denotes Limited Common Property
- (c) denotes Common Property
- (p) denotes Parking



CIVIC ADDRESS:

2121 15th Avenue,
Invermere, BC

**STRATA PLAN EPS
(PHASE 4) PRELIMINARY**

Sheet 1 of 6

Fd Mag Nail PT#21
UTM Northing: 5594185.55
UTM Easting: 567911.05
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

Fd IP #558
UTM Northing: 5593997.71
UTM Easting: 567981.22
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

DETAIL OF FOUNDATION FOR BUILDING 4 (STRATA LOTS 13 TO 16)

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

LEGEND:

LCP denotes Limited Common Property
for the Exclusive Use of Designated Strata Lot
(p) denotes Parking
(c) denotes Common Property

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH4.DWG

Date: ~~March 21st, 2023~~

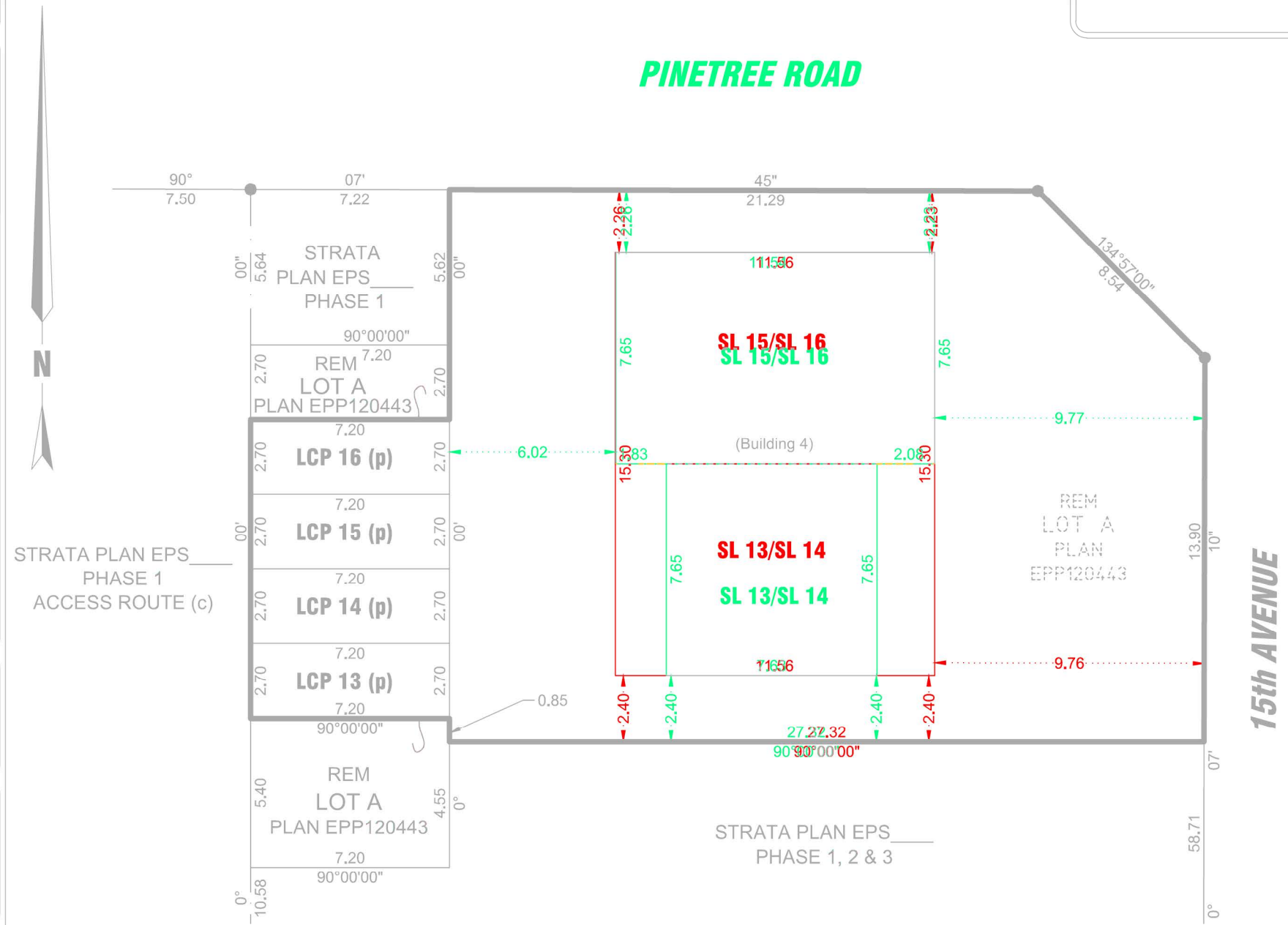
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

STRATA PLAN EPS (PHASE 4) PRELIMINARY

Sheet 2 of 6



15th AVENUE

PINETREE ROAD

**BUILDING 4
(STRATA LOTS 14 AND 16)
LOWER LEVEL**

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
(c) denotes Common Property
m² denotes meters squared

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH4.DWG

Date: ~~March 21st, 2023~~
March 21st, 2023

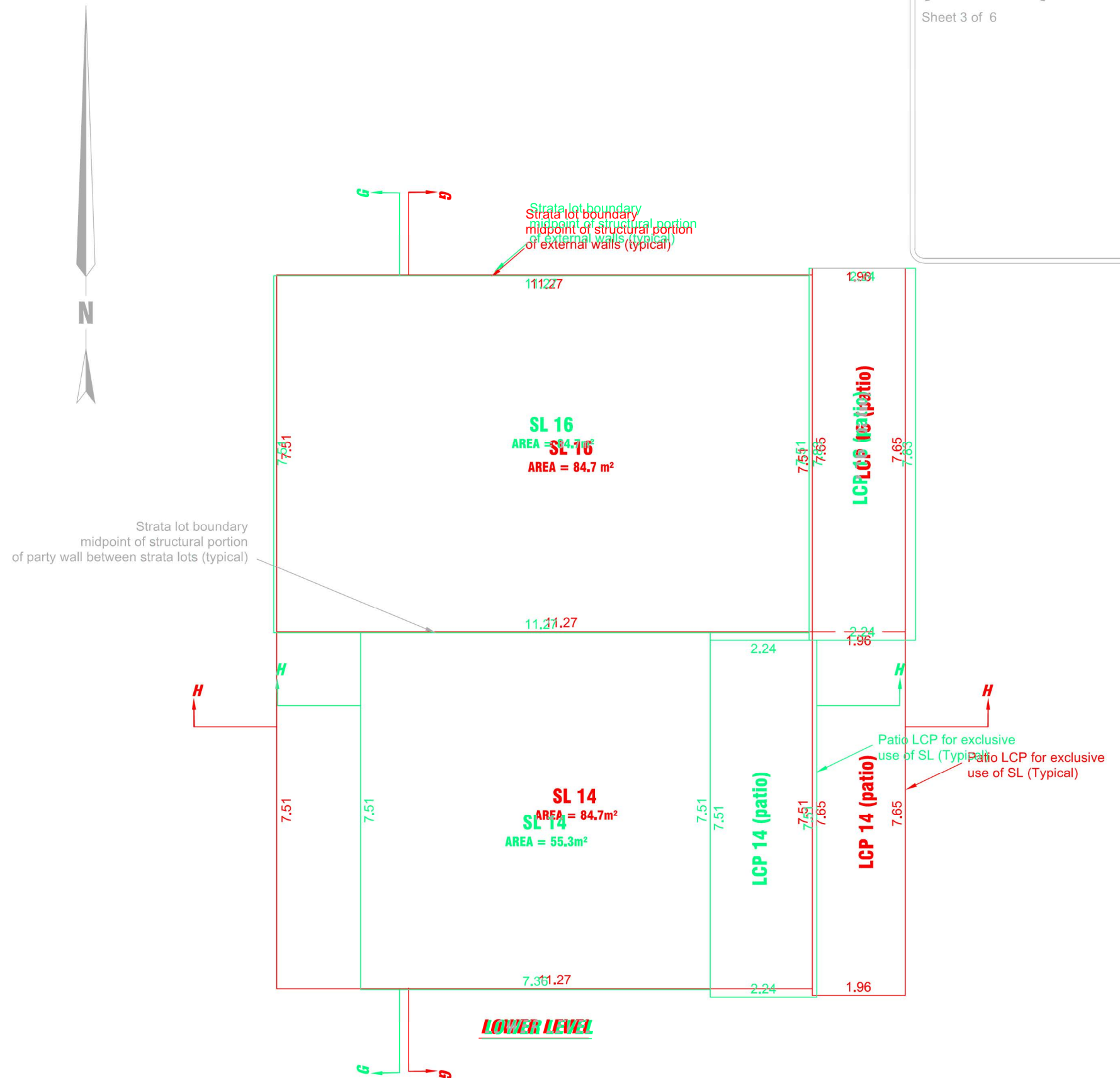
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 4) PRELIMINARY**

Sheet 3 of 6



**BUILDING 4
(STRATA LOTS 13 AND 15)
MAIN FLOOR**

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND:

SL	denotes Strata Lot
LCP	denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
(c)	denotes Common Property
m ²	denotes meters squared

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH4.DWG

Date: ~~March 13th, 2023~~
March 21st, 2023

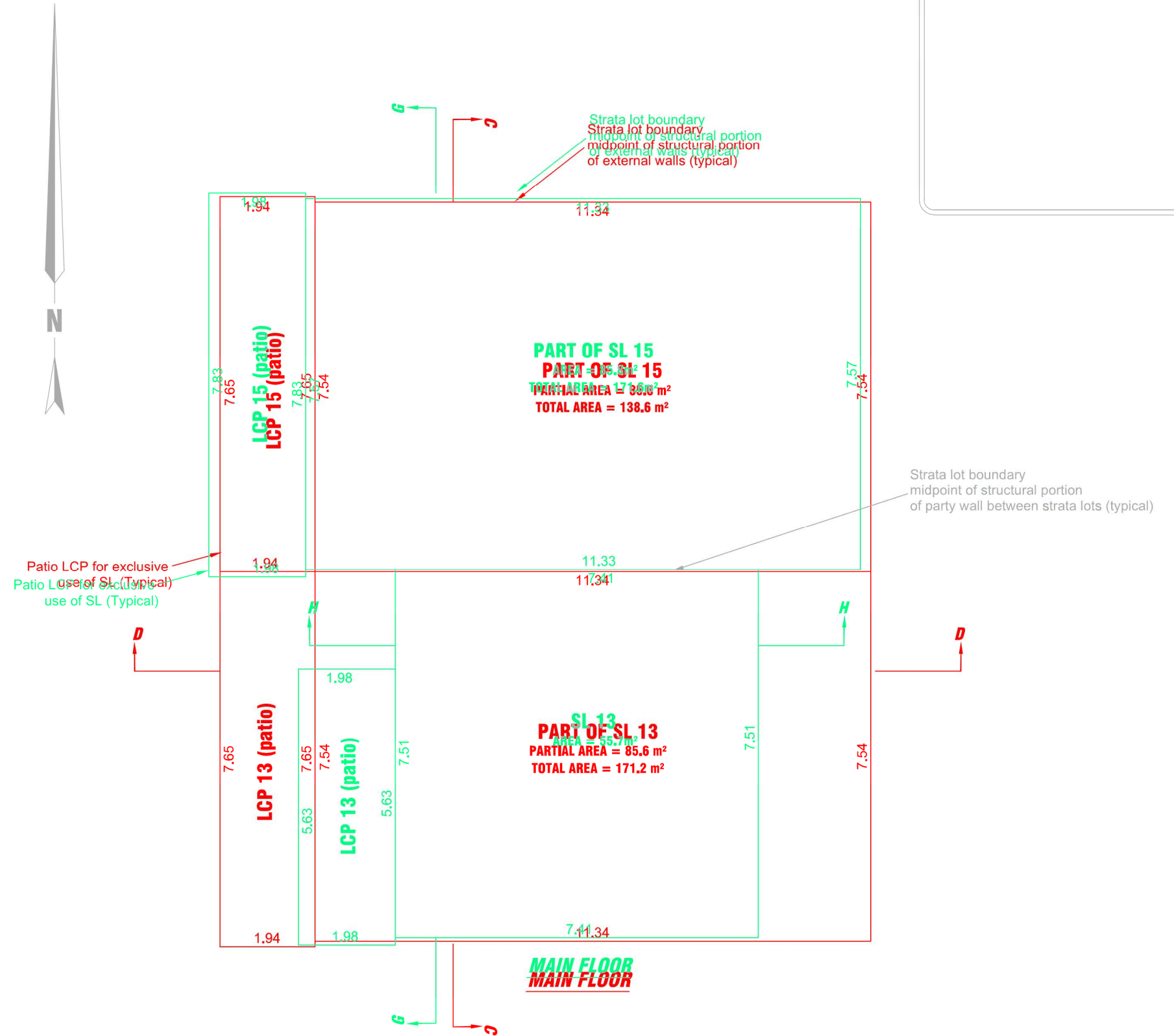
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 4) PRELIMINARY**

Sheet 4 of 6



BUILDING 4
(STRATA LOTS 13 AND 15)
 SECOND FLOOR

BCGS : 82K.050



The intended plot size of this plan is
 280 mm in width by 432 mm in height (B size)
 when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND:

SL	denotes Strata Lot
LCP	denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
(c)	denotes Common Property
m ²	denotes meters squared

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH4.DWG

Date: ~~March 21st, 2023~~

Surveyed : DRS

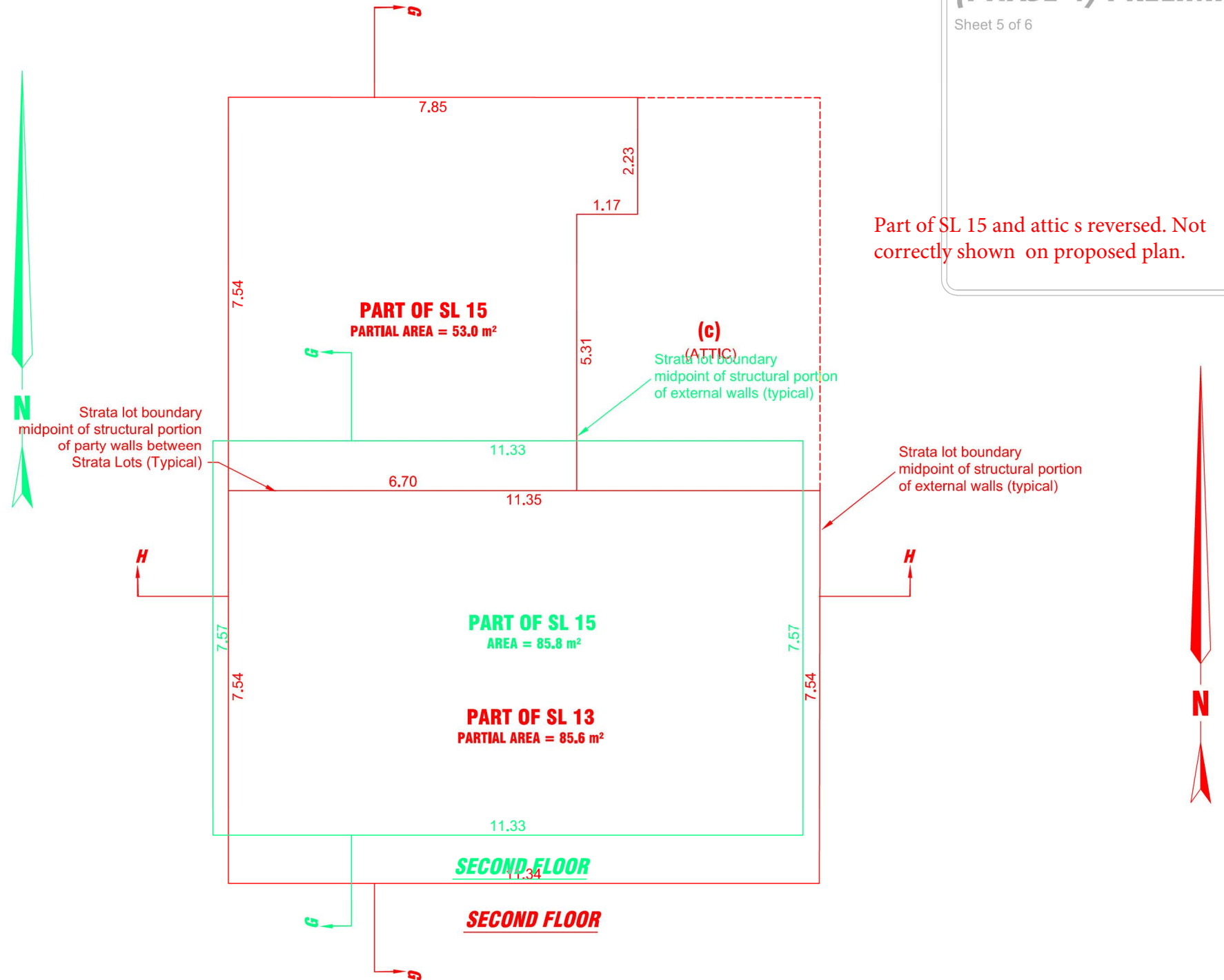
Drawn: NDW

Checked: EG/AB

STRATA PLAN EPS
(PHASE 4) PRELIMINARY

Sheet 5 of 6

Part of SL 15 and attic s reversed. Not correctly shown on proposed plan.



**BUILDING 4
(STRATA LOTS 13 TO 16)
CROSS SECTIONS**

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:100.

NOTES:

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

LEGEND:

SL denotes Strata Lot
(c) denotes Common Property

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CAD FILE: 22IX0025_ST1_PH4.DWG

Date: ~~March 21st, 2023~~ March 21st, 2023

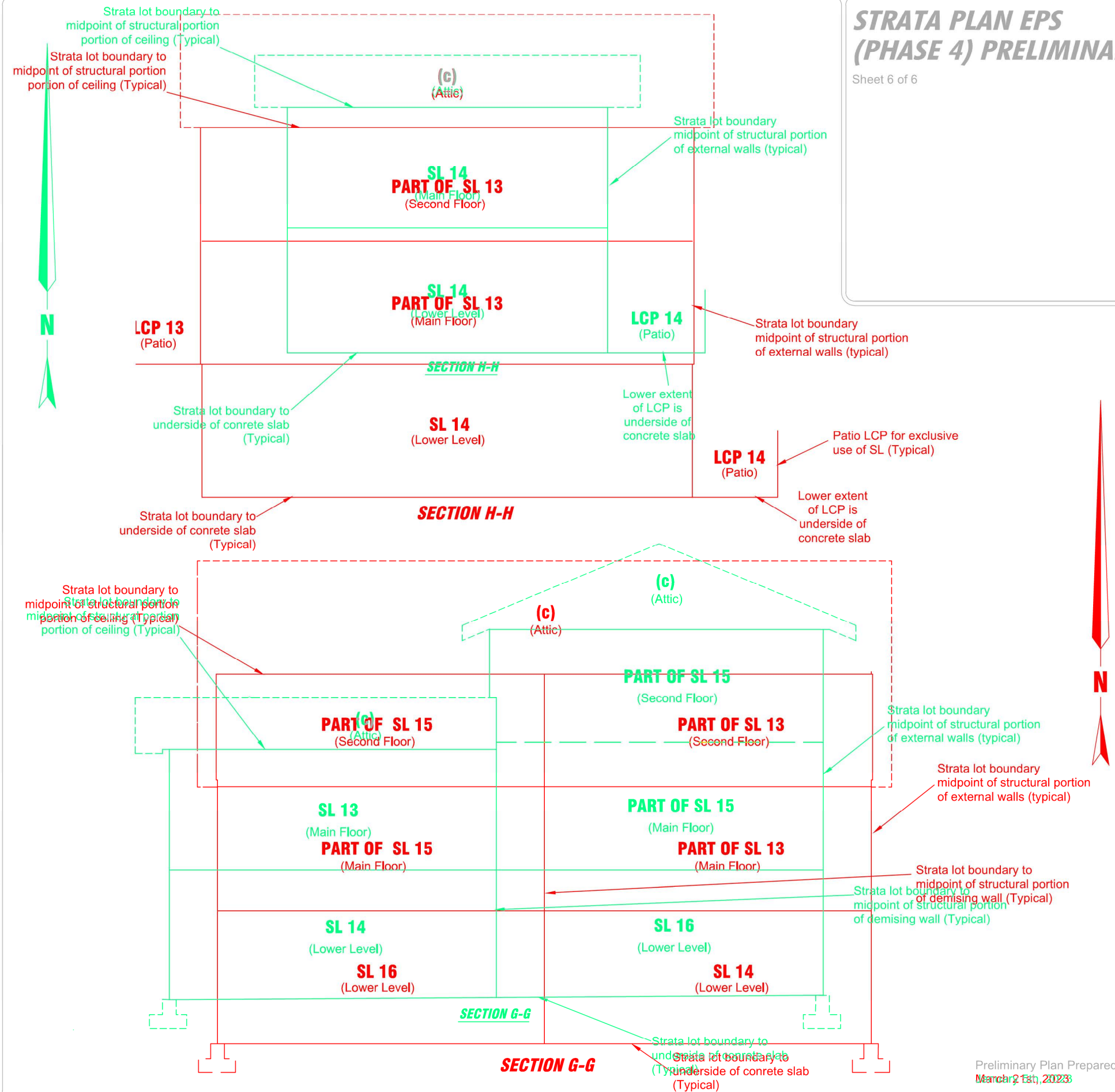
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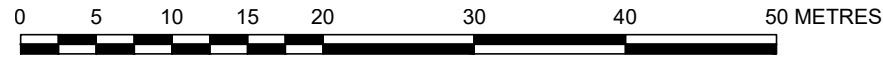
**STRATA PLAN EPS
(PHASE 4) PRELIMINARY**

Sheet 6 of 6



**PROPOSED STRATA PLAN OF PART OF LOT A
DISTRICT LOT 1092 KOOTENAY DISTRICT
PLAN EPP120443**

EAST KOOTENAY ASSESSMENT AUTHORITY
BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:500.

This plan lies within the Regional District of East Kootenay

NOTES:

This Plan is Phase 5 of a 8 phase strata plan under the Section 224 Strata Plan property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.

Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 (HT2_0)).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on December 3rd, 2022
21-070 Phase 1 Buildings 1-9 Site Data - Drafting View - OVERALL SITE PLAN 2022 Nov 28 OPT-3

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within external boundaries of the land that is subject to the strata plan.

All angles deflect by multiples of 45 or 90° unless otherwise indicated.

Fd Mag Nail PT#21	Fd IP #558
UTM Northing: 5594185.55	UTM Northing: 5593997.71
UTM Easting: 567911.05	UTM Easting: 567981.22
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11	Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.	Estimated Absolute Accuracy is 0.04 metres.

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CAD FILE: 22IX0025_ST1_PH5.DWG

Date: January 5th, 2023

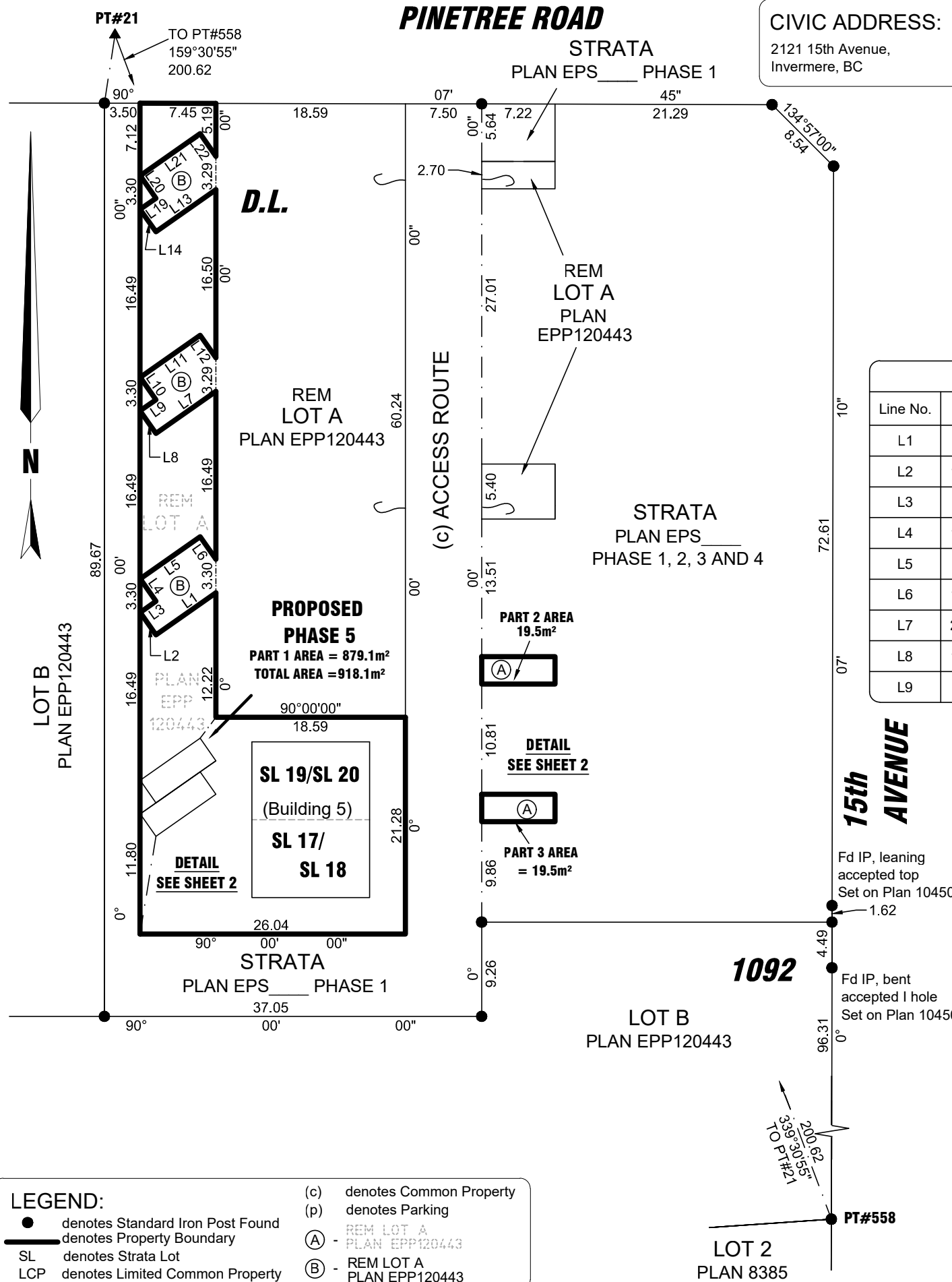
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

LEGEND:

- denotes Standard Iron Post Found
- denotes Property Boundary
- SL denotes Strata Lot
- LCP denotes Limited Common Property
- (c) denotes Common Property
- (p) denotes Parking
- (A) - REM LOT A PLAN EPP120443
- (B) - REM LOT A PLAN EPP120443



CIVIC ADDRESS:
2121 15th Avenue,
Invermere, BC

**STRATA PLAN EPS
(PHASE 5) PRELIMINARY**

Sheet 1 of 6

Line Table					
Line No.	Bearing	Distance	Line No.	Bearing	Distance
L1	35°00'00"	2.70	L10	125°00'00"	1.89
L2	125°00'00"	7.20	L11	35°00'00"	2.70
L3	35°00'00"	2.70	L12	125°00'00"	7.20
L4	125°00'00"	1.89	L13	35°00'00"	2.70
L5	35°00'00"	2.70	L14	125°00'00"	7.20
L6	125°11'15"	7.22	L15	35°00'00"	2.70
L7	215°00'00"	2.70	L16	125°00'00"	1.89
L8	125°00'00"	7.20	L17	35°00'00"	2.70
L9	35°00'00"	2.70	L18	125°08'05"	7.21

15th AVENUE

1092

LOT 2
PLAN 8385

DETAIL OF BUILDING FOUNDATION FOR STRATA LOTS 13 TO 16

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

LEGEND:

LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
 (p) denotes Parking
 (c) denotes Common Property

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Job No. : 22IX0025

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Date: January 5th, 2023

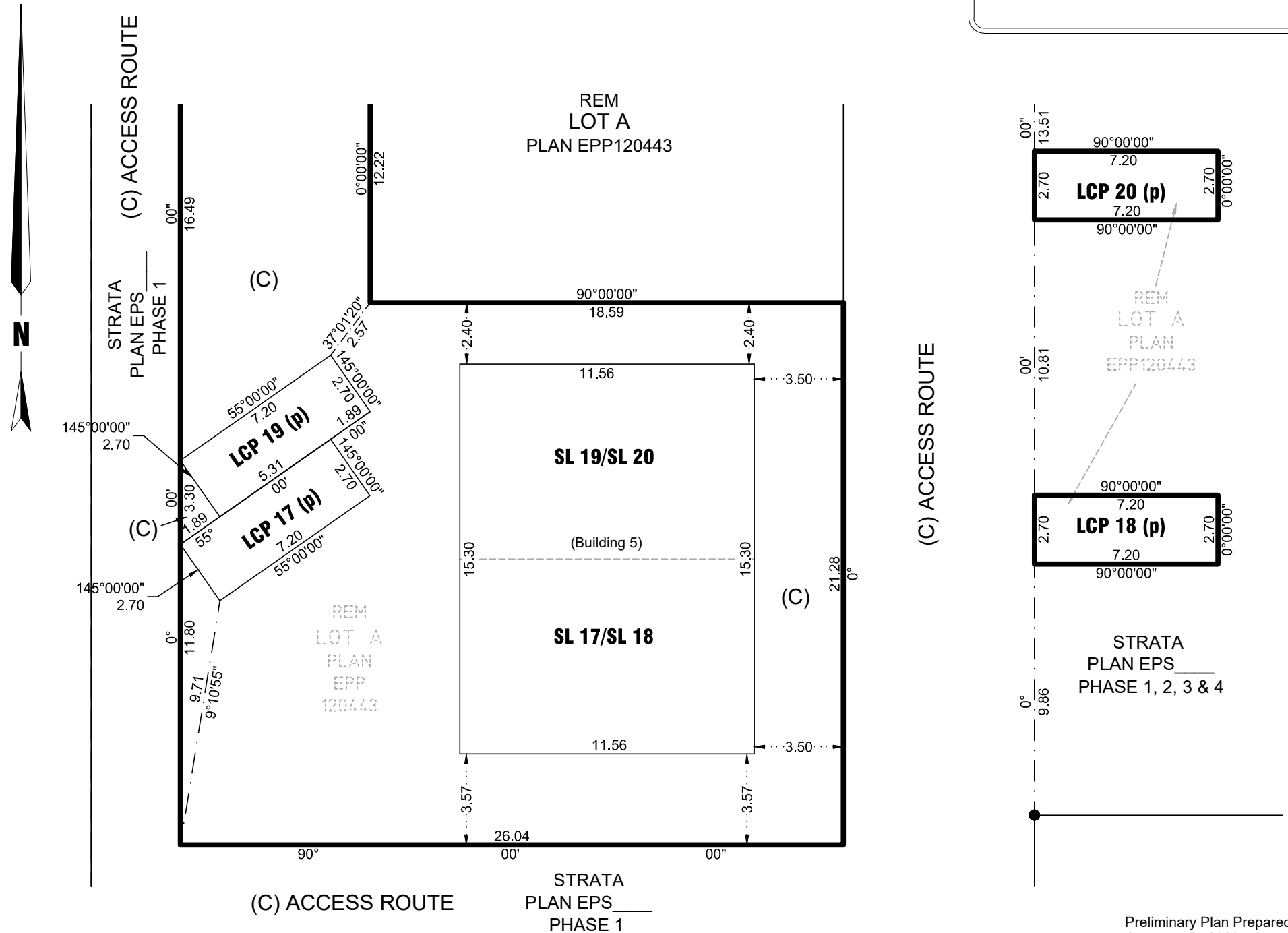
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

STRATA PLAN EPS (PHASE 5) PRELIMINARY

Sheet 2 of 6



Preliminary Plan Prepared January 5th, 2023

STRATA LOTS 18 & 20
LOWER LEVEL

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
LCP denotes Limited Common Property
for the Exclusive Use of Designated Strata Lot
(c) denotes Common Property
m² denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

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Job No. : 22IX0025

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Date: January 5th, 2023

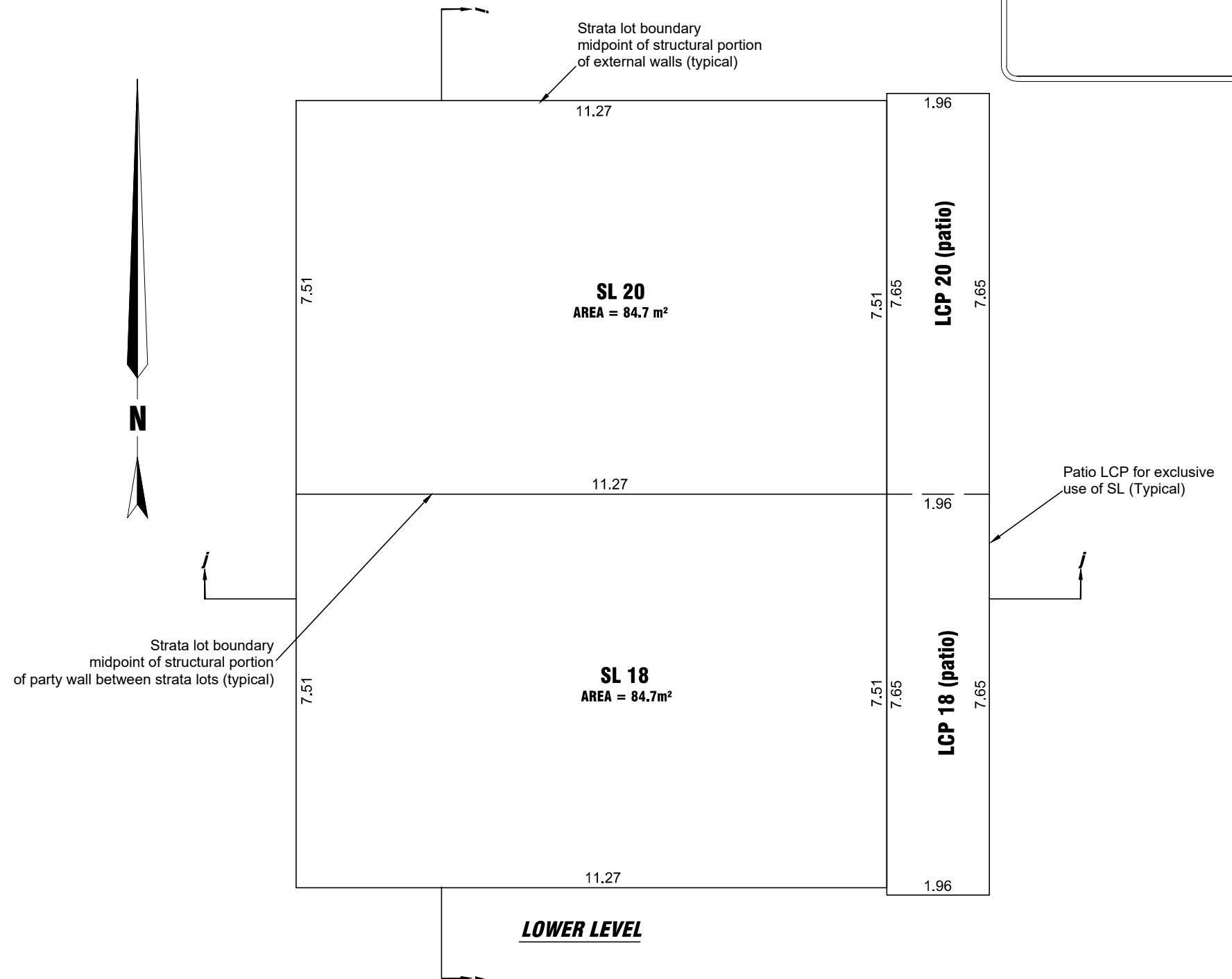
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 5) PRELIMINARY**

Sheet 3 of 6



Preliminary Plan Prepared
January 5th, 2023

STRATA LOTS 17 & 19
MAIN FLOOR

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
LCP denotes Limited Common Property
for the Exclusive Use of Designated Strata Lot
(c) denotes Common Property
m² denotes Common Property

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Job No. : 22IX0025

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Date: January 5th, 2023

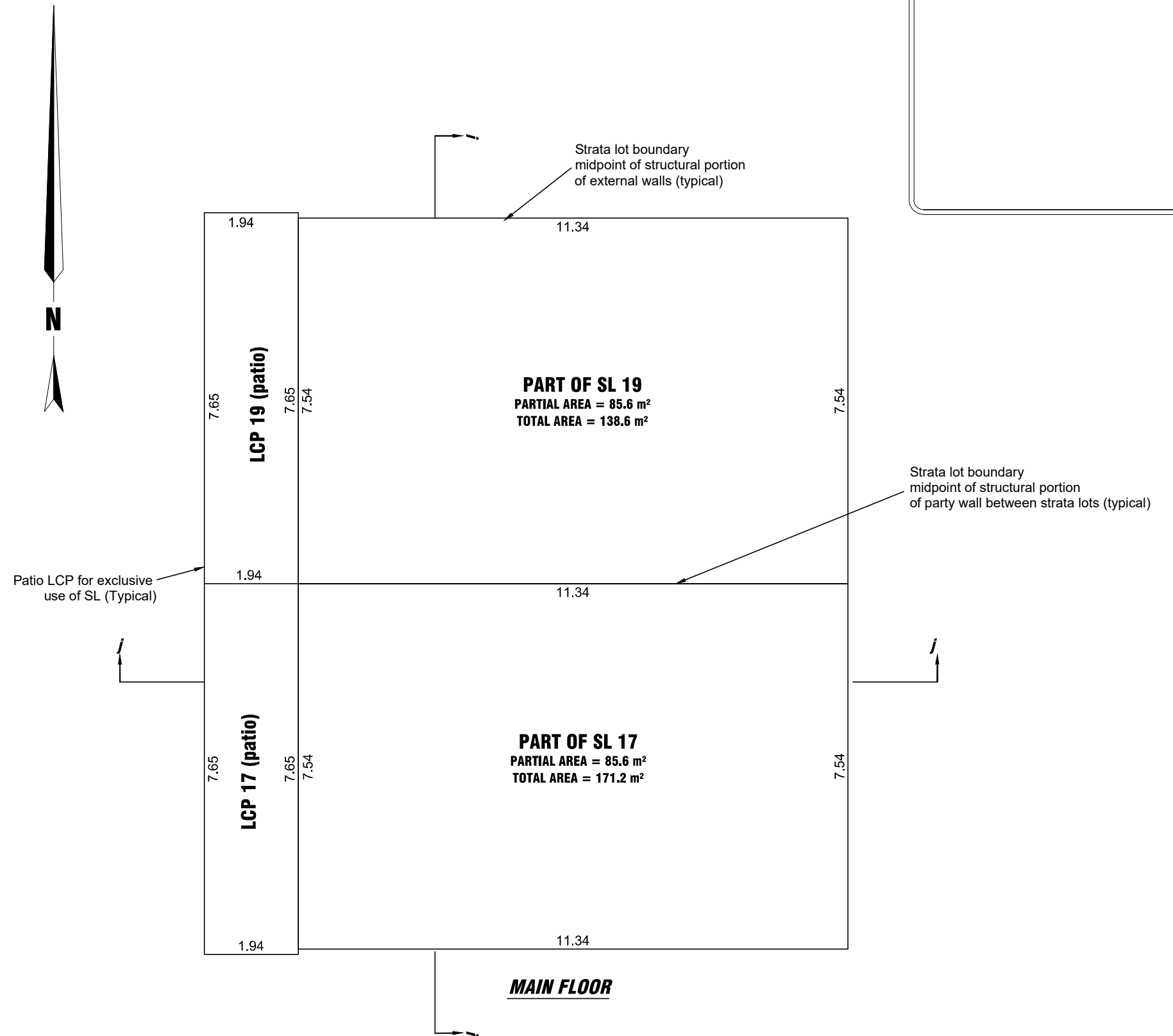
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 5) PRELIMINARY**

Sheet 4 of 6



Preliminary Plan Prepared
January 5th, 2023

STRATA LOTS 17 & 19
SECOND FLOOR

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
(c) denotes Common Property
m² denotes meters squared

GLOBAL RAYMAC LAND SURVEYING LTD.

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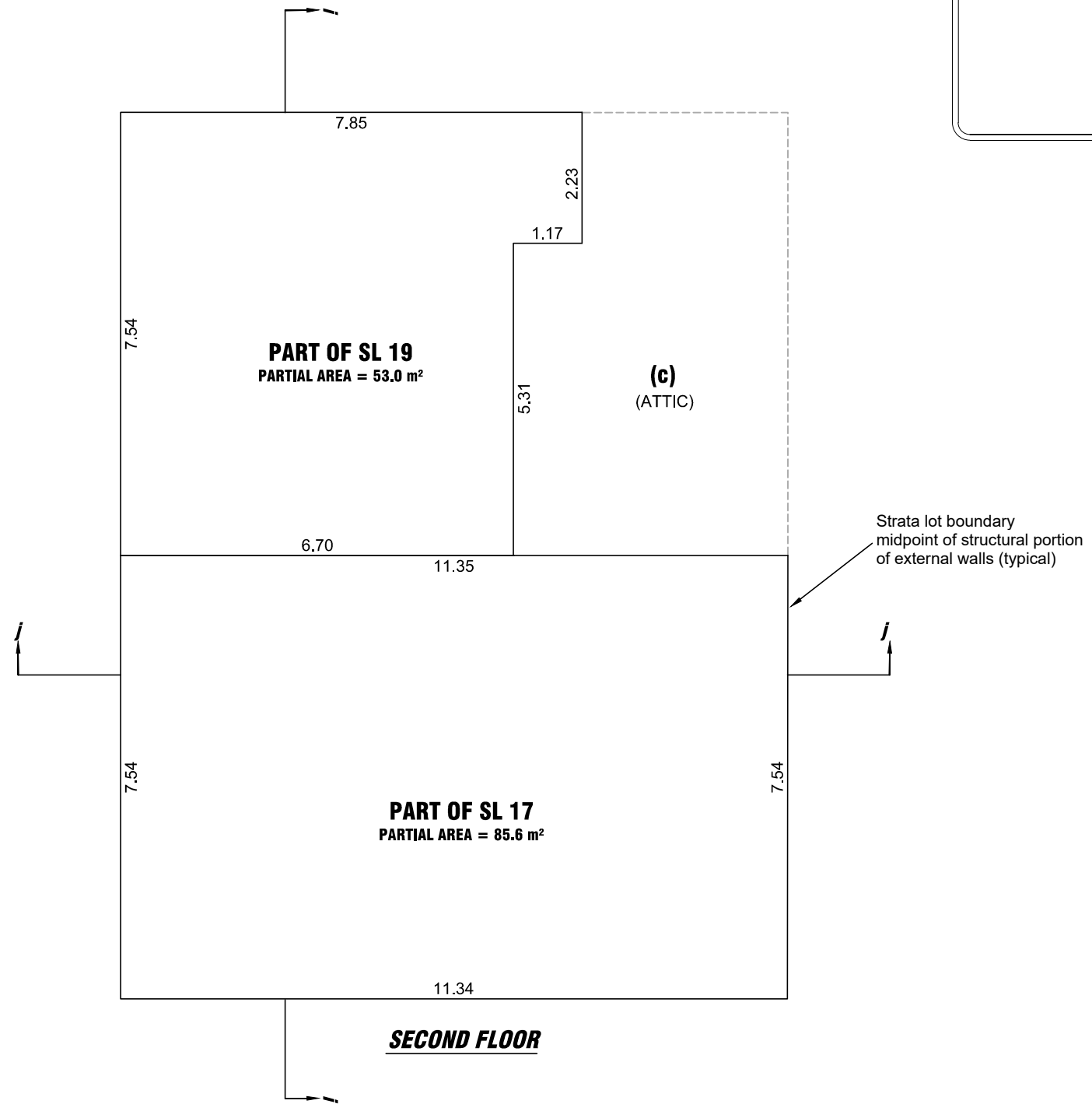
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Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 5) PRELIMINARY**

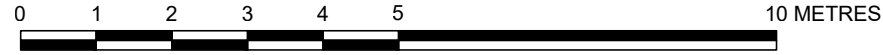
Sheet 5 of 6



Preliminary Plan Prepared
January 5th, 2023

STRATA LOTS 17 TO 20
CROSS SECTIONS

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

LEGEND:

SL denotes Strata Lot
(c) denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

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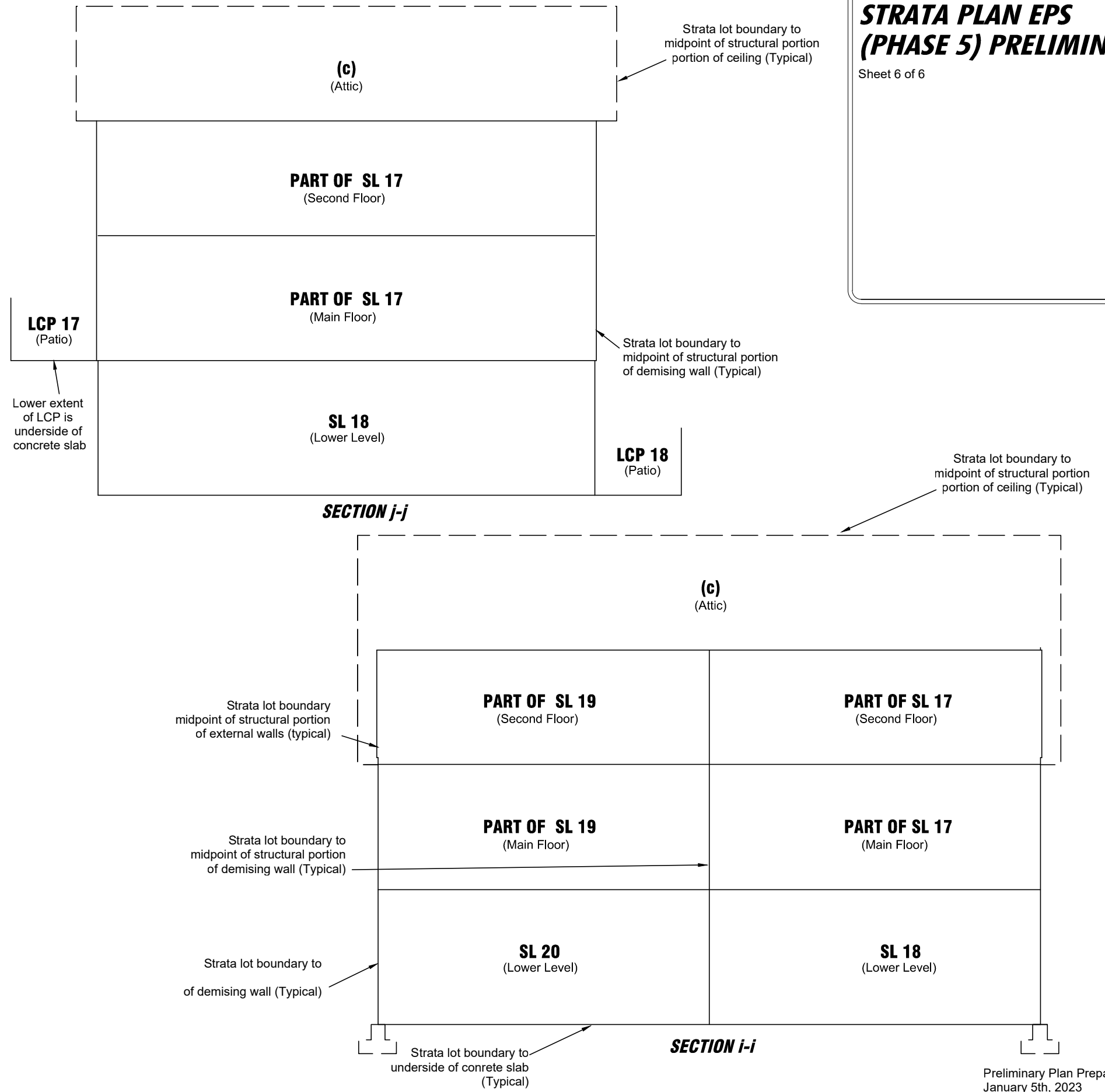
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STRATA PLAN EPS
(PHASE 5) PRELIMINARY

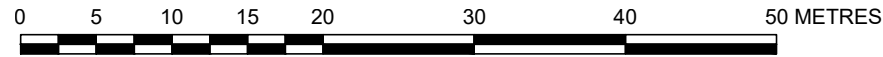
Sheet 6 of 6



Preliminary Plan Prepared
January 5th, 2023

**PROPOSED STRATA PLAN OF PART OF LOT A
DISTRICT LOT 1092 KOOTENAY DISTRICT
PLAN EPP120443**

EAST KOOTENAY ASSESSMENT AUTHORITY
BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:500.

This plan lies within the Regional District of East Kootenay

NOTES:

This Plan is Phase 6 of a 8 phase strata plan under the Section 224 Strata Plan property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.

Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 (HT2_0)).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on December 3rd, 2022
21-070 Phase 1 Buildings 1-9 Site Data - Drafting View - OVERALL SITE PLAN 2022 Nov 28 OPT-3

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within external boundaries of the land that is subject to the strata plan.

All angles deflect by multiples of 45 or 90° unless otherwise indicated.

GLOBAL RAYMAC LAND SURVEYING LTD.

1022B 7th Avenue, Invermere, BC V0A 1K0
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH6.DWG

Date: January 5th, 2023

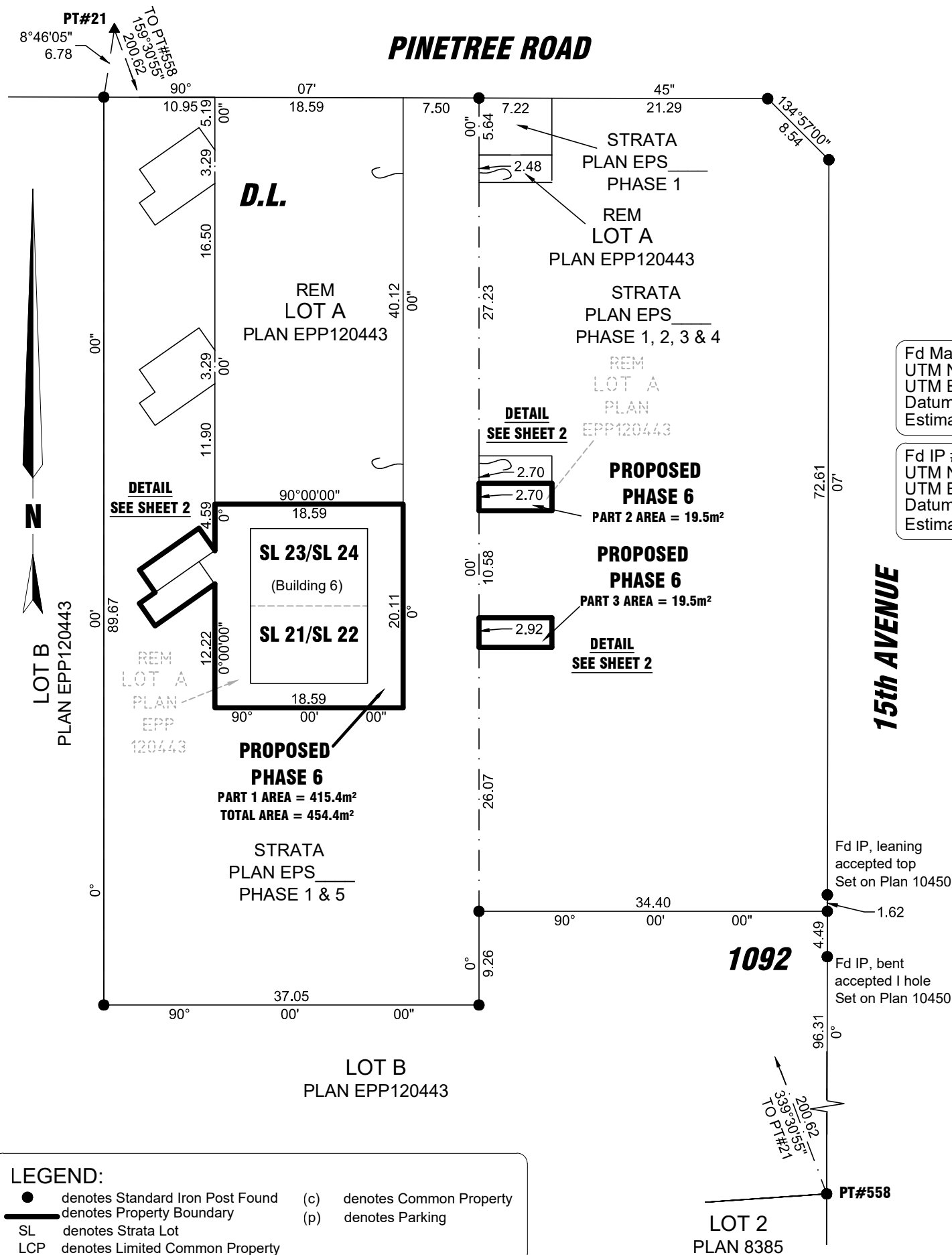
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

LEGEND:

- denotes Standard Iron Post Found
- denotes Property Boundary
- SL denotes Strata Lot
- LCP denotes Limited Common Property
- (c) denotes Common Property
- (p) denotes Parking



**STRATA PLAN EPS
(PHASE 6) PRELIMINARY**

Sheet 1 of 6

Fd Mag Nail PT#21
UTM Northing: 5594185.55
UTM Easting: 567911.05
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

Fd IP #558
UTM Northing: 5593997.71
UTM Easting: 567981.22
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

Fd IP, leaning
accepted top
Set on Plan 10450

1.62

Fd IP, bent
accepted 1 hole
Set on Plan 10450

1092

LOT 2
PLAN 8385

CIVIC ADDRESS:

2121 15th Avenue,
Invermere, BC

DETAIL BUILDING FOUNDATION FOR STRATA LOTS 21 TO 24

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

LEGEND:

LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot (p) denotes Parking
 (c) denotes Common Property

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH6.DWG

Date: January 5th, 2023

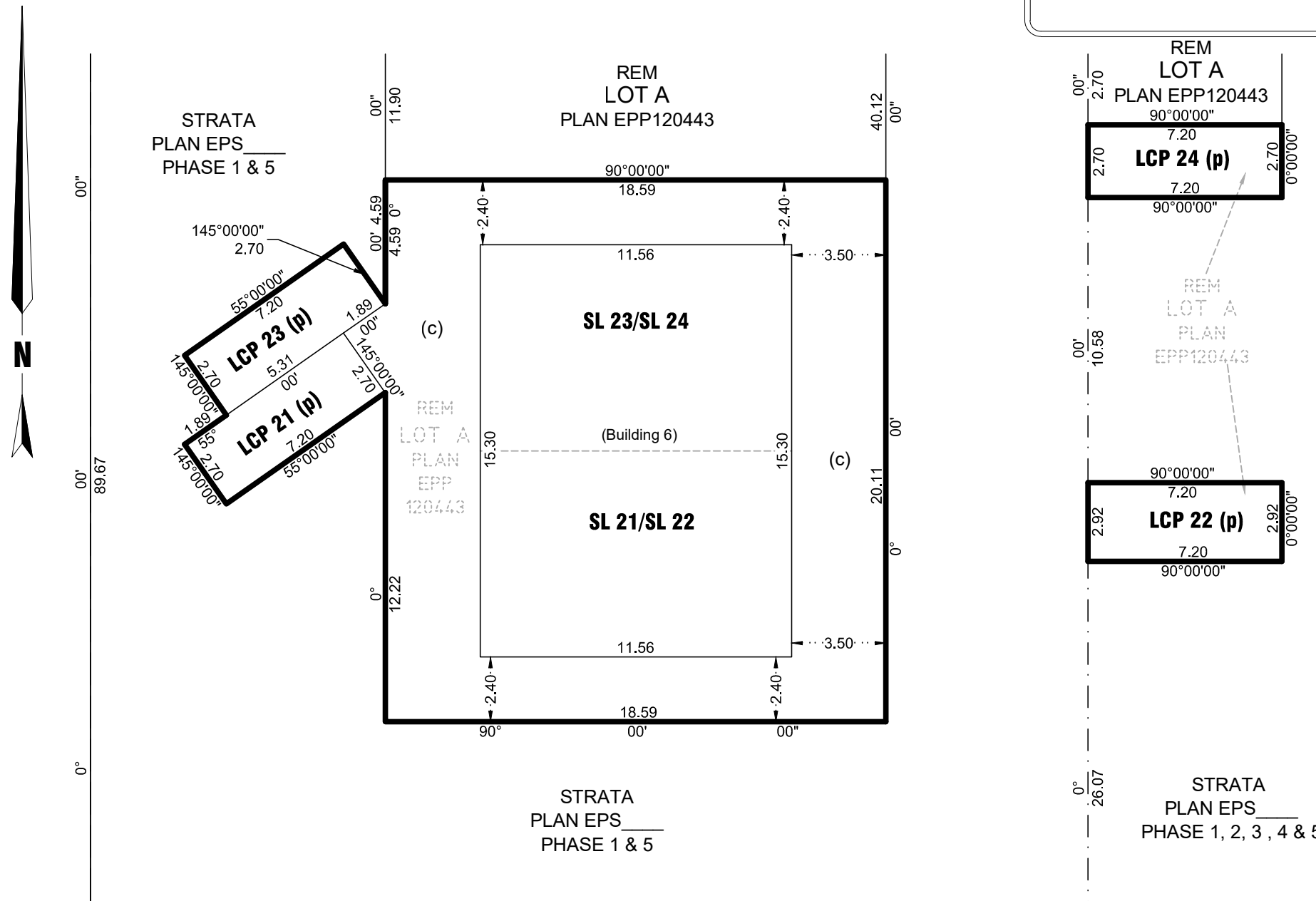
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

STRATA PLAN EPS (PHASE 6) PRELIMINARY

Sheet 2 of 6



Preliminary Plan Prepared
 January 5th, 2023

STRATA LOTS 22 & 24
LOWER LEVEL

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
LCP denotes Limited Common Property
for the Exclusive Use of Designated Strata Lot
(c) denotes Common Property
m² denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

1022B 7th Avenue, Invermere, BC V0A 1K0
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH6.DWG

Date: January 5th, 2023

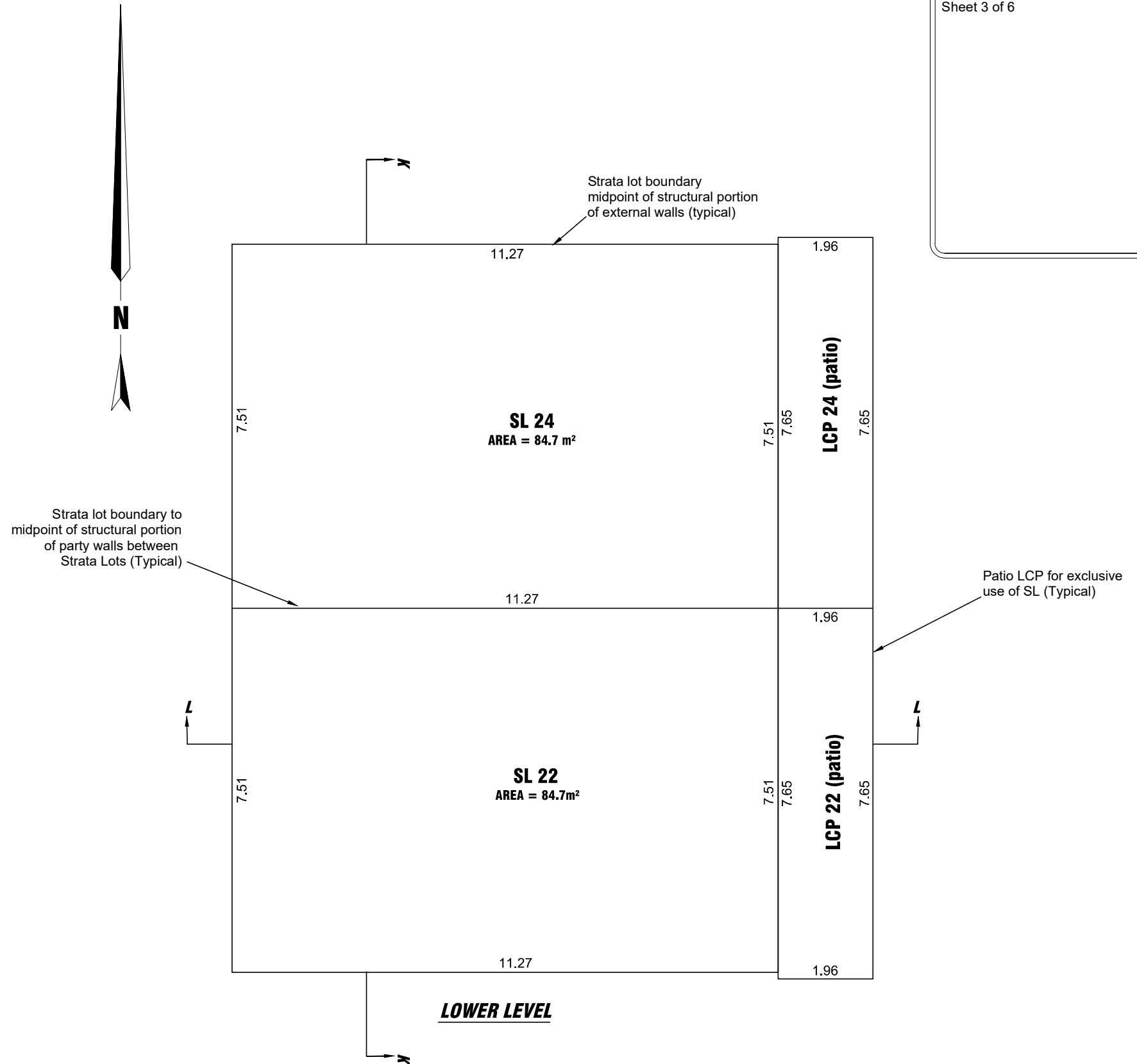
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 6) PRELIMINARY**

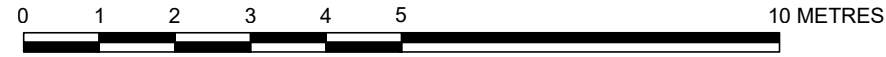
Sheet 3 of 6



Preliminary Plan Prepared
January 5th, 2023

STRATA LOTS 21 & 23
MAIN FLOOR

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
LCP denotes Limited Common Property
for the Exclusive Use of Designated Strata Lot
(c) denotes Common Property
m² denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH6.DWG

Date: January 5th, 2023

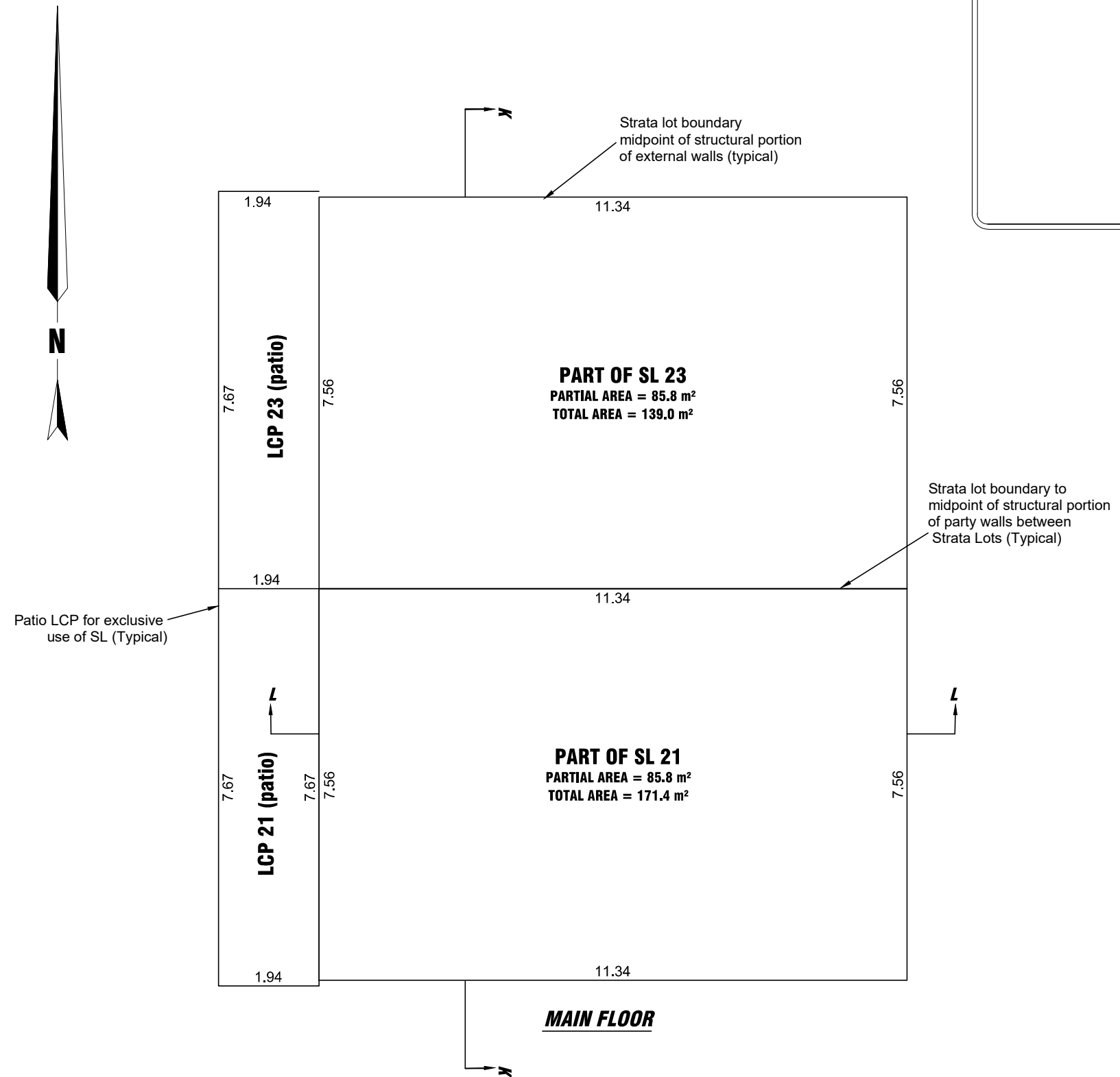
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 6) PRELIMINARY**

Sheet 4 of 6



MAIN FLOOR

Preliminary Plan Prepared
January 5th, 2023

STRATA LOTS 21 & 23
SECOND FLOOR

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND:

SL	denotes Strata Lot
LCP	denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
(c)	denotes Common Property
m ²	denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH6.DWG

Date: January 5th, 2023

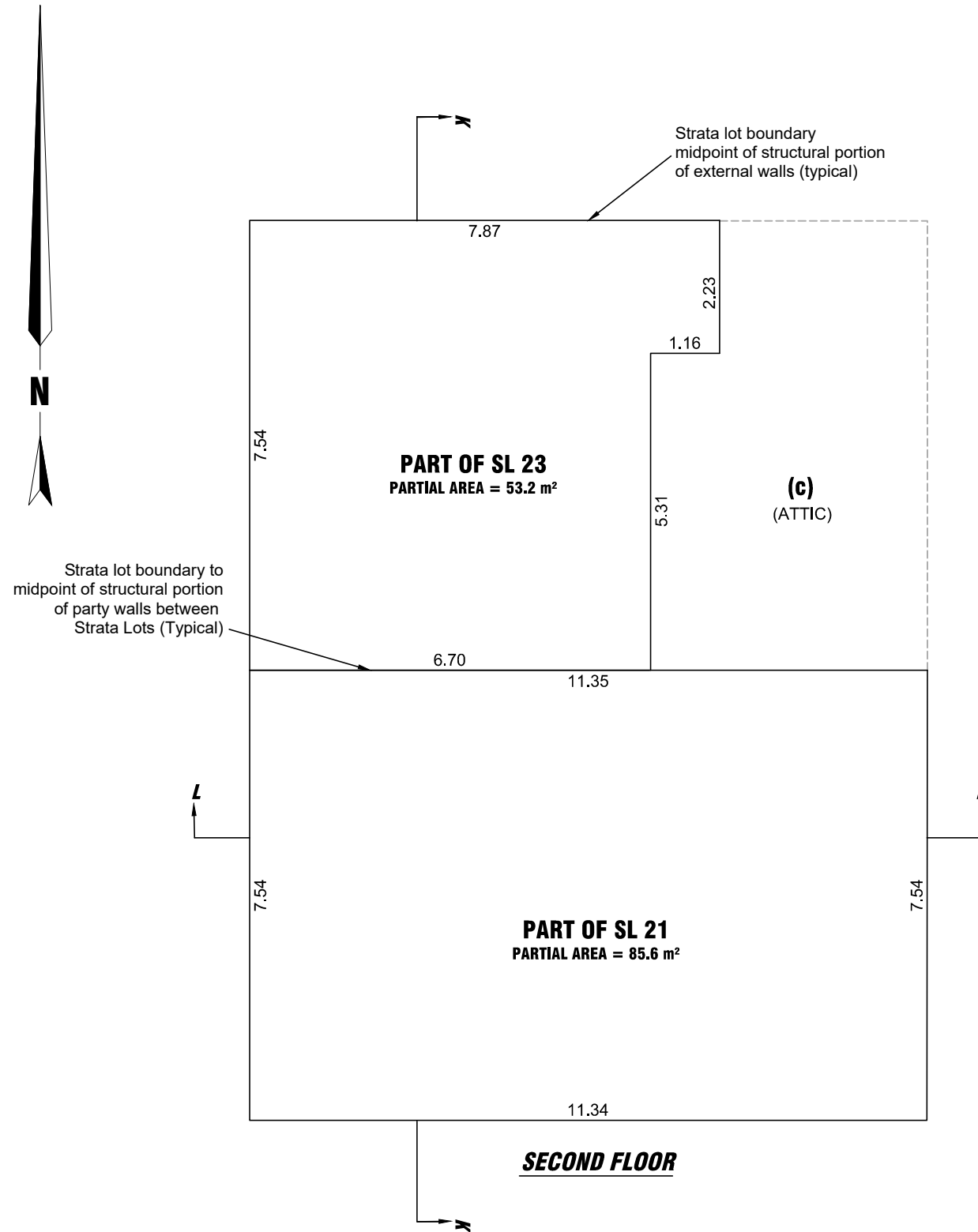
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 6) PRELIMINARY**

Sheet 5 of 6



SECOND FLOOR

STRATA LOTS 21 TO 24
CROSS SECTIONS

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

LEGEND:

SL denotes Strata Lot
(c) denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH6.DWG

Date: January 5th, 2023

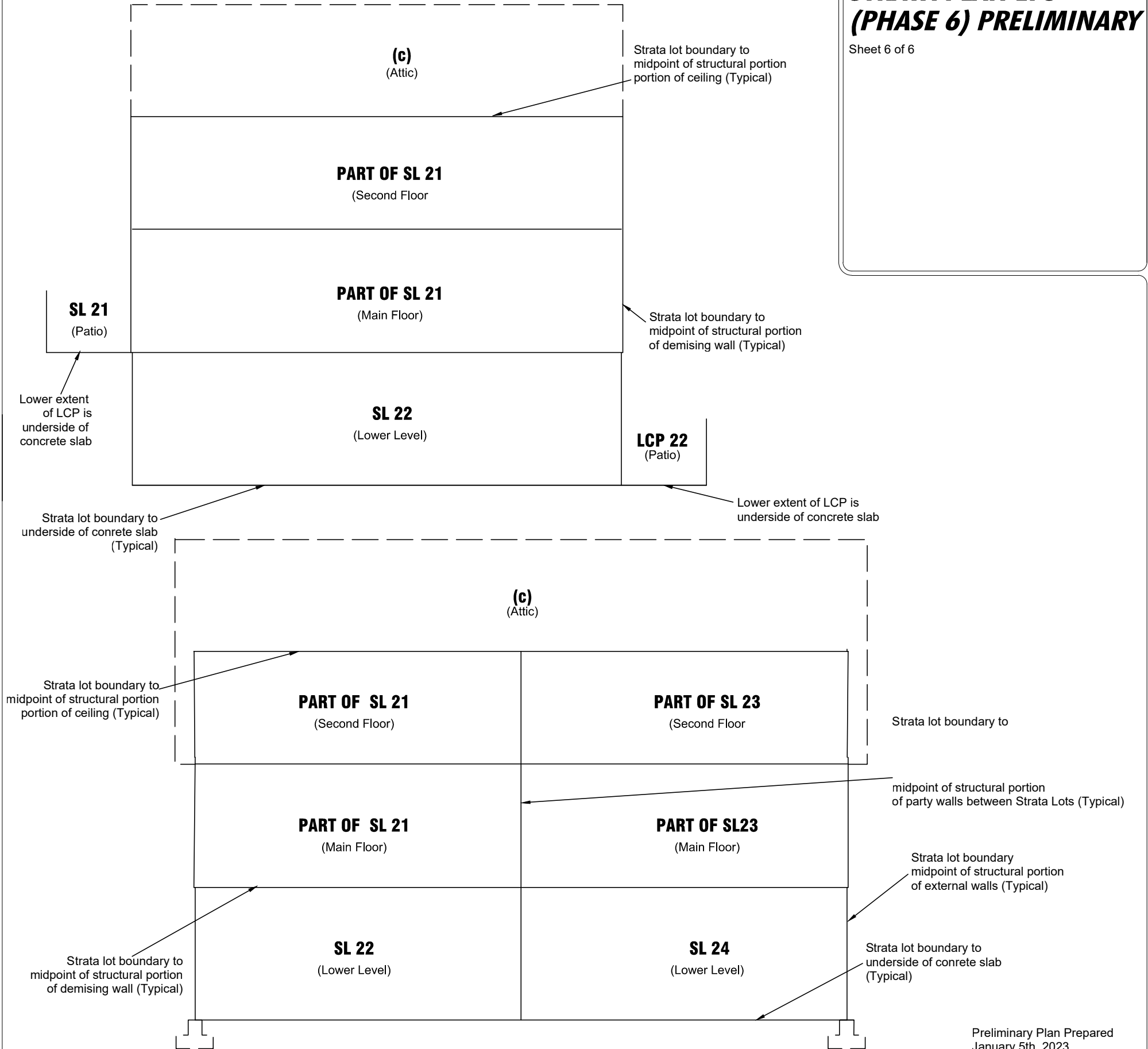
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

STRATA PLAN EPS
(PHASE 6) PRELIMINARY

Sheet 6 of 6



Preliminary Plan Prepared
January 5th, 2023

**PROPOSED STRATA PLAN OF PART OF LOT A
DISTRICT LOT 1092 KOOTENAY DISTRICT
PLAN EPP120443**

EAST KOOTENAY ASSESMENT AUTHORITY
BCGS : 82K.050

0 5 10 15 20 30 40 50 METRES

The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:500.

This plan lies within the Regional District of East Kootenay

Line up

SP

NOTES:

This Plan is Phase 7 of a 8 phase strata plan under the Section 224 Strata Plan property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.

Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 (HT2_0)).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on December 3rd, 2022
21-070 Phase 1 Buildings 1-9 Site Data - Drafting View - OVERALL SITE PLAN 2022 Nov 28 OPT-3.dwg

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within external boundaries of the land that is subject to the strata plan.

All angles deflect by multiples of 45 or 90° unless otherwise indicated.

Building 7

GLOBAL RAYMAC LAND SURVEYING LTD.

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH7.DWG

Date: January 4th, 2023

Surveyed : DRS

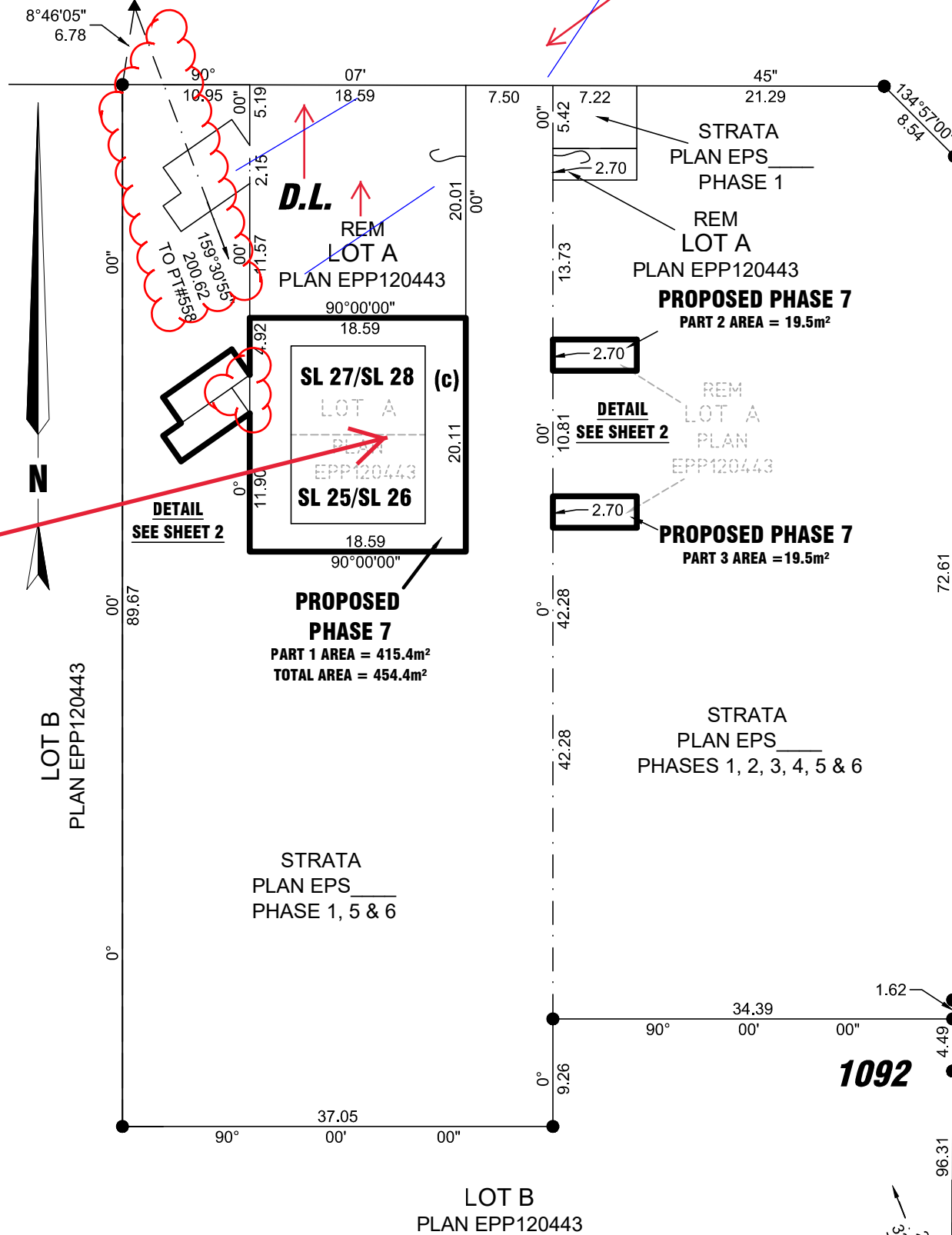
Drawn: NDW

Checked: EG/AB

LEGEND:

- denotes Standard Iron Post Found
- denotes Property Boundary
- SL denotes Strata Lot
- LCP denotes Limited Common Property
- (c) denotes Common Property
- (p) denotes Parking

PINETREE ROAD



**STRATA PLAN EPS
(PHASE 7) PRELIMINARY**

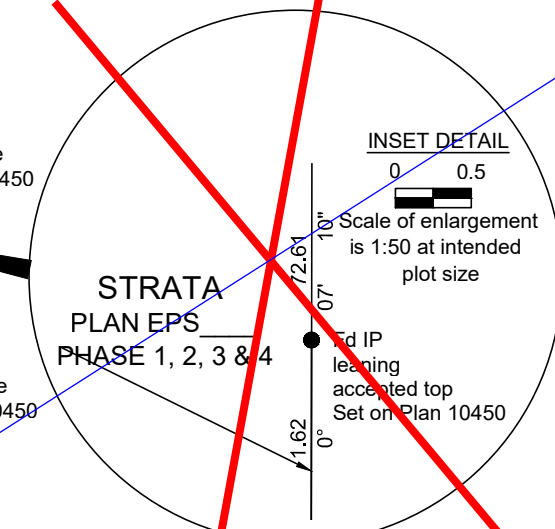
Sheet 1 of 5

Fd Mag Nail PT#21
UTM Northing: 5594185.55
UTM Easting: 567911.05
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

Fd IP #558
UTM Northing: 5593997.71
UTM Easting: 567981.22
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

15th AVENUE

1092



CIVIC ADDRESS:

2121 15th Avenue,
Invermere, BC

DETAIL BUILDING FOUNDATION FOR STRATA LOTS 21 TO 24

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

LEGEND:

LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
 (p) denotes Parking
 (c) denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

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 Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH7.DWG

Date: January 4th, 2023

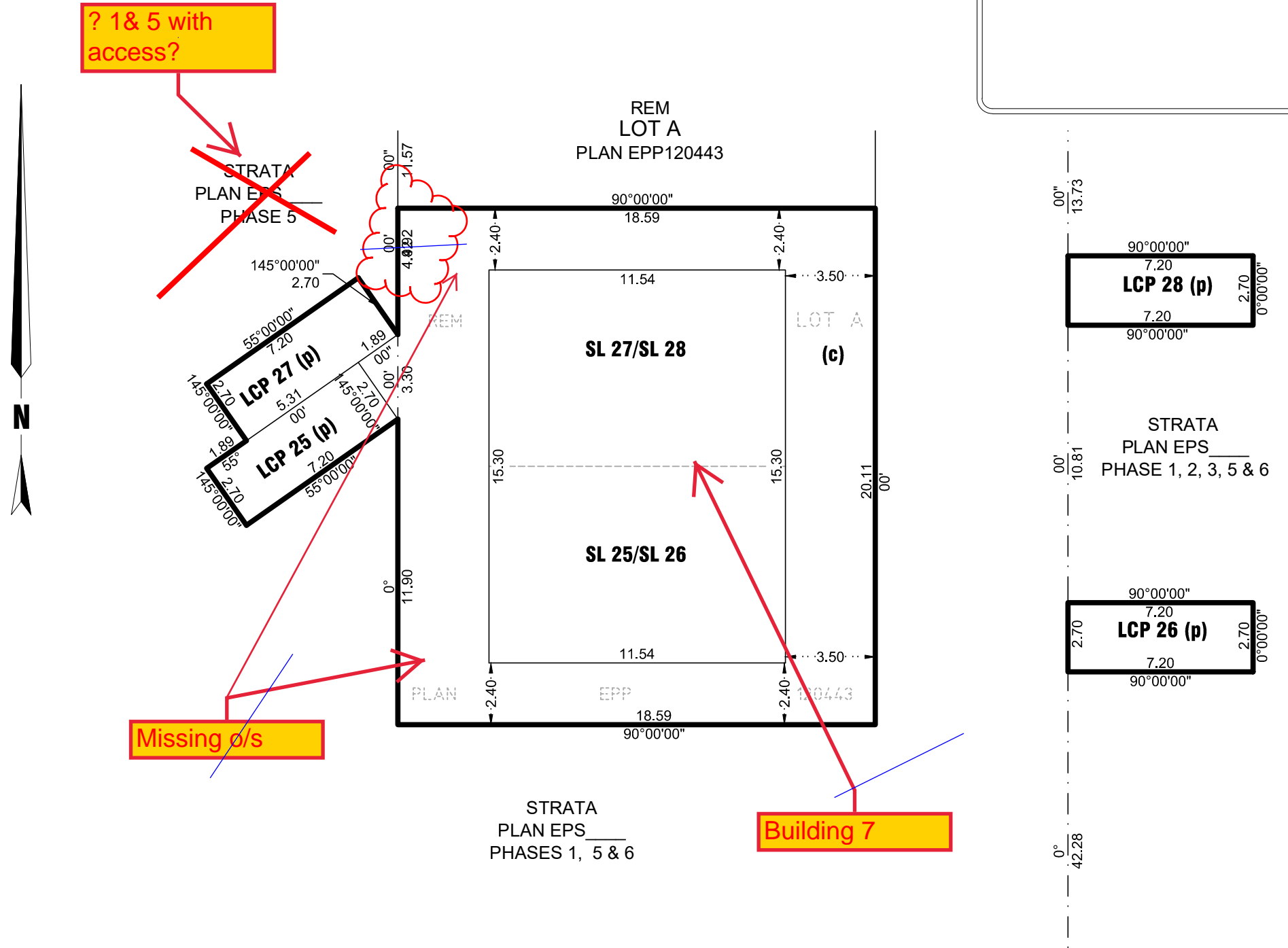
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

STRATA PLAN EPS (PHASE 7) PRELIMINARY

Sheet 2 of 5



STRATA LOTS 26 & 28
LOWER LEVEL

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

m2 on all plans

LEGEND:

- SL denotes Strata Lot
- LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
- (c) denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

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Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH7.DWG

Date: January 4th, 2023

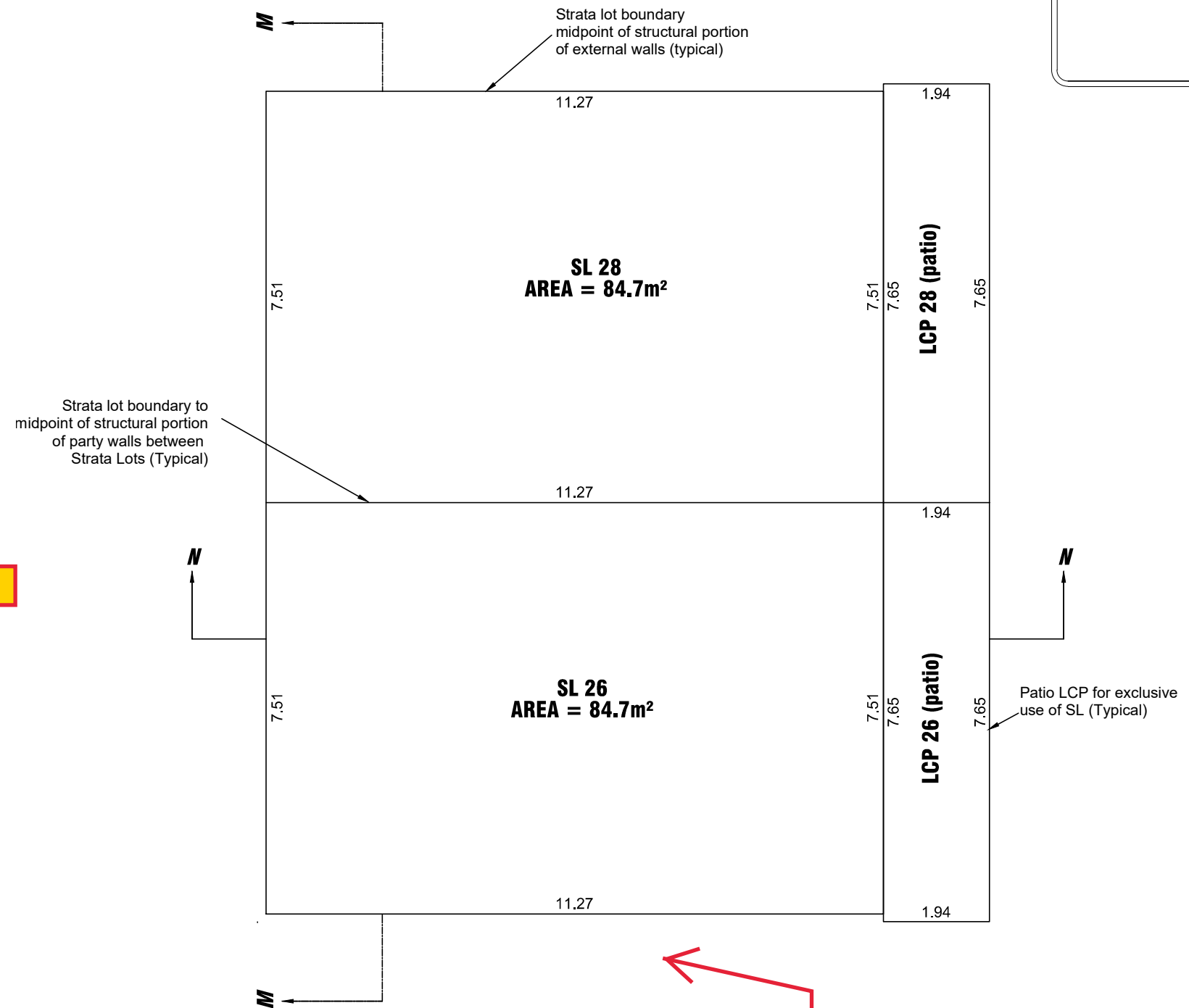
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Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 7) PRELIMINARY**

Sheet 3 of 5

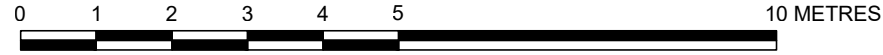


Lower Level

Preliminary Plan Prepared
January 4th, 2023

STRATA LOTS 25 & 27
MAIN FLOOR

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND:

- SL denotes Strata Lot
- LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
- (c) denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

1022B 7th Avenue, Invermere, BC V0A 1K0
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH7.DWG

Date: January 4th, 2023

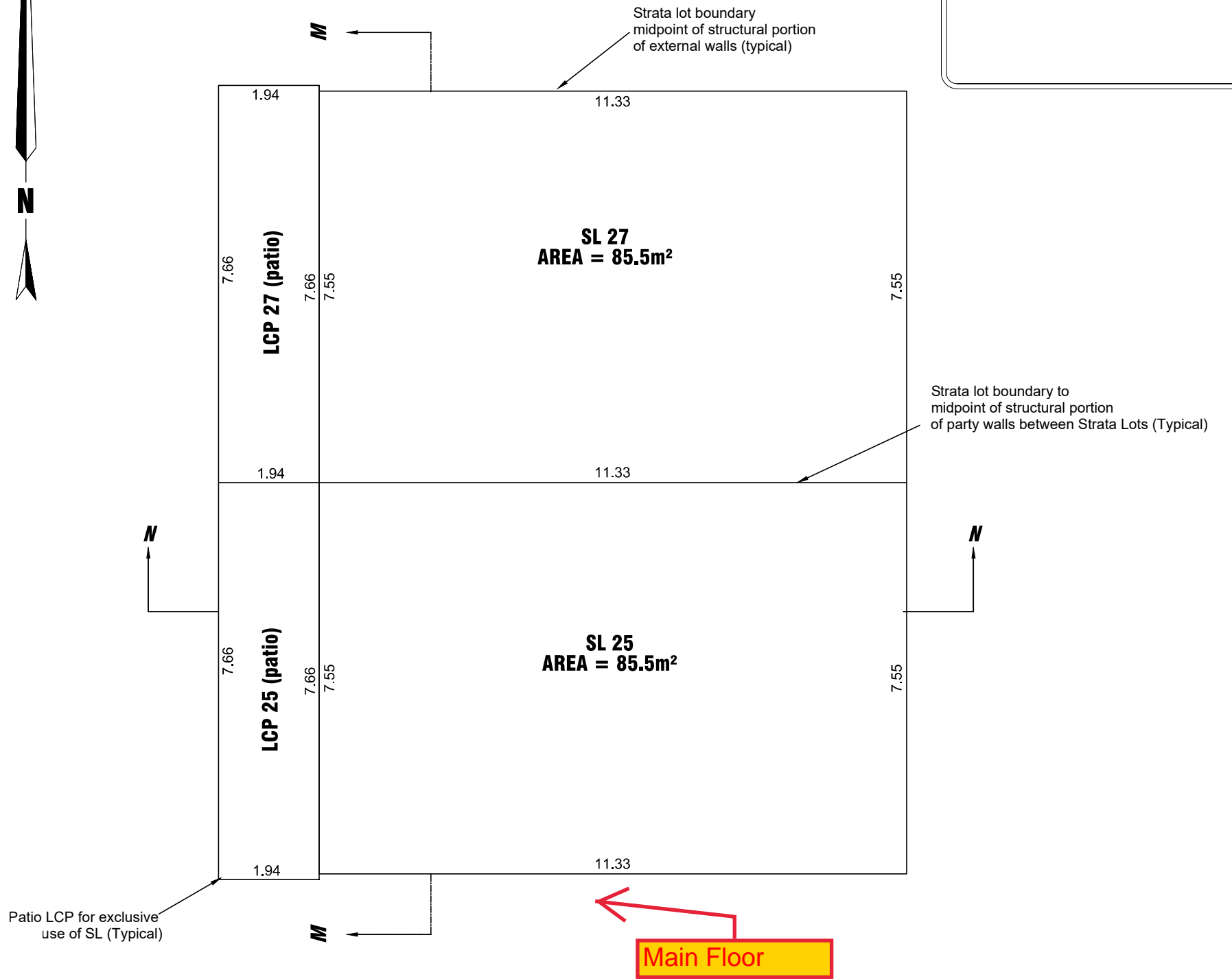
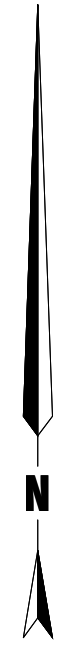
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 7) PRELIMINARY**

Sheet 4 of 5



STRATA LOTS 25 TO 28
CROSS SECTIONS

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

LEGEND:

SL denotes Strata Lot
(c) denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

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Date: January 4th, 2023

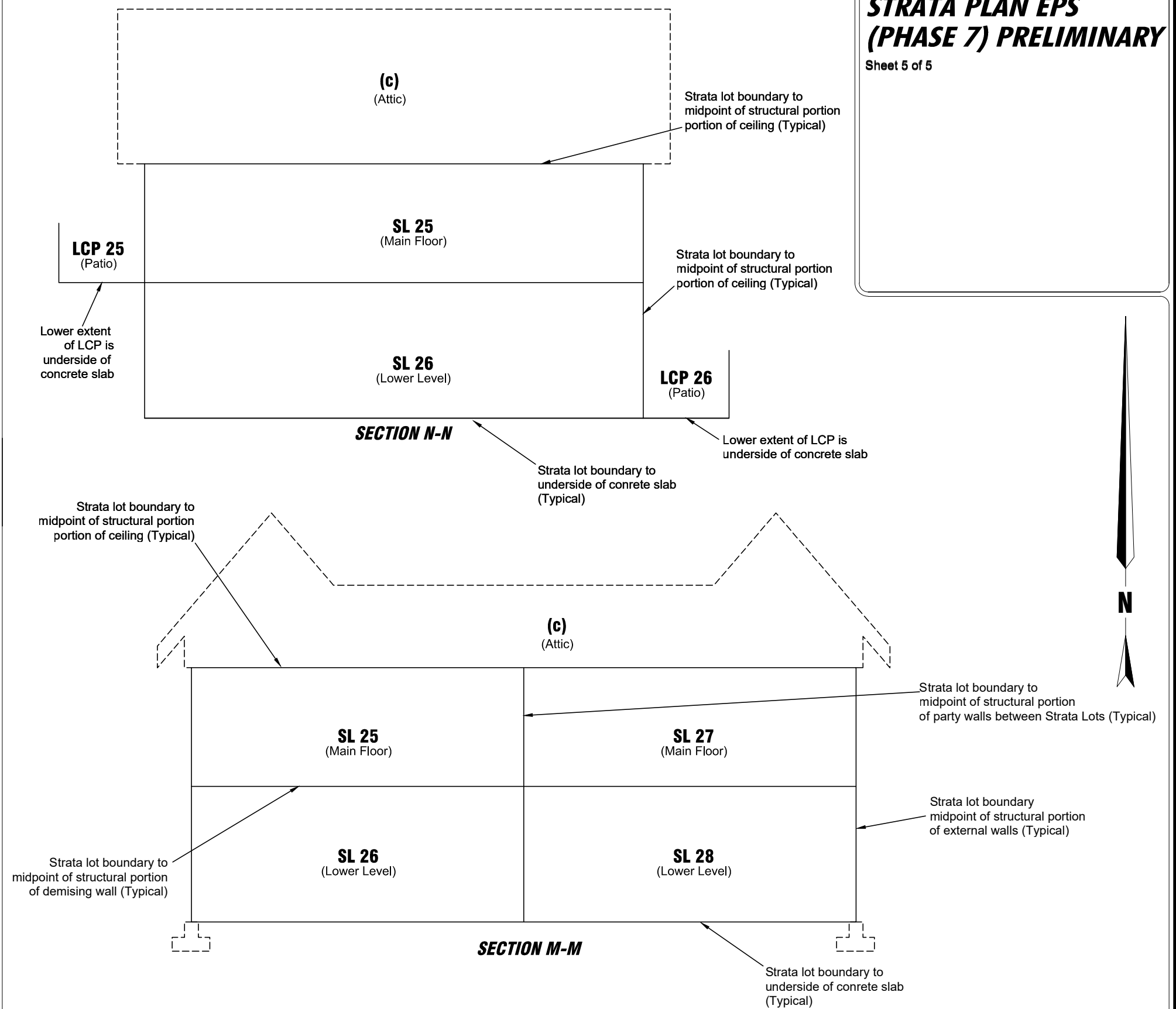
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Drawn: NDW

Checked: EG/AB

STRATA PLAN EPS
(PHASE 7) PRELIMINARY

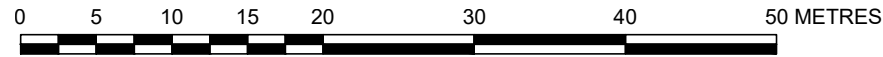
Sheet 5 of 5



Preliminary Plan Prepared
January 4th, 2023

**PROPOSED STRATA PLAN OF PART OF LOT A
DISTRICT LOT 1092 KOOTENAY DISTRICT
PLAN EPP120443**

EAST KOOTENAY ASSESSMENT AUTHORITY
BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:500.

This plan lies within the Regional District of East Kootenay

NOTES:

This Plan is Phase 8 of a 8 phase strata plan under the Section 224 Strata Plan property Act lying within the Jurisdiction of the Approving Officer for the District of Invermere.

Distances are in metres and decimals thereof.

Grid Bearings are derived from differential dual frequency GNSS observations and are referred to Central Meridian of UTM Zone 11.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances multiply ground distances by the average combined factor of 0.999522. The average combined factor has been determined based on an ellipsoidal elevation of 873 metres (CGVD28 (HT2_0)).

All areas and building dimensions are from Architectural drawings supplied to Global Raymac Surveys on August 12th, 2022:
2022 08 12 - 21-070 Pinetree - RE-IFBP

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

The buildings included in this strata plan have not been previously occupied.

The buildings shown hereon are within external boundaries of the land that is subject to the strata plan.

All angles deflect by multiples of 45 or 90° unless otherwise indicated.

GLOBAL RAYMAC LAND SURVEYING LTD.

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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH8.DWG

Date: January 5th, 2023

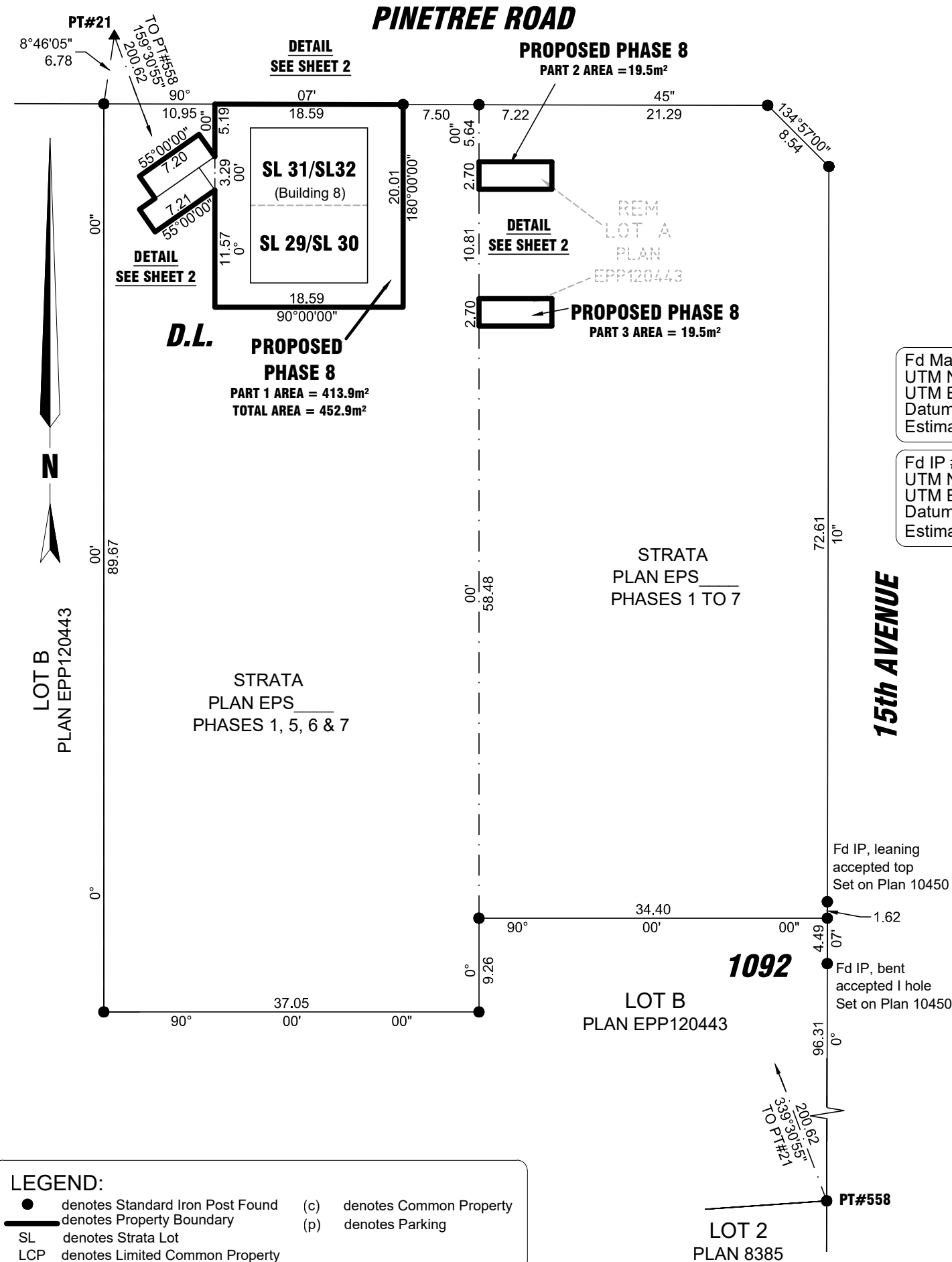
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

LEGEND:

- denotes Standard Iron Post Found
- denotes Property Boundary
- SL denotes Strata Lot
- LCP denotes Limited Common Property
- (c) denotes Common Property
- (p) denotes Parking



**STRATA PLAN EPS
(PHASE 8) PRELIMINARY**

Sheet 1 of 6

Fd Mag Nail PT#21
UTM Northing: 5594185.55
UTM Easting: 567911.05
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

Fd IP #558
UTM Northing: 5593997.71
UTM Easting: 567981.22
Datum: NAD83(CSR)4.0.0.BC.1 UTM ZONE 11
Estimated Absolute Accuracy is 0.04 metres.

Fd IP, leaning
accepted top
Set on Plan 10450

Fd IP, bent
accepted I hole
Set on Plan 10450

CIVIC ADDRESS:

2121 15th Avenue,
Invermere, BC

DETAIL BUILDING FOUNDATION FOR STRATA LOTS 29 TO 32

BCGS : 82K.050



The intended plot size of this plan is 280 mm in width by 432 mm in height (B size) when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

Offsets to property lines are perpendicular thereto and are measured to the exterior face of the building foundation walls.

LEGEND:

LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
 (p) denotes Parking
 (c) denotes Common Property

GLOBAL RAYMAC LAND SURVEYING LTD.

1022B 7th Avenue, Invermere, BC V0A 1K0
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Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH8.DWG

Date: January 5th, 2023

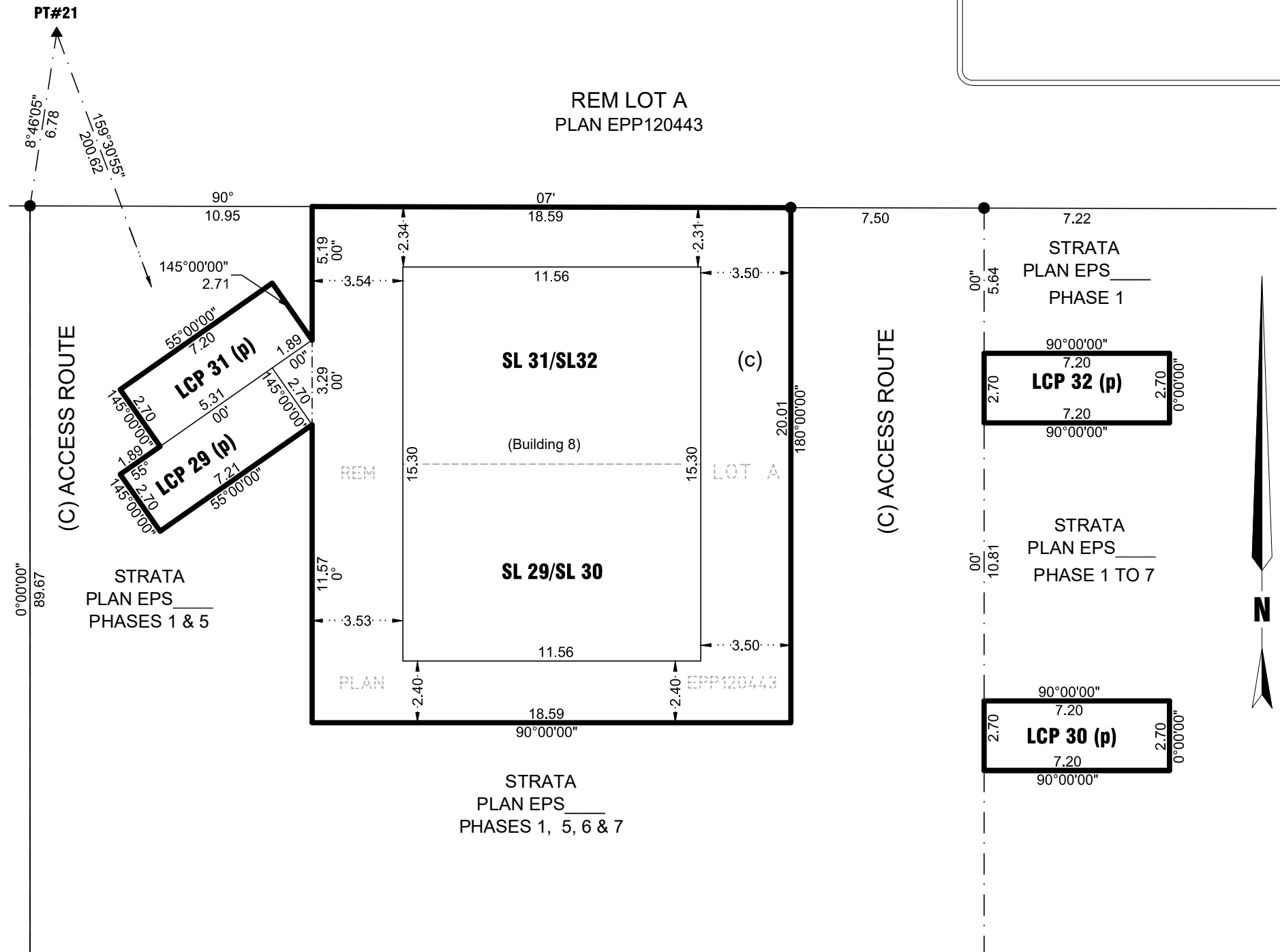
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

STRATA PLAN EPS (PHASE 8) PRELIMINARY

Sheet 2 of 6



Preliminary Plan Prepared
 January 5th, 2023

STRATA LOTS 30 & 32
LOWER LEVEL

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:200.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
LCP denotes Limited Common Property
for the Exclusive Use of Designated Strata Lot
(c) denotes Common Property
m² denotes meters squared

GLOBAL RAYMAC LAND SURVEYING LTD.

1022B 7th Avenue, Invermere, BC V0A 1K0
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH8.DWG

Date: January 5th, 2023

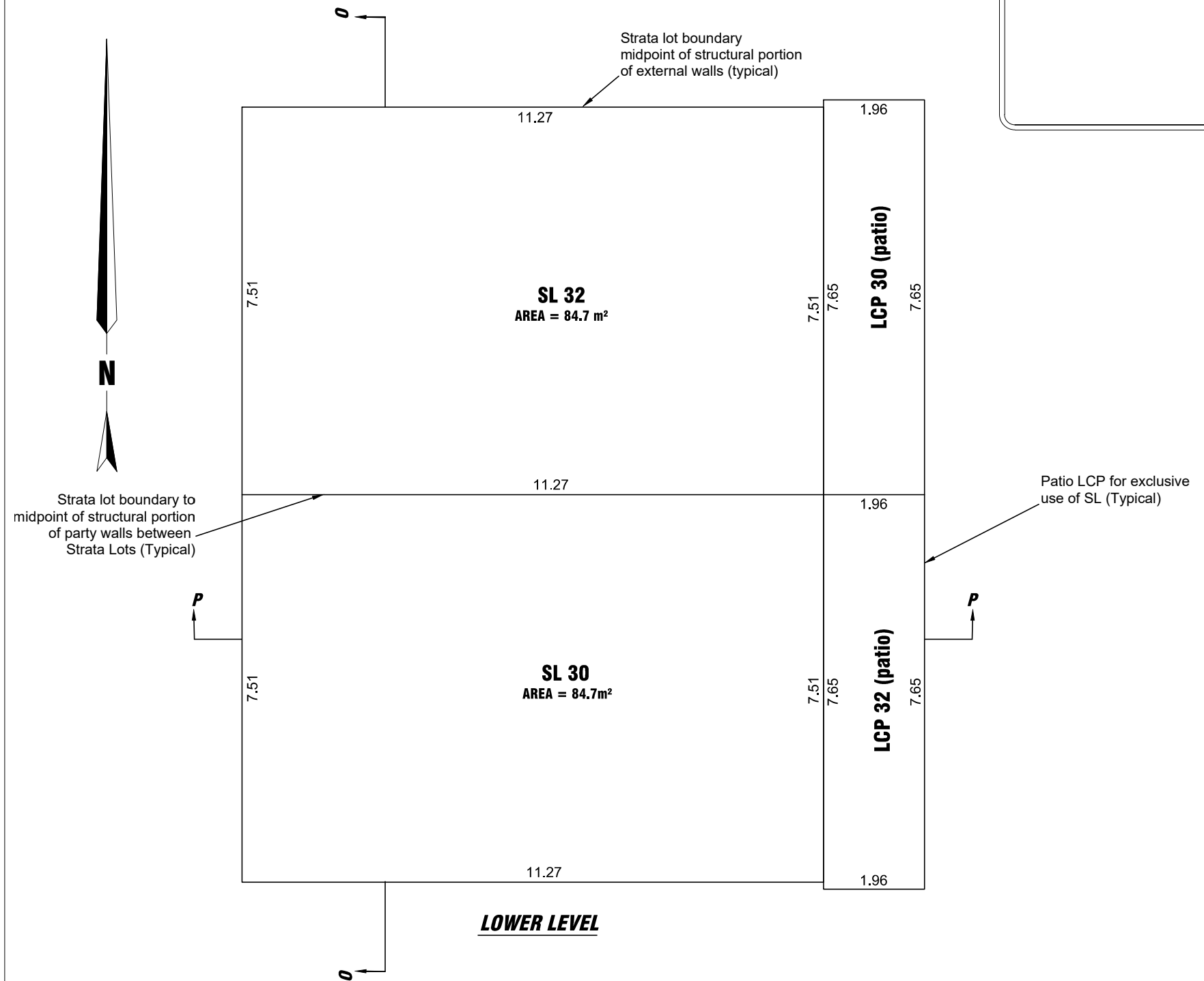
Surveyed : DRS

Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 8) PRELIMINARY**

Sheet 3 of 6



LOWER LEVEL

Preliminary Plan Prepared
January 5th, 2023

STRATA LOTS 29 & 31
MAIN FLOOR

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
(c) denotes Common Property
m² denotes meters squared

GLOBAL RAYMAC LAND SURVEYING LTD.

1022B 7th Avenue, Invermere, BC V0A 1K0
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH8.DWG

Date: January 5th, 2023

Surveyed : DRS

Drawn: NDW

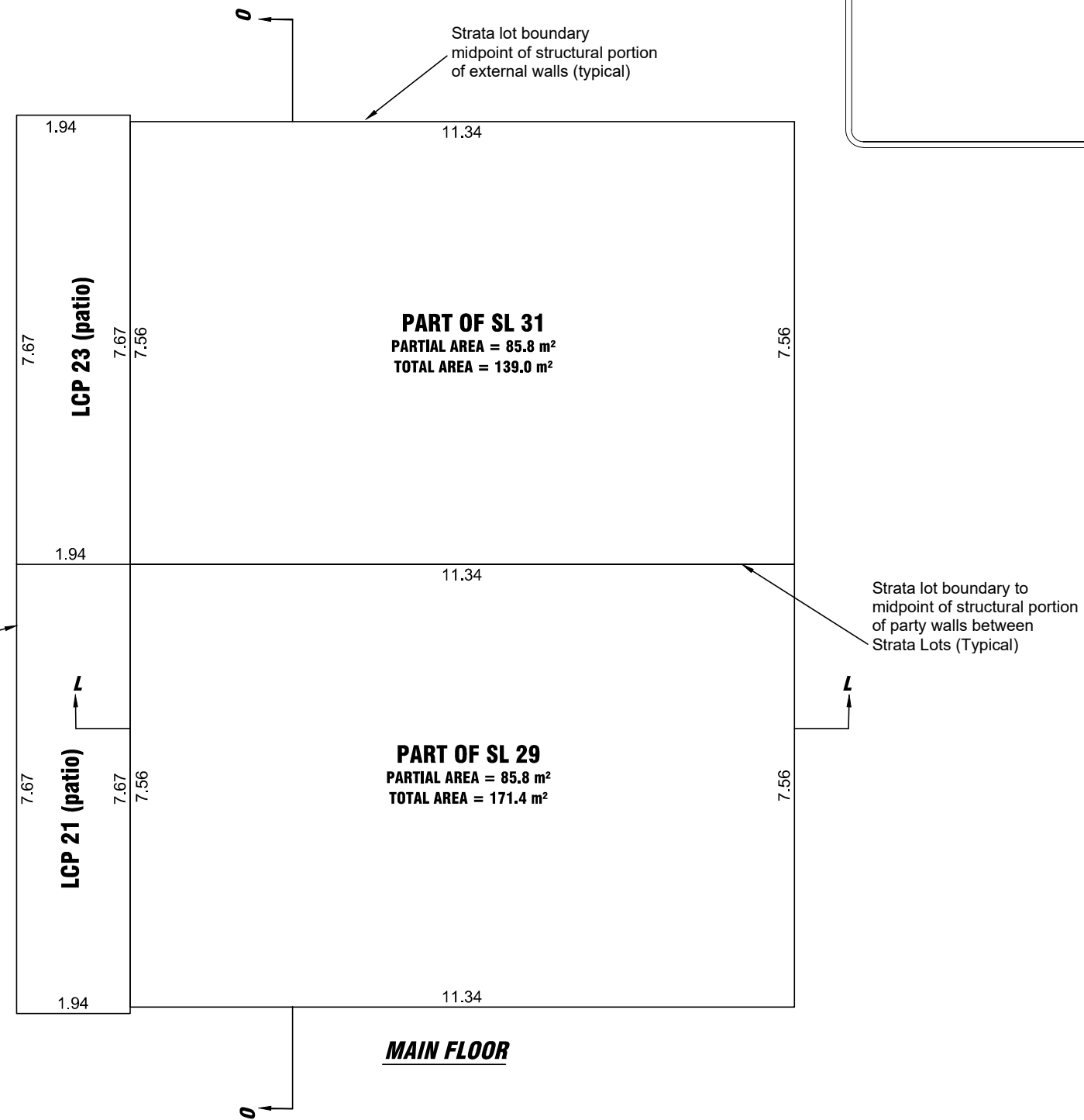
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**STRATA PLAN EPS
(PHASE 8) PRELIMINARY**

Sheet 4 of 6



Patio LCP for exclusive use of SL (Typical)

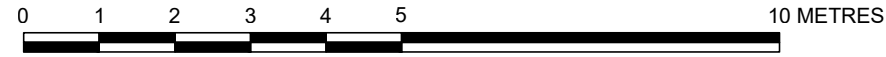


Strata lot boundary to midpoint of structural portion of party walls between Strata Lots (Typical)

Preliminary Plan Prepared
January 5th, 2023

STRATA LOTS 29 & 31
SECOND FLOOR

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

LCP boundaries adjacent to a strata lot are defined by the centre line of the structural portion of exterior walls and where adjacent to common property are defined by the outermost edge of surface.

All LCP patios, decks and parking are defined as to height by the centre of the floor above of its extensions, or where there is no floor above, by the average height of a strata lot within the same building unless otherwise indicated.

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

Section arrows on this plan point in the direction of view.

LEGEND: SL denotes Strata Lot
LCP denotes Limited Common Property for the Exclusive Use of Designated Strata Lot
(c) denotes Common Property
m² denotes meters squared

GLOBAL RAYMAC LAND SURVEYING LTD.

1022B 7th Avenue, Invermere, BC V0A 1K0
Ph: 250.409.5157 www.globalraymac.ca

Job No. : 22IX0025

CAD FILE: 22IX0025_ST1_PH8.DWG

Date: January 5th, 2023

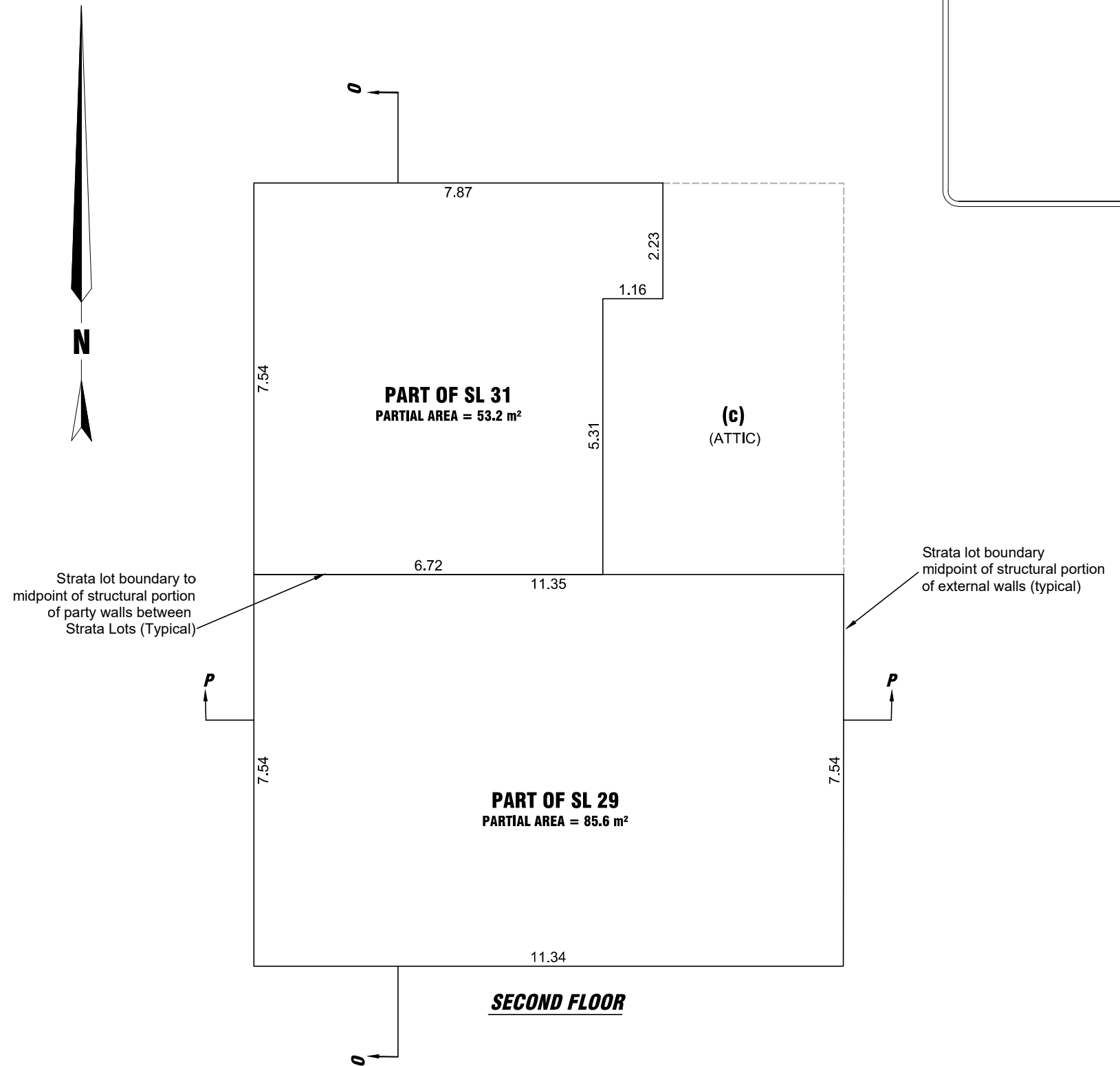
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Drawn: NDW

Checked: EG/AB

**STRATA PLAN EPS
(PHASE 8) PRELIMINARY**

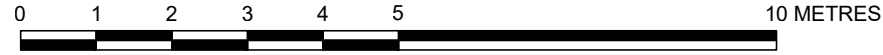
Sheet 5 of 6



Preliminary Plan Prepared
January 5th, 2023

STRATA LOTS 29 TO 32
CROSS SECTIONS

BCGS : 82K.050



The intended plot size of this plan is
280 mm in width by 432 mm in height (B size)
when plotted at a scale of 1:100.

NOTES:

This Sheet shows Strata Lot boundary dimensions to the midpoint of the structural portion of the exterior walls and the midpoint between the structural portions of party walls between Strata Lots.

LEGEND:

SL denotes Strata Lot
(c) denotes Common Property

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CAD FILE: 22IX0025_ST1_PH8.DWG

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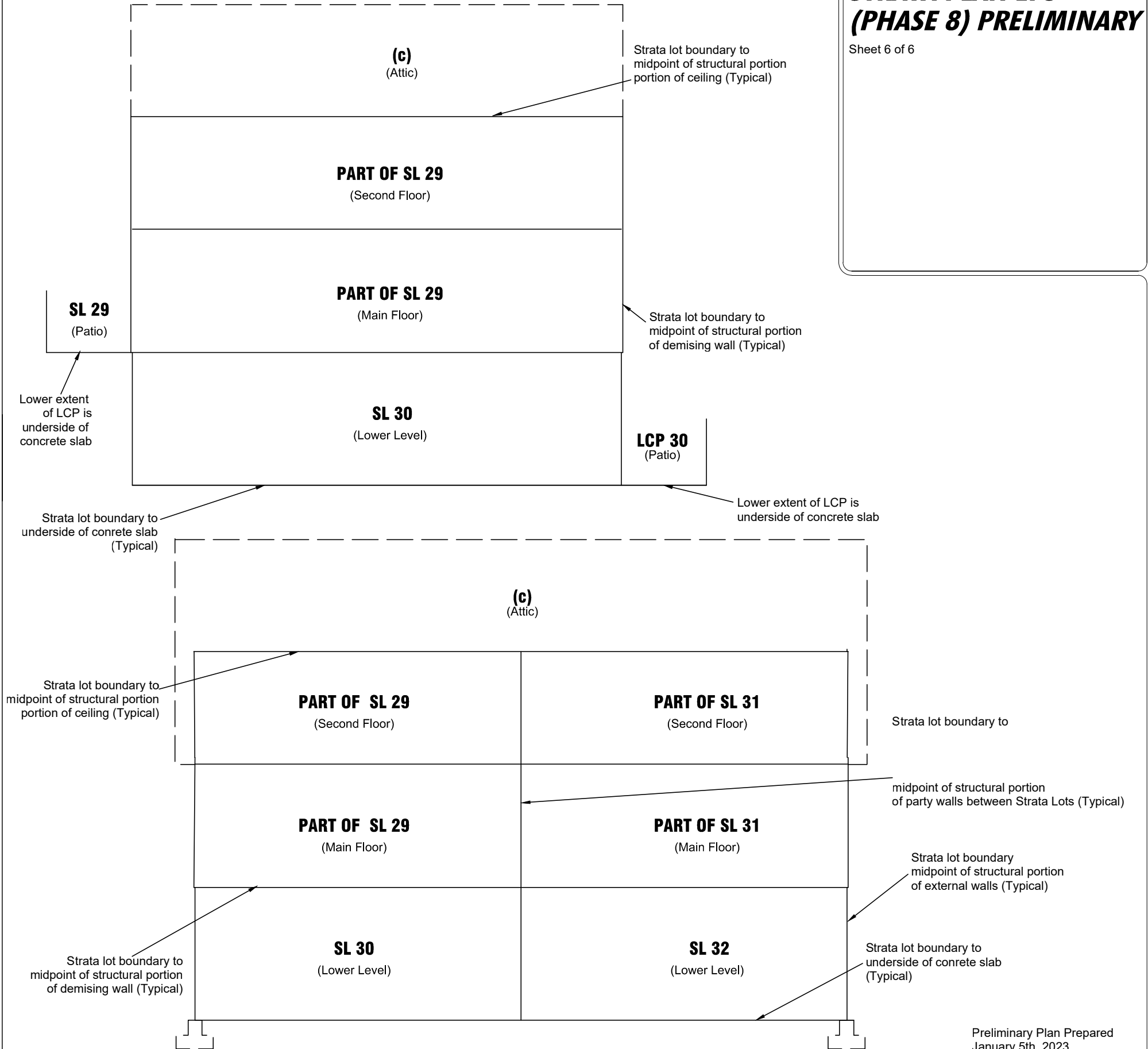
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Checked: EG/AB

STRATA PLAN EPS
(PHASE 8) PRELIMINARY

Sheet 6 of 6



Preliminary Plan Prepared
January 5th, 2023

Exhibit C2

ASSEMBLY SCHEDULES

EXTERIOR WALLS

W01- 6" ICF EXTERIOR WALL
 -CLADDING AS PER ELEVATIONS
 -AIR BARRIER
 -2 1/2" RIGID INSULATION
 -6" CONCRETE
 -2 1/2" RIGID INSULATION
 -VAPOUR BARRIER
 1/2" GYPSUM WALL BOARD

W02- 6" ICF CENTRE WALL (1HR FRR)
 -1/2" GYPSUM WALL BOARD TYPE 'X'
 -2 1/2" RIGID INSULATION
 -6" CONCRETE
 -2 1/2" RIGID INSULATION
 -1/2" GYPSUM WALL BOARD TYPE 'X'

W03- DORMER/ATTIC INSULATED WALL
 -CLADDING AS PER ELEVATIONS
 -3/4" VERTICAL WOOD STRAPPING
 -AIR BARRIER
 -1/2" GYPSUM WALL BOARD TYPE 'X'
 -2x6 WOOD STUDS @ 16" O.C.
 -VAPOUR BARRIER
 -2 LAYERS 5/8" GYPSUM WALL BOARD TYPE 'X'

INTERIOR PARTITIONS

P01- 2x4 INTERIOR PARTITION
 -1/2" GYPSUM WALL BOARD
 -2x4 WOOD STUDS @ 16" O.C.
 -1/2" GYPSUM WALL BOARD

P02- 2x6 PLUMBING/BEARING PARTITION
 -1/2" GYPSUM WALL BOARD
 -2x6 WOOD STUDS @ 16" O.C.
 -1/2" GYPSUM WALL BOARD

NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

P03- 2x6 FURRED PLUMBING PARTITION
 -2x6 WOOD STUDS @ 16" O.C.
 -1/2" GYPSUM WALL BOARD

NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

FLOORS

F01- 11" TJI, SOUND INSULATED, 1HR FRR
 -VINYL PLANK FLOORING
 -5/8" OSB T+G SUBFLOOR
 -11 7/8" TJIs
 -ACOUSTIC BATT FILLED JOIST CAVITY
 -2 LAYERS 5/8" GYPSUM WALL BOARD, TYPE 'X'

F03- INSULATED BASEMENT SLAB
 -VINYL PLANK FLOORING
 -5/8" FLOORING UNDERLAY
 -VAPOUR BARRIER
 -REINFORCED CONCRETE SLAB (AS PER STRUCTURAL)
 -RIGID INSULATION (HIGH DENSITY, BEARING)
 -COMPACTED GRAVEL (AS PER STRUCTURAL)

CEILINGS

CO1- FINISHED CEILING
 -DIMENSIONAL LUMBER FRAMING/FURRING
 -VAPOUR BARRIER (WHEN EXPOSED TO ATTIC)
 -1/2" SAG RESISTANT GYPSUM BOARD
 -LOW PROFILE TEXTURED FINISH

ROOFS

RO1- INSULATED TRUSS ROOF
 -ASPHALT SHINGLES
 -UNDERLAY
 -AIR BARRIER
 -PLYWOOD SHEATHING (AS PER STRUCTURAL)
 -OPEN WEB TRUSSES (AS PER STRUCTURAL)
 -BATT FILLED? INSULATION C/W HEEL STOPS
 -SOFFITS AND FASCIA AS PER ELEVATIONS

RO2- UN-INSULATED CANOPY ROOF
 -ASPHALT SHINGLES? METAL?
 -UNDERLAY
 -AIR BARRIER
 -PLYWOOD SHEATHING (AS PER STRUCTURAL)
 -DIMENSIONAL FRAMING (AS PER STRUCTURAL)
 -SOFFITS AND FASCIA AS PER ELEVATIONS

DRAWING SYMBOLS LEGEND

- DOOR TAG REFER TO SCHEDULE
- WINDOW TYPE TAG, REFER TO SCHEDULE
- ROOM NAME**
 ROOM TAG
- DETAIL INDICATOR
- PAGE CROSS REFERENCE
- WALL SECTION INDICATOR
- SECTION #
- VIEW DIRECTION OF SECTION
- PAGE CROSS REFERENCE
- BUILDING SECTION & ELEVATION INDICATOR
- SECTION #
- VIEW DIRECTION OF ELEVATION
- PAGE CROSS REFERENCE
- LEVEL NAME ELEVATION
- CEILING HEIGHT INDICATOR
- KEYNOTE INDICATOR
- MILLWORK KEYNOTE INDICATOR
- WALL TYPE SYMBOL
- ROOF TYPE SYMBOL
- FLOOR TYPE SYMBOL
- WALL FINISH TAG
- NORTH ARROW

Berry Architecture + Associates
 Suite 200, 5210-50 Avenue
 Red Deer, T4N 4B5
 Phone: 403-314-4461
 Contact:

Sheet Number	Sheet Name
A0.0	TITLE PAGE
A3.0	BASEMENT FLOOR PLAN
A3.1	MAIN FLOOR PLAN
A3.4	ROOF PLAN
A4.0	EXTERIOR BUILDING ELEVATIONS
A4.1	EXTERIOR BUILDING ELEVATIONS
A4.3	EXTERIOR BUILDING ELEVATIONS
A4.4	EXTERIOR BUILDING ELEVATIONS
A5.0	BUILDING SECTIONS
A9.0	DOOR + WINDOW SCHEDULE

GENERAL NOTES

- DO NOT SCALE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT.
- CONTRACTOR TO COMPARE DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
- ALL WORK COMPLIES WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE - 2018 CBC EDITION AND LOCAL ORDINANCES.
- COORDINATE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL CONSULTANTS DOCUMENTS. COORDINATE DIMENSIONS REQUIRED FOR THE FITTING OF ALL COMPONENTS AS NECESSARY TO ENSURE THEIR SOUND OPERATION UPON COMPLETION.
- ALL WALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE CONSTRUCTION ASSEMBLY PAGE SHOW TRUE REPRESENTATION OF COMPLETED CONSTRUCTION ASSEMBLY. REFER TO SPECIFICATIONS FOR ADDITIONAL ASSEMBLY INFORMATION. THESE ASSEMBLIES SUPERSEDE ALL COMPLETED DETAILS AND NOTATION COMPLETED ON THE FOLLOWING CONSTRUCTION DRAWINGS.
- REFER TO STRUCTURAL FRAMING PLANS FOR LOCATIONS OF ALL INTERIOR LOAD BEARING ASSEMBLIES AND SHEAR WALL LOCATIONS.
- ALL GYPSUM BOARD IN BATHROOMS AND COMMERCIAL KITCHENS SHALL BE MOISTURE RESISTANT TYPE.
- ALL EXPOSED CONCRETE WALL CORNERS SHALL BE CHAMFERED.
- ALL G.I. FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.

GENERAL NOTES

- MAINTAIN CONTINUOUS FIRE RATED SEPARATION AROUND JANITOR ROOMS, STORAGE ROOMS, AND MECHANICAL ROOMS; CARRY WALLS TO UNDERSIDE OF STRUCTURE.
- PROVIDE CONTINUOUS SEALANT AROUND BOTH SIDES OF ALL DOOR AND WINDOW FRAMES.
- IN ALL LOCATIONS WHERE GYPSUM BOARD ABUTS DISSIMILAR MATERIAL, USE A MILCOR AND/OR J-TRIM AT EDGE SURFACES. ALLOW 3mm +/- GAP. EX. DOOR, WINDOW FRAME, CONCRETE WALL, CONCRETE, BRICK ETC.
- PROVIDE CORNER BEAD FOR ALL EXPOSED GYPSUM WALL BOARD CORNERS.
- ALL WOOD COMPONENTS DIRECTLY ATTACHED TO CEMENTITIOUS MATERIALS AND DIRECTLY UNDER EXTERIOR ALUMINUM SILLS SHALL BE PRESSURE TREATED.
- FURR-IN ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
- SEE MECHANICAL AND ELECTRICAL FOR EXACT TYPES AND QUANTITY OF DIFFUSERS, GRILLES, FIXTURES, AND EQUIPMENT. CO-ORDINATE SIZES AND EXACT LOCATIONS TO SUIT ARCHITECTURAL REFLECTED CEILING PLANS AND/OR DETAILS.
- CAULK AND SEAL AROUND ALL DUCTS AND PIPES PASSING THROUGH FIRE RATED PARTITIONS AND FLOOR ASSEMBLIES WITH APPROVED (ULC) MASTIC CAULKING.
- PROVIDE ACOUSTICAL SEALANT AT JUNCTIONS OF SOUND RATED PARTITIONS.
- WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN SOUND RATED PARTITION STAGGER THESE OUTLETS 2 STUD SPACES. PROVIDE ACOUSTICAL SEALANT ALL AROUND.

SEALS

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REVISIONS & ISSUES

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02/07/22	CLIENT REVIEW
03/03/22	CLIENT REVIEW

PROJECT TITLE
Pinetree Meadows

15 Ave Invermere BC

DRAWING TITLE

TITLE PAGE

DRAWING TITLE

SCALE: As indicated

DRAWN: RKD

CHECKED: IM

OCT' 21

21-070

A0.0



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GENERAL NOTES

1. ALL INTERIOR PARTITIONS TO BE ASSEMBLY TYPE 'P1' UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE TO BE CENTRED IN OPENING UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE.
4. NORTH ARROW NOT SHOWN AS LOCATION IS SUBJECT TO CHANGE.

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BASEMENT FLOOR PLAN

SCALE: As indicated

DRAWN: RKD

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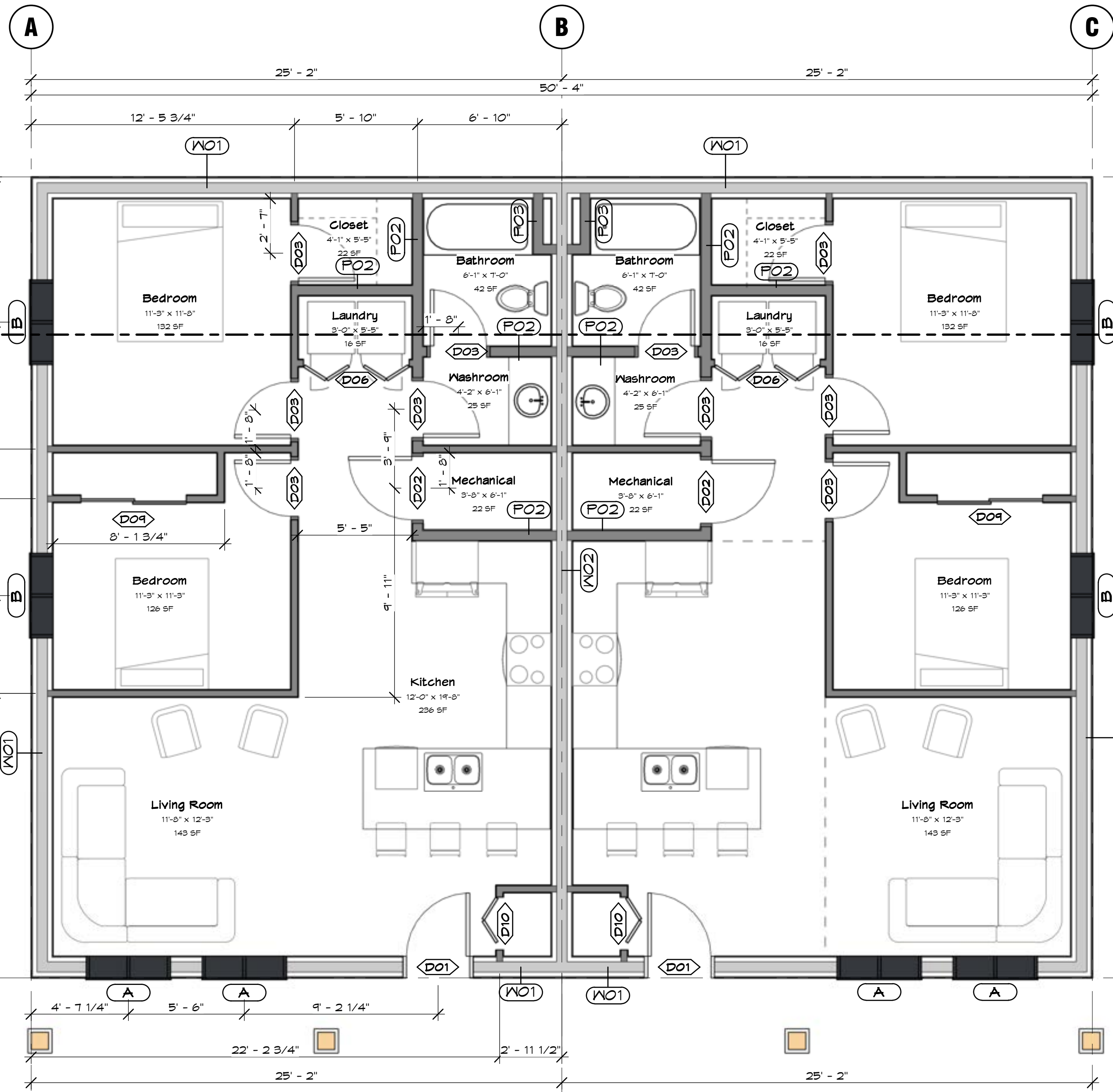
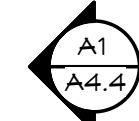
A3.0

D

C

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A



LEVEL 0 FLOOR PLAN
SCALE = 1" = 1/4"

NOTE: DIMENSIONS THE SAME AS OPPOSITE SIDE, MIRROR IMAGE ONLY.

1

2

3

4

5



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GENERAL NOTES

1. ALL INTERIOR PARTITIONS TO BE ASSEMBLY TYPE "P1" UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE TO BE CENTRED IN OPENING UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE.
4. NORTH ARROW NOT SHOWN AS LOCATION IS SUBJECT TO CHANGE.

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MAIN FLOOR PLAN

SCALE: As indicated

DRAWN: RKD

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A3.1

D

C

B

A

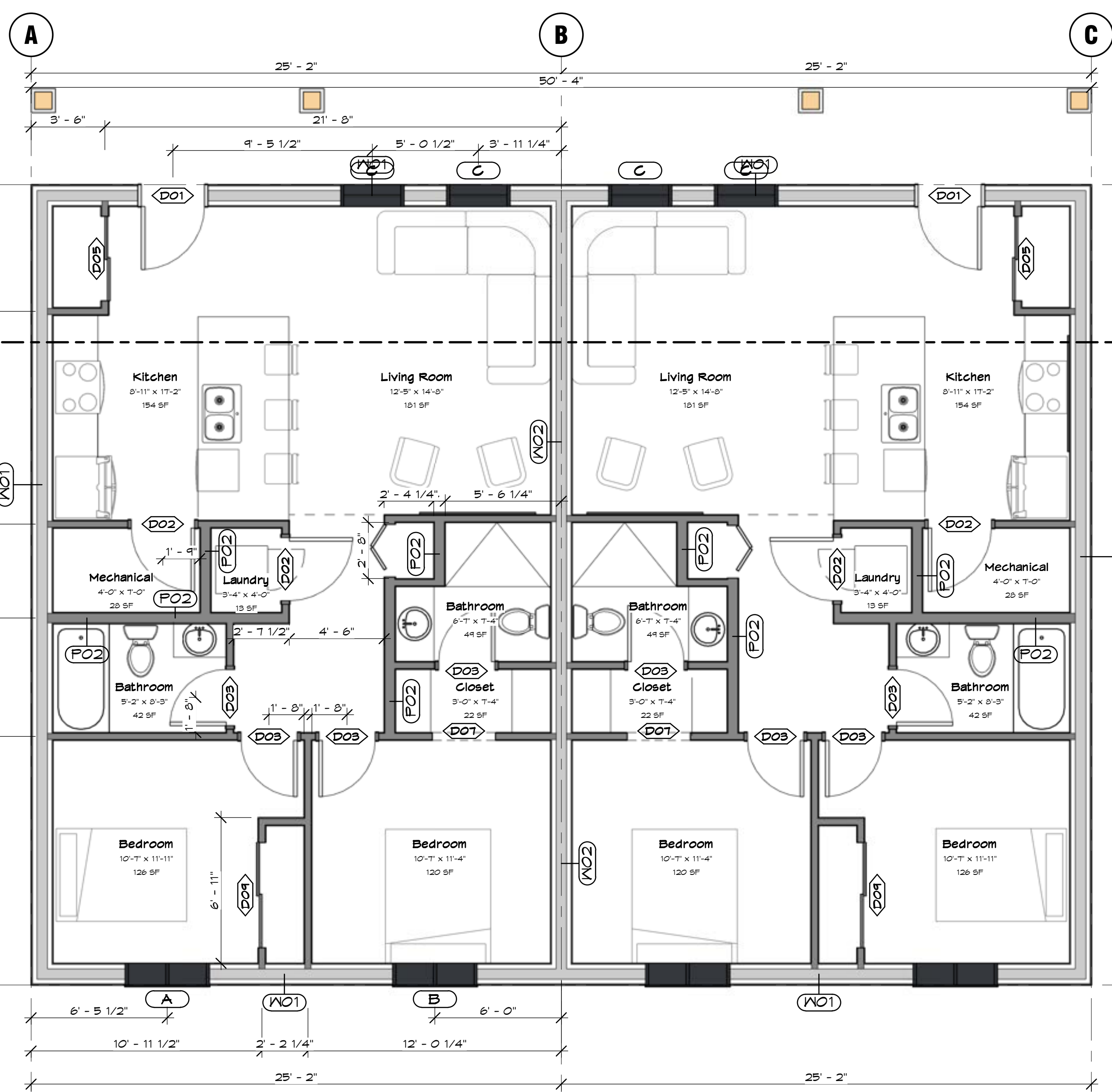
1

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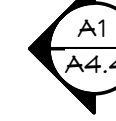
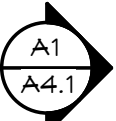
4

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A1
A3.1 **LEVEL 1 FLOOR PLAN**
SCALE = 1" = 1/4"

NOTE: DIMENSIONS THE SAME AS OPPOSITE SIDE, MIRROR IMAGE ONLY.





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ROOF PLAN

SCALE: 1' = 1/4"

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A3.4

D

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A

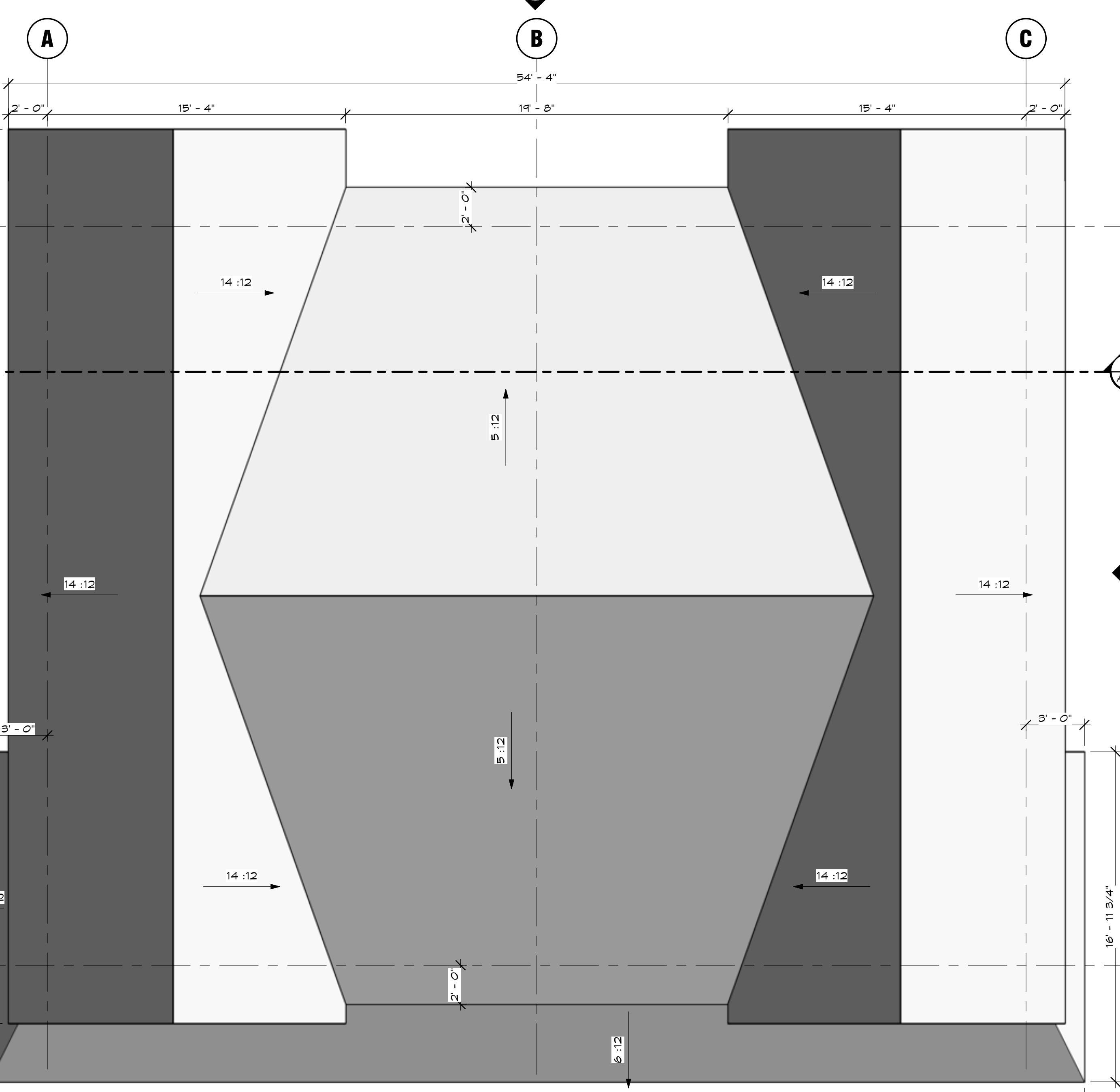
1

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4

5



T.O. ROOF
SCALE = 1' = 1/4"



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KEYNOTE LEGEND

01	ASPHALT SHINGLE
08	WHITE HORIZONTAL 7.25" HARDIE LAP
09	DARK TONE HARDIE VERTICAL PLANK
12	DARK TONE HARDIE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH FURRED HARDIE BASE
16	DIMENSIONAL LUMBER DECKING + FASCIA
17	PINE (OR FAUX ALUM/POLY EQUIVALENT) SOFFIT

SEALS

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DRAWING TITLE
EXTERIOR BUILDING ELEVATIONS

SCALE: 1' = 1/4"

DRAWN: JE

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A4.0



ELEVATION A
SCALE = 1' = 1/4"

1

2

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5

D

C

B

A



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KEYNOTE LEGEND	
01	ASPHALT SHINGLE
08	WHITE HORIZONTAL 7.25" HARDIE LAP
15	SOLID WOOD COLUMN WITH FURRED HARDIE BASE
17	PINE (OR FAUX ALUM/POLY EQUIVALENT) SOFFIT

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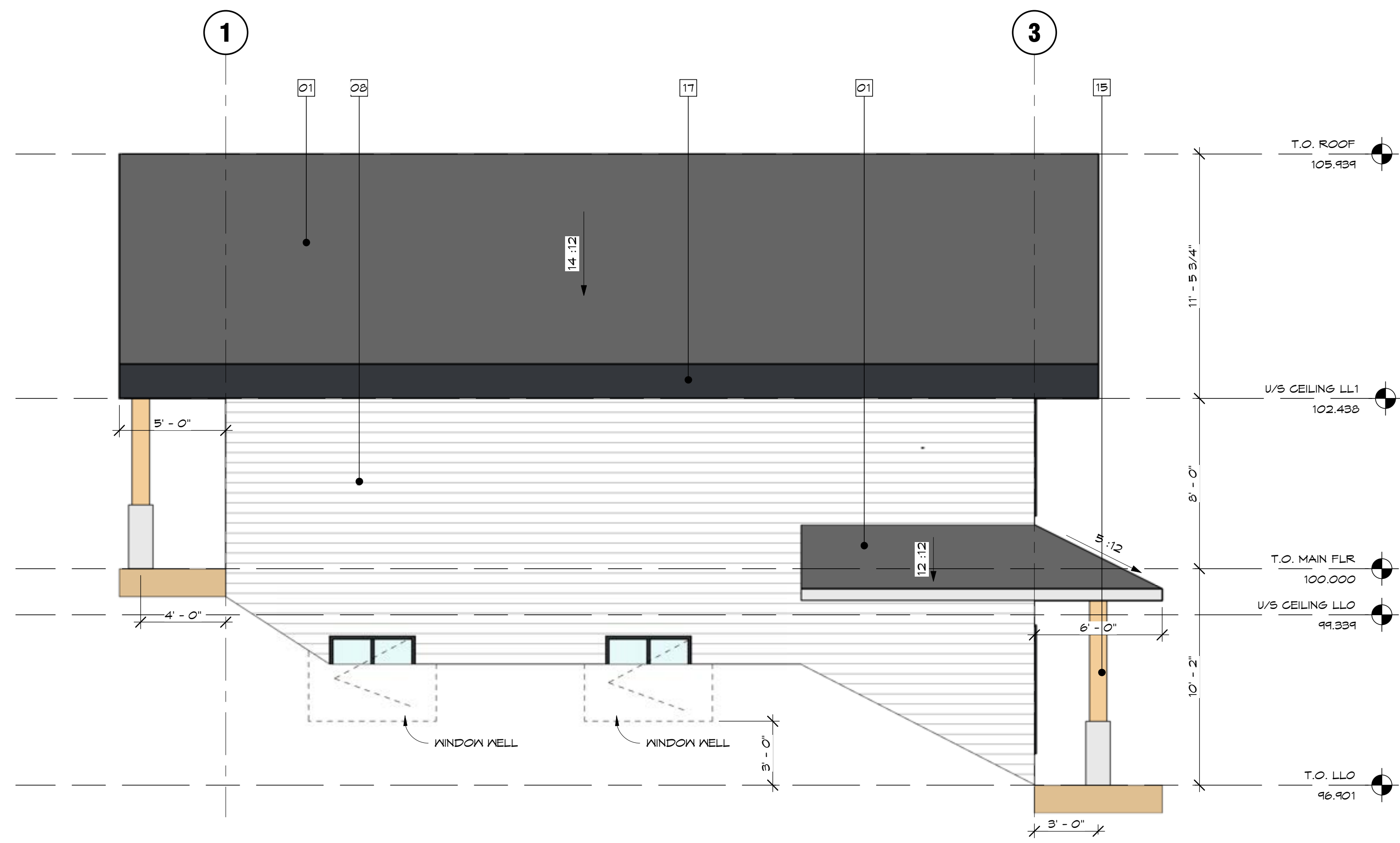
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D

C

B

A



ELEVATION B
A1
A4.1 SCALE = 1' = 1/4"

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Pinetree Meadows

15 Ave Invermere BC

DRAWING TITLE

**EXTERIOR
BUILDING
ELEVATIONS**

SCALE: 1' = 1/4"

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A4.1

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5



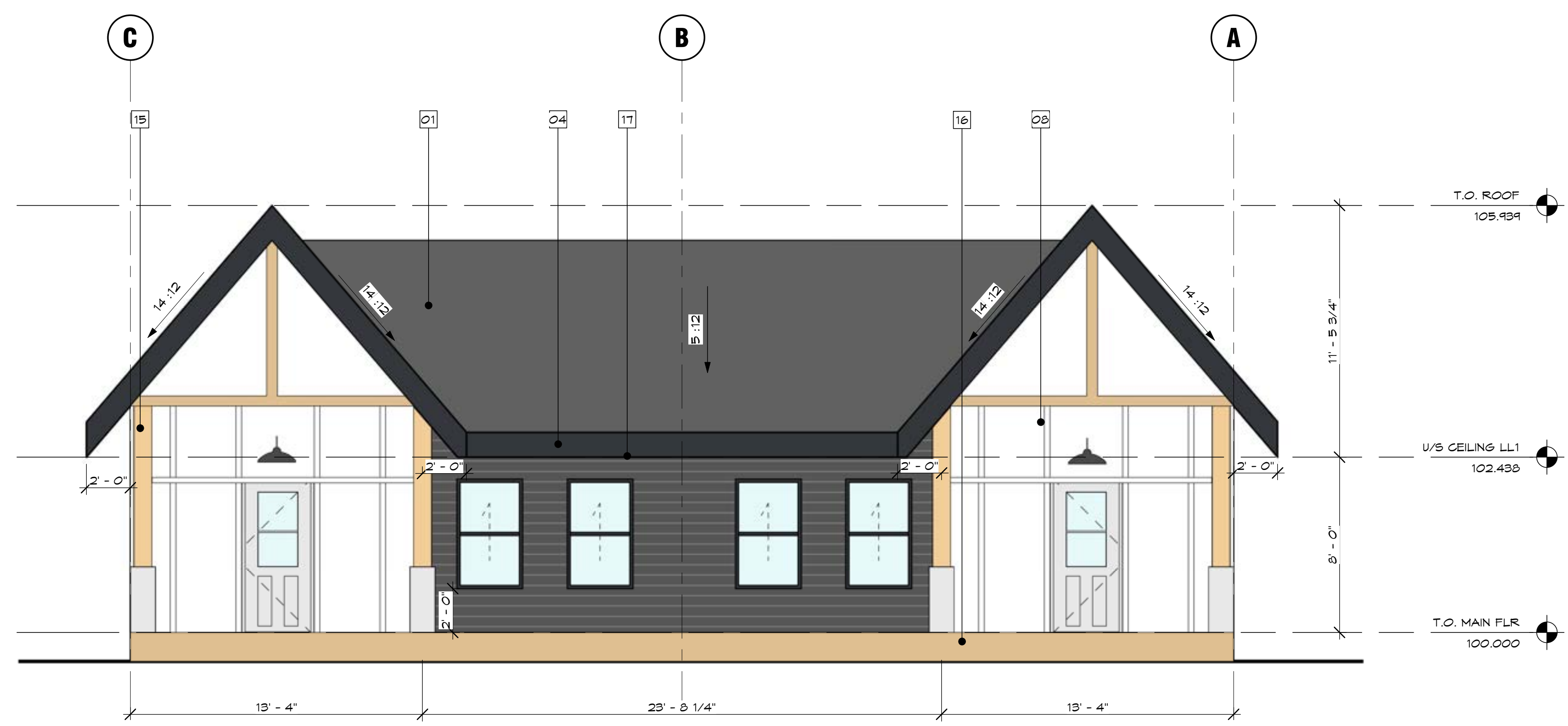
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KEYNOTE LEGEND	
01	ASPHALT SHINGLE
04	CHARCOAL FASCIA
08	WHITE HORIZONTAL 7.25" HARDIE LAP
15	SOLID WOOD COLUMN WITH FURRED HARDIE BASE
16	DIMENSIONAL LUMBER DECKING + FASCIA
17	PINE (OR FAUX ALUM/POLY EQUIVALENT) SOFFIT

SEALS

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A1 **ELEVATION C**
A4.3 SCALE = 1" = 1/4"

PROJECT TITLE

Pinetree Meadows

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DRAWING TITLE

EXTERIOR BUILDING ELEVATIONS

SCALE: 1" = 1/4"	
DRAWN: RKD/JE	
CHECKED: IM	
OCT' 21	A4.3
21-070	

1

2

3

4

5

D

C

B

A



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KEYNOTE LEGEND	
01	ASPHALT SHINGLE
04	CHARCOAL FASCIA
08	WHITE HORIZONTAL 7.25" HARDIE LAP
15	SOLID WOOD COLUMN WITH FURRED HARDIE BASE
17	PINE (OR FAUX ALUM/POLY EQUIVALENT) SOFFIT

SEALS

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PROJECT TITLE

Pinetree Meadows

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DRAWING TITLE

EXTERIOR BUILDING ELEVATIONS

SCALE: 1' = 1/4"

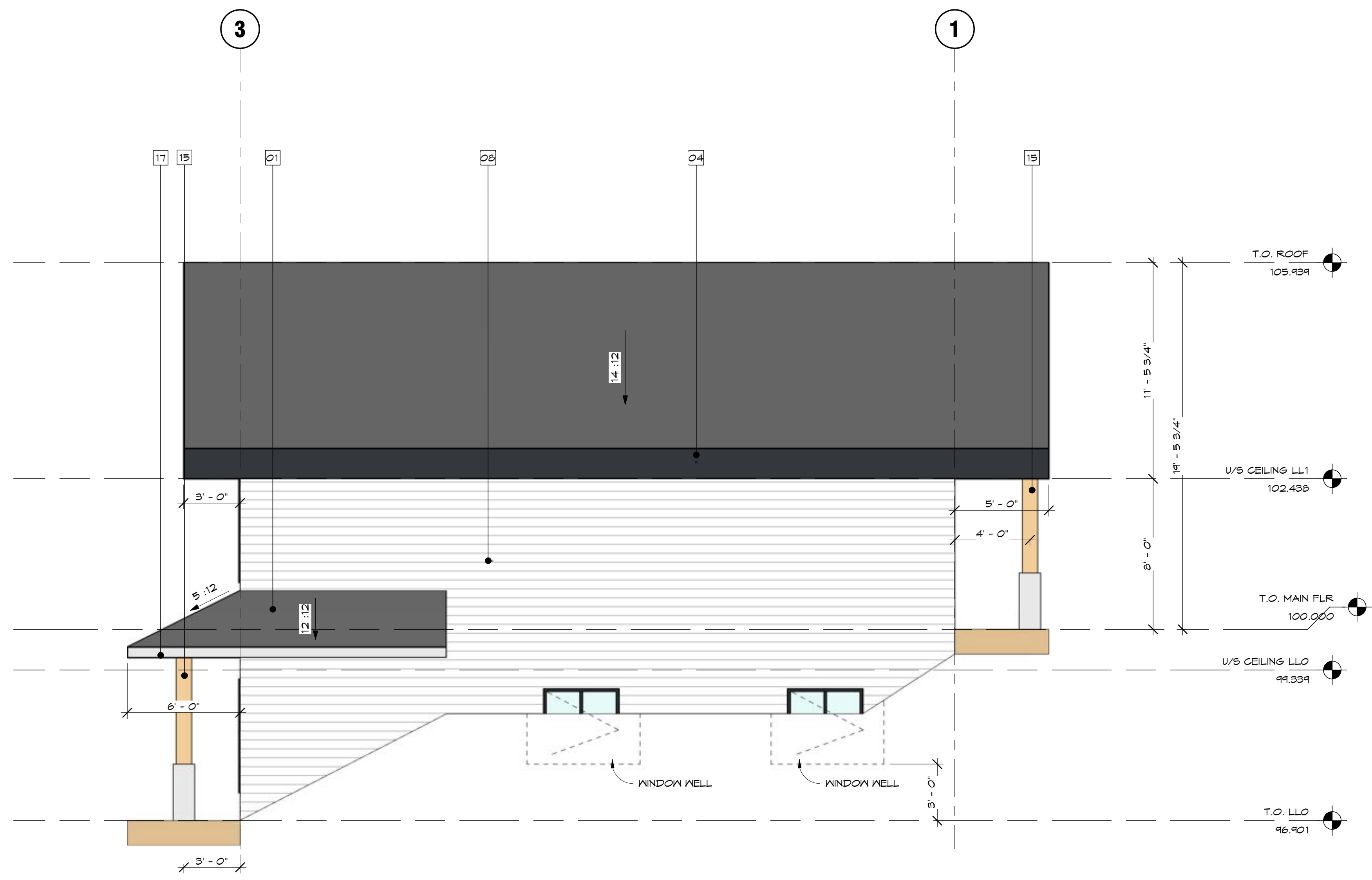
DRAWN: RKD/JE

CHECKED: IM

OCT' 21

21-070

A4.4



ELEVATION D

A1
A4.4 SCALE = 1" = 1/4"

1

2

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D

C

B

A



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PROJECT TITLE

Pinetree Meadows

15 Ave Invermere BC

DRAWING TITLE

**BUILDING
SECTIONS**

SCALE: 1' = 1/4"

DRAWN: RKD

CHECKED: IM

OCT' 21

21-070

A5.0

D

C

B

A

A

B

C

T.O. ROOF
105.939

U/S CEILING LL1
102.438

T.O. MAIN FLR
100.000

U/S CEILING LLO
99.339

T.O. LLO
96.901

NOTE: TRUSS DETAILS TBC BY STRUCTURAL

NOTE: SLAB AND FOOTING DETAILS TBC BY STRUCTURAL

W01

W02

W02

W01

Living Room

Living Room

Bedroom

Laundry

Laundry

Bedroom

C01

8'-0" CLR

0'-8 1/2" CLR

8'-0" CLR

C01

1 SECTION A
A5.0 SCALE = 1' = 1/4"

1

2

3

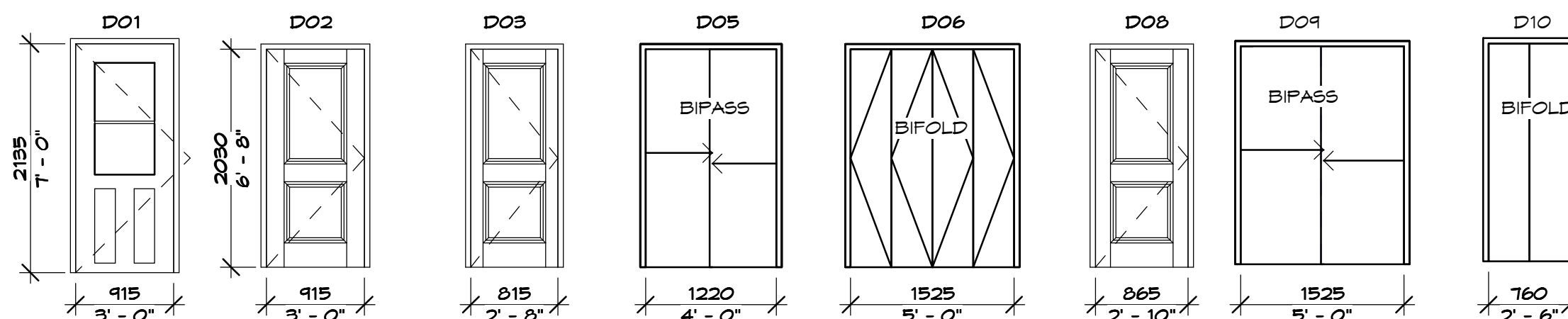
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DOOR ELEVATIONS



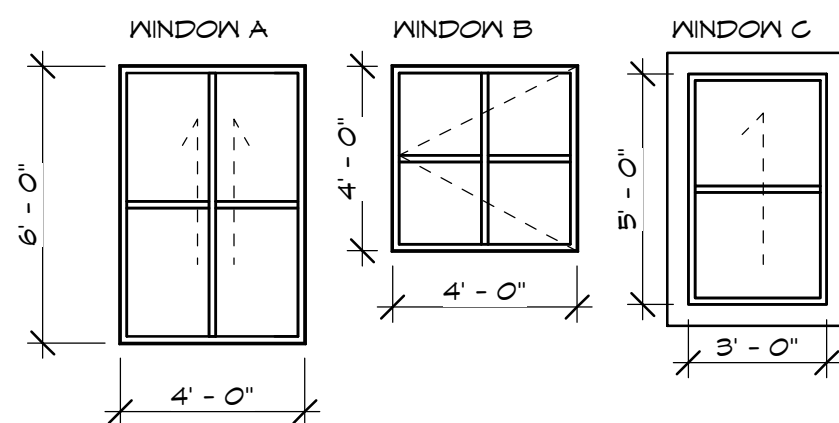
NOTE: SWING DIRECTION AS PER PLANS. DOOR STYLE/# PANELS SUBJECT TO CHANGE. ROUGH OPENING AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS. HARDWARE TBC.

DOOR SCHEDULE

Dimension are Nominal Only, Contractor to Verify on Site

ELEV.	DOOR		Door Style	Count	DOOR		NOTES
	WIDTH	HEIGHT			FINISH	F.R. LABEL	
D01	915	2135	HMD (INSULATED) / PSF / PAINTED	4	TBC		Vented - Must be Barrier Free Compliant
D02	915	2030	WD (HOLLOW) / PSF / PAINTED	6	TBC		
D03	815	2030	WD (HOLLOW) / PSF / PAINTED	18	TBC		
D05	1220	2030	WD (HOLLOW) / PSF / PAINTED	2	TBC		
D06	1525	2030	WD (HOLLOW) / PSF / PAINTED	2	TBC		
D07	0	0	(none)	2	TBC		Opening Only - No door
D09	1525	2030	WD (HOLLOW) / PSF / PAINTED	4	TBC		
D10	760	2030	WD (HOLLOW) / PSF / PAINTED	4	TBC		

WINDOW ELEVATIONS



NOTE: REFER TO ELEVATIONS FOR OPERABLE WINDOW LOCATIONS. ROUGH OPENINGS AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS.

WINDOW SCHEDULE

Type Mark	Count	Description	Height	Width	Comments
A	6	2X2	1830	1220	
B	6	2X2	1220	1220	
C	4	1X2	1525	915	1'-6" AFF UNO

SEALS

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03/03/22	CLIENT REVIEW

PROJECT TITLE

Pinetree Meadows

15 Ave Invermere BC

DRAWING TITLE

DOOR + WINDOW SCHEDULE

SCALE: 1 : 50

DRAWN: RKD

CHECKED: IM

OCT' 21

21-070

A9.0

ASSEMBLY SCHEDULES

EXTERIOR WALLS

W1- 6" ICF EXTERIOR WALL
 -CLADDING AS PER ELEVATIONS
 -AIR BARRIER
 -2 1/2" RIGID INSULATION
 -6" CONCRETE
 -2 1/2" RIGID INSULATION
 -VAPOUR BARRIER
 -1/2" GYPSUM WALL BOARD

W2- 6" ICF CENTRE WALL (1HR FRR)
 -1/2" GYPSUM WALL BOARD
 -2 1/2" RIGID INSULATION
 -6" CONCRETE
 -2 1/2" RIGID INSULATION
 -1/2" GYPSUM WALL BOARD

FLOORS

F1- 11" TJI, SOUND INSULATED, 1HR FRR
 -VINYL PLANK FLOORING
 -5/8" OSB T+G SUBFLOOR
 -11 7/8" TJIs
 -ACOUSTIC BATT FILLED JOIST CAVITY
 -2 LAYERS 5/8" GYPSUM WALL BOARD, TYPE 'X'

F2- 11" TJI, 45min FRR
 -VINYL PLANK FLOORING
 -5/8" OSB T+G SUBFLOOR
 -11 7/8" TJIs
 -ACOUSTIC BATT FILLED JOIST CAVITY
 -5/8" GYPSUM WALL BOARD, TYPE 'X'

F3- INSULATED BASEMENT SLAB
 -VINYL PLANK FLOORING
 -5/8" FLOORING UNDERLAY
 -VAPOUR BARRIER
 -REINFORCED CONCRETE SLAB (AS PER STRUCTURAL)
 -3" RIGID INSULATION (HIGH DENSITY, BEARING)
 -COMPACTED GRAVEL (AS PER STRUCTURAL)

CEILINGS

CO1- FINISHED CEILING
 -DIMENSIONAL LUMBER FRAMING/FURRING
 -VAPOUR BARRIER (WHEN EXPOSED TO ATTIC)
 -1/2" SAG RESISTANT GYPSUM BOARD
 -LOW PROFILE TEXTURED FINISH

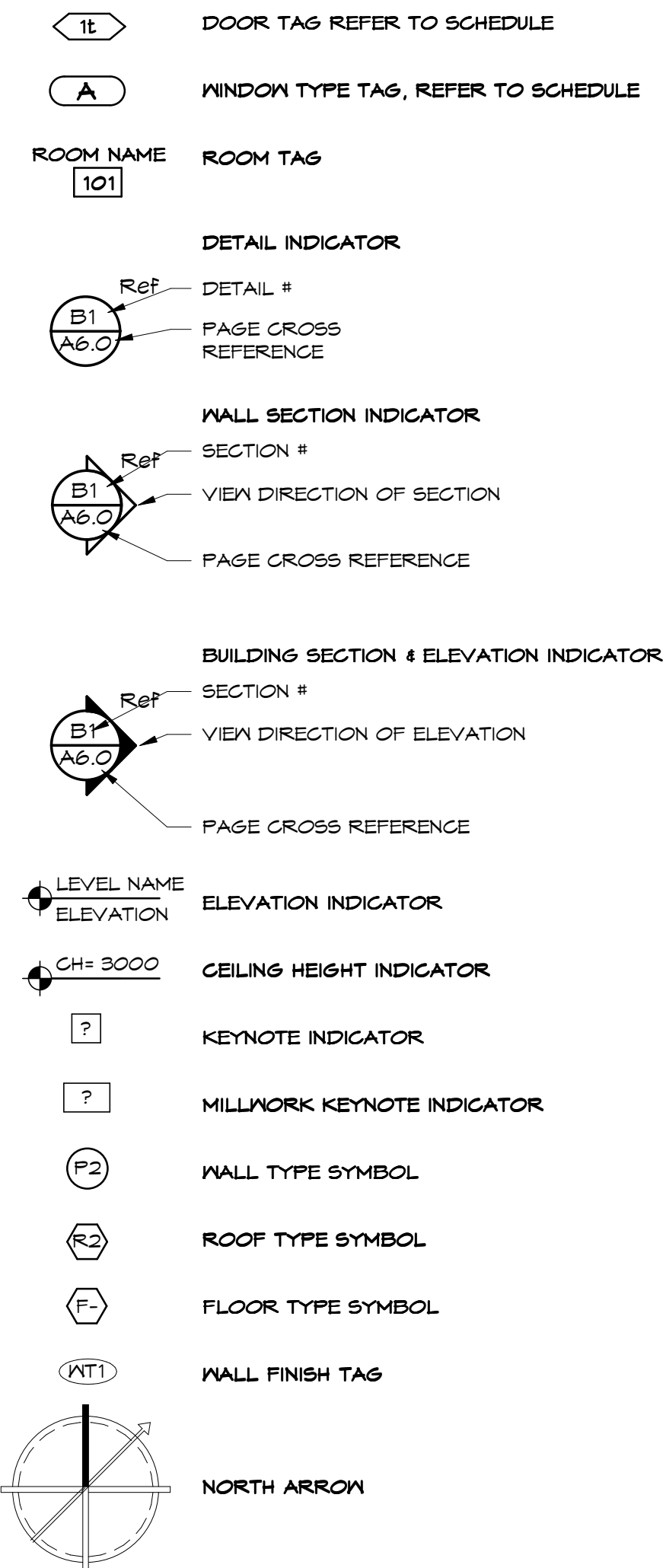
ROOFS

R1- INSULATED TRUSS ROOF
 -ASPHALT SHINGLES
 -UNDERLAY
 -AIR BARRIER
 -PLYWOOD SHEATHING (AS PER STRUCTURAL)
 -OPEN WEB TRUSSES (AS PER STRUCTURAL)
 -BLOWN CELLULOSE R30 C/W HEEL STOPS
 -SOFFITS AND FASCIA AS PER ELEVATIONS

R2- UN-INSULATED CANOPY ROOF
 -ASPHALT SHINGLES
 -UNDERLAY
 -AIR BARRIER
 -PLYWOOD SHEATHING (AS PER STRUCTURAL)
 -DIMENSIONAL FRAMING (AS PER STRUCTURAL)
 -SOFFITS AND FASCIA AS PER ELEVATIONS

R3- INSULATED DORMER ROOF
 -ASPHALT SHINGLES
 -UNDERLAY
 -AIR BARRIER
 -PLYWOOD SHEATHING (AS PER STRUCTURAL)
 -FRAMING (AS PER STRUCTURAL)
 -BATT FILLED CAVITY MIN. R 20
 -2" RIGID INSULATION UNDERSIDE FRAMING
 -1/2" GYPSUM WALL BOARD (SMOOTH FINISH)
 -SOFFITS AND FASCIA AS PER ELEVATIONS

DRAWING SYMBOLS LEGEND



GENERAL NOTES

- DO NOT SCALE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT.
- CONTRACTOR TO COMPARE DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
- ALL WORK COMPLIES WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE - 2018 BCBC EDITION AND LOCAL ORDINANCES.
- COORDINATE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL CONSULTANTS DOCUMENTS. COORDINATE DIMENSIONS REQUIRED FOR THE FITTING OF ALL COMPONENTS AS NECESSARY TO ENSURE THEIR SOUND OPERATION UPON COMPLETION.
- ALL WALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE CONSTRUCTION ASSEMBLY PAGE SHOW TRUE REPRESENTATION OF COMPLETED CONSTRUCTION ASSEMBLY. REFER TO SPECIFICATIONS FOR ADDITIONAL ASSEMBLY INFORMATION. THESE ASSEMBLIES SUPERSEDE ALL COMPLETED DETAILS AND NOTATION COMPLETED ON THE FOLLOWING CONSTRUCTION DRAWINGS.
- REFER TO STRUCTURAL FRAMING PLANS FOR LOCATIONS OF ALL INTERIOR LOAD BEARING ASSEMBLIES AND SHEAR WALL LOCATIONS.
- ALL GYPSUM BOARD IN BATHROOMS AND COMMERCIAL KITCHENS SHALL BE MOISTURE RESISTANT TYPE.
- ALL EXPOSED CONCRETE WALL CORNERS SHALL BE CHAMFERED.
- ALL G.I. FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.
- MAINTAIN CONTINUOUS FIRE RATED SEPARATION AROUND JANITOR ROOMS, STORAGE ROOMS, AND MECHANICAL ROOMS; CARRY WALLS TO UNDERSIDE OF STRUCTURE.
- PROVIDE CONTINUOUS SEALANT AROUND BOTH SIDES OF ALL DOOR AND WINDOW FRAMES.
- IN ALL LOCATIONS WHERE GYPSUM BOARD ABUTS DISSIMILAR MATERIAL, USE A MILGOR AND/OR J-TRIM AT EDGE SURFACES. ALLOW 3mm +/- GAP. EX. DOOR, WINDOW FRAME, CONCRETE WALL, CONCRETE, BRICK ETC.
- PROVIDE CORNER BEAD FOR ALL EXPOSED GYPSUM WALL BOARD CORNERS.
- ALL WOOD COMPONENTS DIRECTLY ATTACHED TO CEMENTITIOUS MATERIALS AND DIRECTLY UNDER EXTERIOR ALUMINUM SILLS SHALL BE PRESSURE TREATED.
- FURR-IN ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
- SEE MECHANICAL AND ELECTRICAL FOR EXACT TYPES AND QUANTITY OF DIFFUSERS, GRILLES, FIXTURES, AND EQUIPMENT. CO-ORDINATE SIZES AND EXACT LOCATIONS TO SUIT ARCHITECTURAL REFLECTED CEILING PLANS AND/OR DETAILS.
- CAULK AND SEAL AROUND ALL DUCTS AND PIPES PASSING THROUGH FIRE RATED PARTITIONS AND FLOOR ASSEMBLIES WITH APPROVED (ULC) MASTIC CAULKING.
- PROVIDE ACOUSTICAL SEALANT AT JUNCTIONS OF SOUND RATED PARTITIONS.
- WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN SOUND RATED PARTITION STAGGER THESE OUTLETS 2 STUD SPACES. PROVIDE ACOUSTICAL SEALANT ALL AROUND.

Berry Architecture + Associates
 Suite 200, 5218-50 Avenue
 Red Deer, T4N 4B5

Phone: 403-314-4461
 Contact:

ARCHITECTURAL SHEET...

Sheet Number	Sheet Name
A0.0	COVER SHEET
A1.0	CODE REVIEW
A2.0	SITE PLAN + BYLAW REVIEW
A3.0	BASEMENT FLOOR PLAN
A3.1	MAIN FLOOR PLAN
A3.2	SECOND FLOOR PLAN
A3.4	ROOF PLAN
A4.0	EXTERIOR BUILDING ELEVATIONS
A4.1	EXTERIOR BUILDING ELEVATIONS
A4.3	EXTERIOR BUILDING ELEVATIONS
A4.4	EXTERIOR BUILDING ELEVATIONS
A5.0	BUILDING SECTIONS
A6.0	CONSTRUCTION DETAILS
A6.1	CONSTRUCTION DETAILS CONT.
A6.2	CONSTRUCTION DETAILS CONT.
A7.0	DOOR + WINDOW SCHEDULES



SEALS

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REVISIONS + ISSUES

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2022 05 02	BUILDING PERMIT
2022 05 17	RE-ISSUED BP
2022 07 05	RE-ISSUED BP

PROJECT TITLE

Pinetree Meadows

15 Ave Invermere BC

DRAWING TITLE

COVER SHEET

SCALE: As indicated

DRAWN: RKD

CHECKED: IM/RR

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A0.0



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GENERAL NOTES

1. ALL INTERIOR PARTITIONS TO BE ASSEMBLY TYPE "P1" UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE TO BE CENTRED IN OPENING UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE.
4. NORTH ARROW NOT SHOWN AS LOCATION IS SUBJECT TO CHANGE.

SEALS

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PROJECT TITLE

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DRAWING TITLE

BASEMENT FLOOR PLAN

SCALE: As indicated

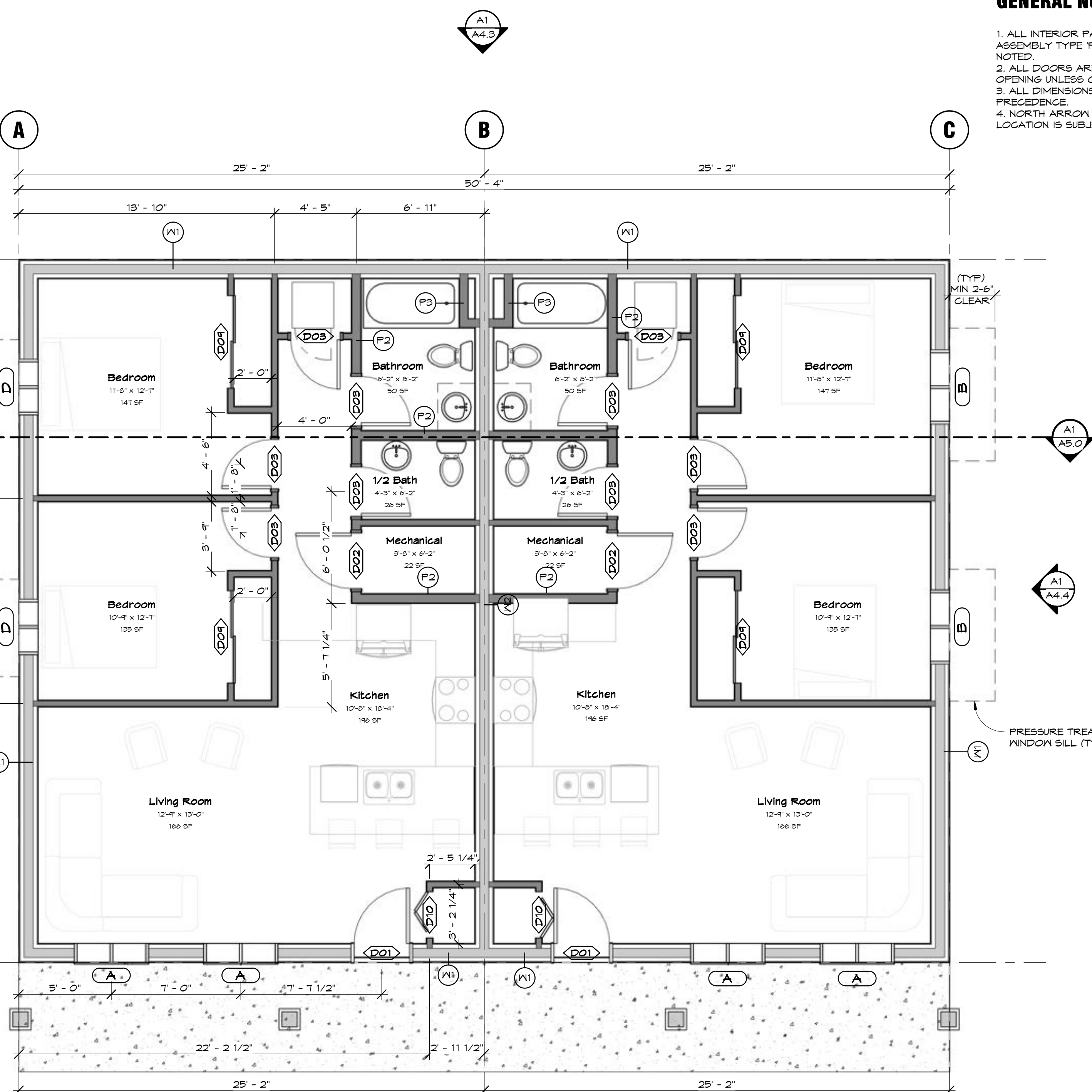
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A3.0



BASEMENT FLOOR PLAN
SCALE = 1" = 1/4"

NOTE: DIMENSIONS THE SAME AS OPPOSITE SIDE, MIRROR IMAGE ONLY.

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GENERAL NOTES

1. ALL INTERIOR PARTITIONS TO BE ASSEMBLY TYPE "P1" UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE TO BE CENTRED IN OPENING UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE.
4. NORTH ARROW NOT SHOWN AS LOCATION IS SUBJECT TO CHANGE.

SEALS

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DRAWING TITLE

MAIN FLOOR PLAN

SCALE: As indicated

DRAWN: RKD

CHECKED: IM/RR

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A3.1



MAIN FLOOR PLAN

SCALE = 1" = 1/4"

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GENERAL NOTES

1. ALL INTERIOR PARTITIONS TO BE ASSEMBLY TYPE "P1" UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE TO BE CENTRED IN OPENING UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE.
4. NORTH ARROW NOT SHOWN AS LOCATION IS SUBJECT TO CHANGE.

SEALS

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2022 07 05	RE-ISSUED BP

PROJECT TITLE

Pinetree Meadows

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DRAWING TITLE

SECOND FLOOR PLAN

SCALE: As indicated

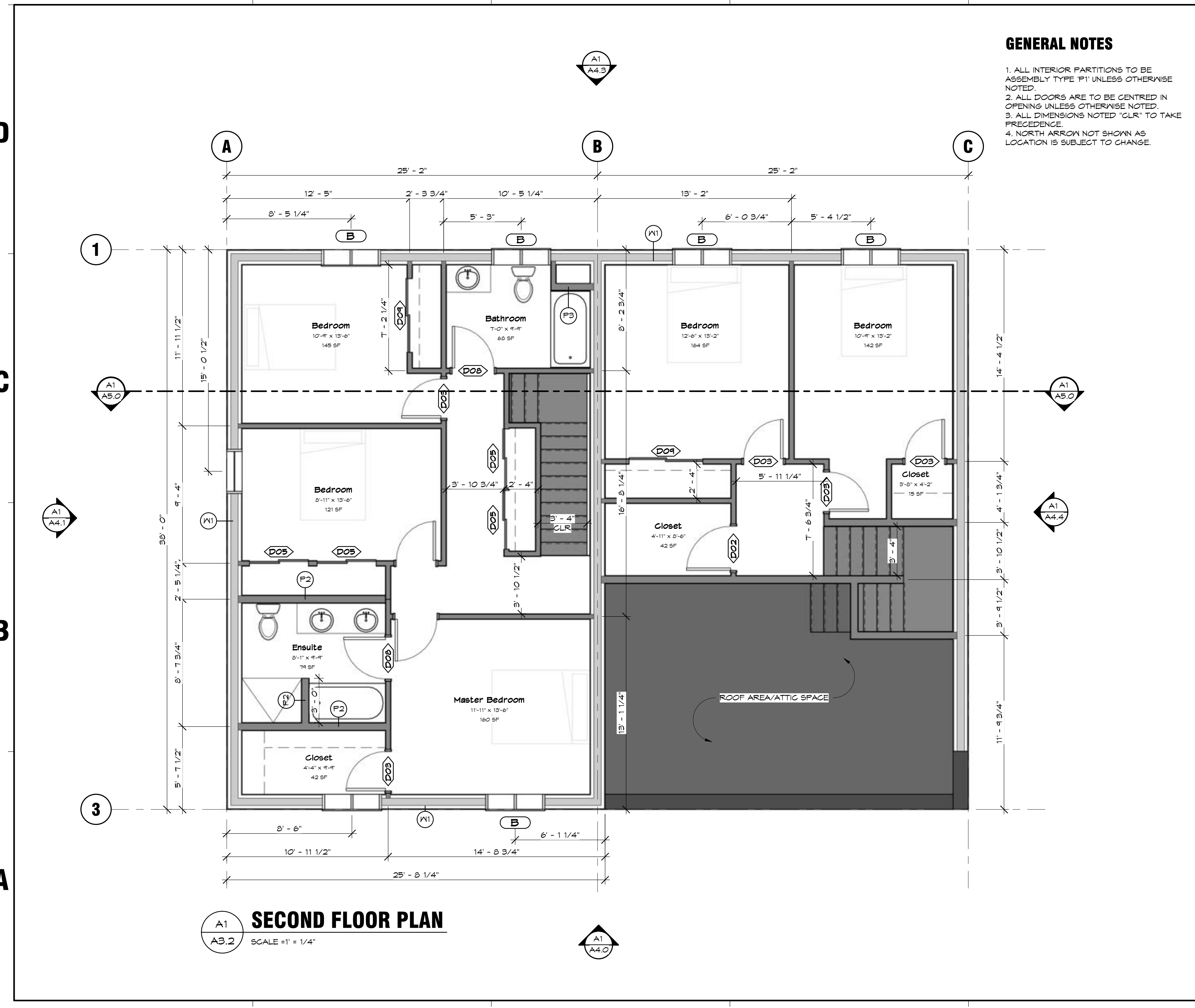
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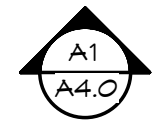
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A3.2



A1
A3.2 **SECOND FLOOR PLAN**
SCALE = 1" = 1/4"





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PROJECT TITLE

Pinetree Meadows

15 Ave Invermere BC

DRAWING TITLE

ROOF PLAN

SCALE: 1" = 1/4"

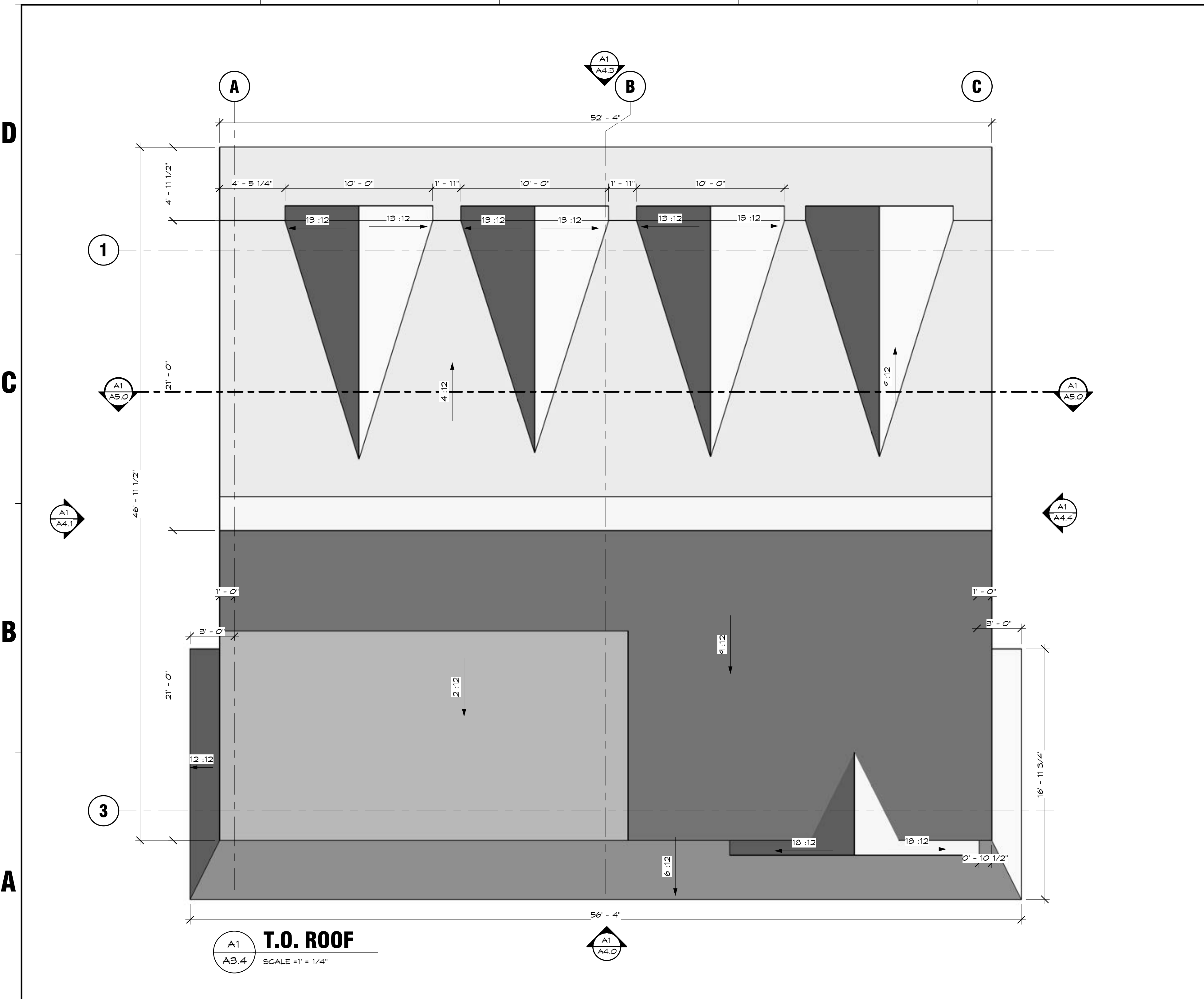
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A3.4



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A1
A4.3

A1
A4.1

A1
A4.4

A1
A5.0

A1
A4.0

A1
A3.4

4' - 11 1/2"

21' - 0"

46' - 11 1/2"

21' - 0"

12' :12

4' - 5 1/4"

10' - 0"

1' - 11"

10' - 0"

1' - 11"

10' - 0"

13 :12

13 :12

13 :12

13 :12

13 :12

13 :12

52' - 4"

4 :12

9 :12

1' - 0"

3' - 0"

2 :12

9 :12

1' - 0"

3' - 0"

16' - 11 3/4"

56' - 4"

6 :12

18 :12

18 :12

0' - 10 1/2"



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KEYNOTE LEGEND

01	ASPHALT SHINGLE
07	MID TONE HORIZONTAL 7.25" HARDIE LAP
08	WHITE HORIZONTAL 7.25" HARDIE LAP
11	WHITE HARDIE VERTICAL PLANK
12	DARK TONE HARDIE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH FURRED HARDIE BASE
16	CONCRETE PATIO W/ FAUX WOOD FASCIA AS REQ'D

SEALS

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PROJECT TITLE

Pinetree Meadows

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DRAWING TITLE

EXTERIOR BUILDING ELEVATIONS

SCALE: 1" = 1/4"

DRAWN: RKD/JE

CHECKED: IM/RR

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A4.0

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ELEVATION A
A1
A4.0
SCALE = 1" = 1/4"



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PROJECT TITLE

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15 Ave Invermere BC

DRAWING TITLE

**EXTERIOR
BUILDING
ELEVATIONS**

SCALE: 1' = 1/4"

DRAWN: RKD/JE

CHECKED: IM/RR

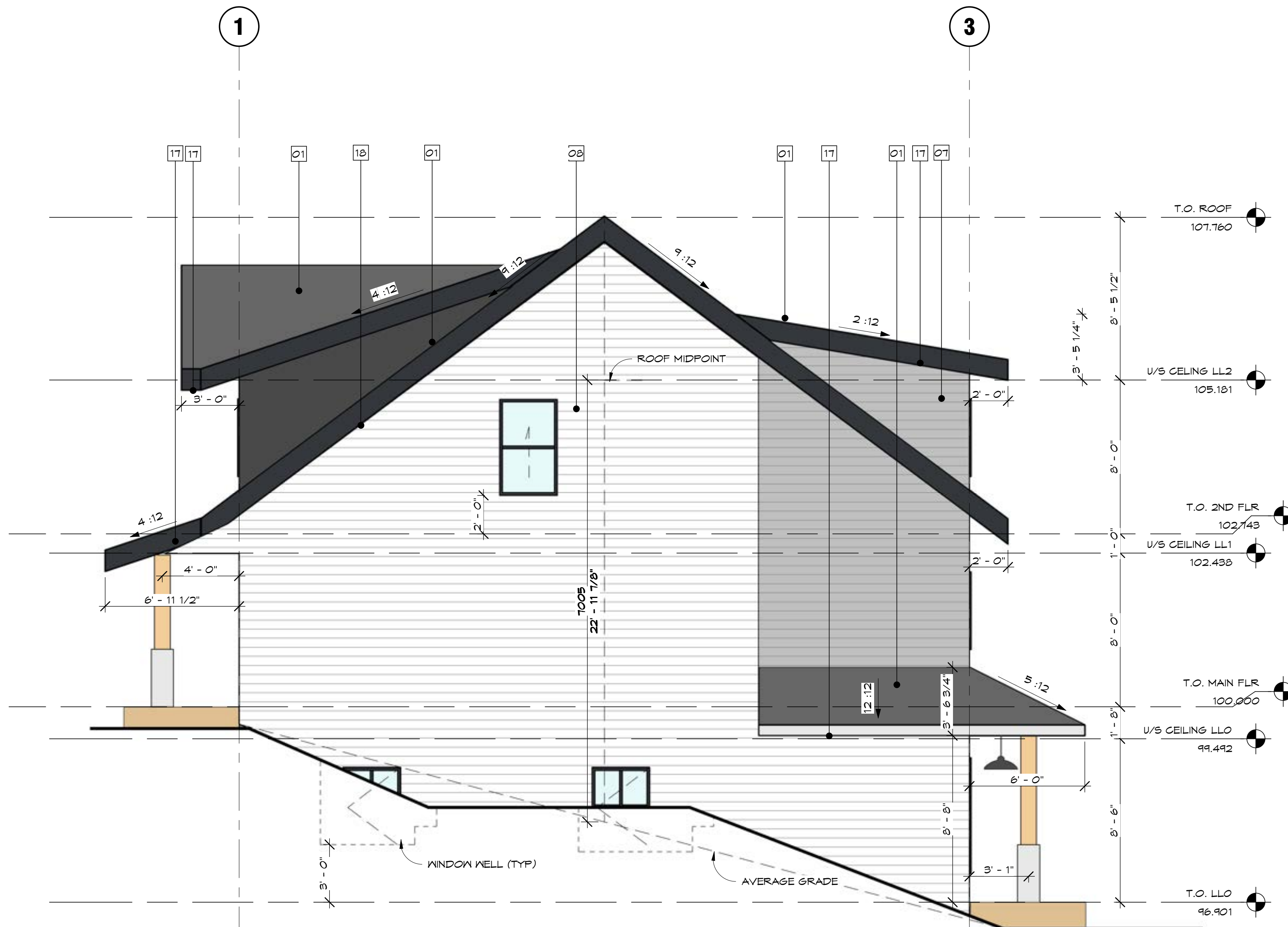
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A4.1

KEYNOTE LEGEND

01	ASPHALT SHINGLE
07	MID TONE HORIZONTAL 7.25" HARDIE LAP
08	WHITE HORIZONTAL 7.25" HARDIE LAP
17	PINE (OR FAUX ALUM/POLY EQUIVALENT) SOFFIT
18	STANDARD WHITE ALUMINUM SOFFIT



A1 **ELEVATION B**
A4.1 SCALE = 1' = 1/4"

1

2

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5

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B

A



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2022 07 05	RE-ISSUED BP

KEYNOTE LEGEND

01	ASPHALT SHINGLE
04	CHARCOAL FASCIA
08	WHITE HORIZONTAL 7.25" HARDIE LAP
11	WHITE HARDIE VERTICAL PLANK
12	DARK TONE HARDIE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH FURRED HARDIE BASE
16	CONCRETE PATIO W/ FAUX WOOD FASCIA AS REQ'D



PROJECT TITLE
Pinetree Meadows

15 Ave Invermere BC

PROJECT TITLE

DRAWING TITLE

**EXTERIOR
BUILDING
ELEVATIONS**

SCALE: 1' = 1/4"

DRAWN: RKD/JE

CHECKED: IM/RR

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A4.3

A1 **ELEVATION C**
A4.3 SCALE = 1' = 1/4"

1

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3

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5



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KEYNOTE LEGEND

01	ASPHALT SHINGLE
07	MID TONE HORIZONTAL 7.25" HARDIE LAP
08	WHITE HORIZONTAL 7.25" HARDIE LAP
12	DARK TONE HARDIE BOARD AND BATTEN
17	PINE (OR FAUX ALUM/POLY EQUIVALENT) SOFFIT
18	STANDARD WHITE ALUMINUM SOFFIT

SEALS

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2022 07 05	RE-ISSUED BP

PROJECT TITLE

Pinetree Meadows

15 Ave Invermere BC

DRAWING TITLE

EXTERIOR BUILDING ELEVATIONS

SCALE: 1" = 1/4"

DRAWN: RKD/JE

CHECKED: IM/RR

OCT 21

21-070

A4.4

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17

01

01

07

01

01

18

08

12

01

01

17

T.O. ROOF
107.760

U/S CEILING LL2
105.181

T.O. 2ND FLR
102.743

U/S CEILING LL1
102.438

T.O. MAIN FLR
100.000

U/S CEILING LLO
99.492

T.O. LLO
96.901

2:12

9:12

9:12

4:12

12:12

2'-0"

2'-0"

3'-0"

6'-11 1/2"

6'-0"

3'-0"

8'-5 1/2"

8'-0"

8'-0"

1'-0"

8'-0"

25'-5 1/2"

A1

ELEVATION D

A4.4

SCALE = 1" = 1/4"

WINDOW WELL



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SEALS

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PROJECT TITLE

Pinetree Meadows

15 Ave Invermere BC

DRAWING TITLE

**BUILDING
SECTIONS**

SCALE: 1' = 1/4"

DRAWN: RKD

CHECKED: IM/RR

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A5.0

D

C

B

A



SECTION A
SCALE = 1' = 1/4"

1

2

3

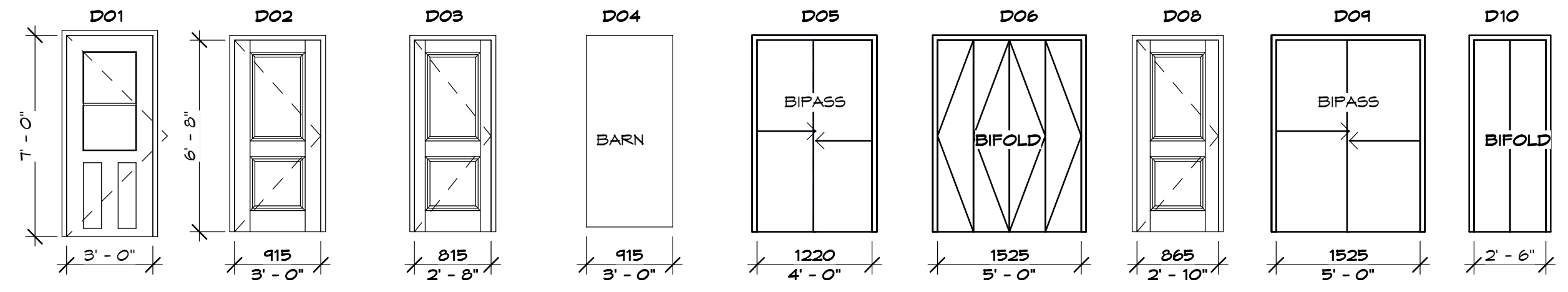
4

5



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DOOR ELEVATIONS



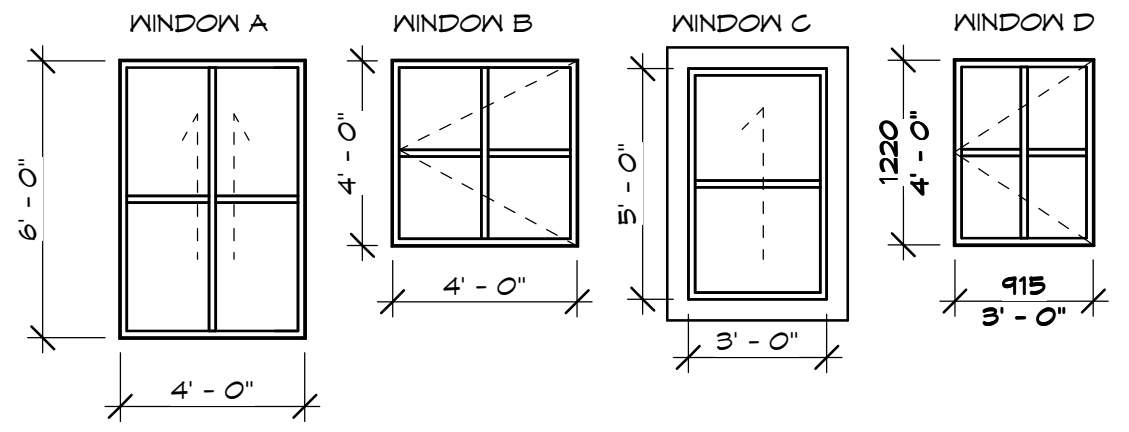
NOTE: SWING DIRECTION AS PER PLANS. DOOR STYLE/# PANELS SUBJECT TO CHANGE. ROUGH OPENING AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS. HARDWARE TBC.

DOOR SCHEDULE

Dimension are Nominal Only, Contractor to Verify on Site

TAG	WIDTH	HEIGHT	Door Style	Count	NOTES
D01	915	2135	HMD (INSULATED) / PSF / PAINTED	4	VENTED -MUST BE BARRIER FREE COMPLIANT
D02	915	2030	WD (HOLLOW) / WD FRAME / PAINTED	5	
D03	815	2030	WD (HOLLOW) / PSF / PAINTED	21	
D04	915	2030	WD (HOLLOW) / PSF / PAINTED	1	
D05	1220	2030	WD (HOLLOW) / PSF / PAINTED	6	
D07	915	2030	WD (HOLLOW) / PSF / PAINTED	1	
D08	865	2030	WD (HOLLOW) / PSF / PAINTED	4	
D09	1525	2030	WD (HOLLOW) / PSF / PAINTED	6	
D10	760	2030	WD (HOLLOW) / PSF / PAINTED	2	

WINDOW ELEVATIONS



NOTE: REFER TO ELEVATIONS FOR OPERABLE WINDOW LOCATIONS. ROUGH OPENINGS AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS. ALL WINDOWS TO MEET BCBC 2018 PART 9.36. BEDROOM WINDOWS MUST MEET EGRESS REQUIREMENTS.

WINDOW SCHEDULE

Type Mark	Count	Height	Width	Comments
A	8	183	122	TYP 1'-6" AFF UNO
B	13	122	122	TYP 3'-0" AFF UNO
C	1	1525	915	TYP 3'-0" AFF UNO
D	2	122	915	TYP 3'-0" AFF UNO

SEALS

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REVISIONS + ISSUES

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2022 07 05	RE-ISSUED BP

PROJECT TITLE
Pinetree Meadows

15 Ave Invermere BC

DRAWING TITLE
DOOR + WINDOW SCHEDULES

SCALE: 1 : 50
DRAWN: RKD
CHECKED: IM/RR

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21-070 **A7.0**

1

2

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ASSEMBLY SCHEDULES

EXTERIOR WALLS

E01- 6" ICF EXTERIOR WALL

- CLADDING AS PER ELEVATIONS
- AIR BARRIER
- 2 1/2" RIGID INSULATION
- 6" CONCRETE
- 2 1/2" RIGID INSULATION
- VAPOUR BARRIER
- 1/2" GYPSUM WALL BOARD

E02- 6" ICF CENTRE WALL (1HR FRR)

- 1/2" GYPSUM WALL BOARD
- 2 1/2" RIGID INSULATION
- 6" CONCRETE
- 2 1/2" RIGID INSULATION
- 1/2" GYPSUM WALL BOARD

INTERIOR PARTITIONS

P01- 2x4 INTERIOR PARTITION

- 1/2" GYPSUM WALL BOARD
- 2x4 WOOD STUDS @ 16" O.C.
- 1/2" GYPSUM WALL BOARD

P02- 2x6 PLUMBING/BEARING PARTITION

- 1/2" GYPSUM WALL BOARD
- 2x6 WOOD STUDS @ 16" O.C.
- 1/2" GYPSUM WALL BOARD

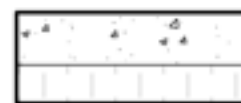
NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

P03- 2x6 FURRED PLUMBING PARTITION

- 2x6 WOOD STUDS @ 16" O.C.
- 1/2" GYPSUM WALL BOARD

NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

FLOORS



F01- 11" TJI, SOUND INSULATED, 1HR FRR

- VINYL PLANK FLOORING
- 5/8" OSB T+G SUBFLOOR
- 11 7/8" TJIs
- ACOUSTIC BATT FILLED JOIST CAVITY
- 2 LAYERS 5/8" GYPSUM WALL BOARD, TYPE 'X'

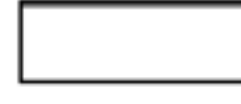
F02- 11" TJI, 45min FRR

- VINYL PLANK FLOORING
- 5/8" OSB T+G SUBFLOOR
- 11 7/8" TJIs
- ACOUSTIC BATT FILLED JOIST CAVITY
- 5/8" GYPSUM WALL BOARD, TYPE 'X'

F03- INSULATED BASEMENT SLAB

- VINYL PLANK FLOORING
- 5/8" FLOORING UNDERLAY
- VAPOUR BARRIER
- REINFORCED CONCRETE SLAB (AS PER STRUCTURAL)
- RIGID INSULATION (HIGH DENSITY, BEARING)
- COMPACTED GRAVEL (AS PER STRUCTURAL)

CEILINGS



C01- FINISHED CEILING

- DIMENSIONAL LUMBER FRAMING/FURRING
- 1/2" SAG RESISTANT GYPSUM BOARD
- LOW PROFILE TEXTURED FINISH

ROOFS



R01- INSULATED TRUSS ROOF

- ASPHALT SHINGLES
- UNDERLAY
- AIR BARRIER
- PLYWOOD SHEATHING (AS PER STRUCTURAL)
- OPEN WEB TRUSSES (AS PER STRUCTURAL)
- BATT FILLED? INSULATION C/W HEEL STOPS
- SOFFITS AND FASCIA AS PER ELEVATIONS

R02- UN-INSULATED CANOPY ROOF

- ASPHALT SHINGLES?
- UNDERLAY
- AIR BARRIER
- PLYWOOD SHEATHING (AS PER STRUCTURAL)
- DIMENSIONAL FRAMING (AS PER STRUCTURAL)
- SOFFITS AND FASCIA AS PER ELEVATIONS

GENERAL NOTES

- DO NOT SCALE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT.
- CONTRACTOR TO COMPARE DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
- ALL WORK COMPLIES WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE - 2018 BC EDITION AND ALL ORDINANCES
- COORDINATE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL CONSULTANTS DOCUMENTS. COORDINATE DIMENSIONS REQUIRED FOR THE FITTING OF ALL COMPONENTS AS NECESSARY TO ENSURE THEIR SOUND OPERATION UPON COMPLETION.
- ALL WALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE CONSTRUCTION ASSEMBLY PAGE SHOW TRUE REPRESENTATION OF COMPLETED CONSTRUCTION ASSEMBLY. REFER TO SPECIFICATIONS FOR ADDITIONAL ASSEMBLY INFORMATION. THESE ASSEMBLIES SUPERSEDE ALL COMPLETED DETAILS AND NOTATION COMPLETED ON THE FOLLOWING CONSTRUCTION DRAWINGS.
- REFER TO STRUCTURAL FRAMING PLANS FOR LOCATIONS OF ALL INTERIOR LOAD BEARING ASSEMBLIES AND SHEAR WALL LOCATIONS.
- ALL GYPSUM BOARD IN BATHROOMS AND COMMERCIAL KITCHENS SHALL BE MOISTURE RESISTANT TYPE.
- ALL EXPOSED CONCRETE WALL CORNERS SHALL BE CHAMFERED.
- ALL G.I. FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.
- MAINTAIN CONTINUOUS FIRE RATED SEPARATION AROUND JANITOR ROOMS, STORAGE ROOMS, AND MECHANICAL ROOMS; CARRY WALLS TO UNDERSIDE OF STRUCTURE.
- PROVIDE CONTINUOUS SEALANT AROUND BOTH SIDES OF ALL DOOR AND WINDOW FRAMES.
- IN ALL LOCATIONS WHERE GYPSUM BOARD ABUTS DISSIMILAR MATERIAL, USE A MILCOR AND/OR J-TRIM AT EDGE SURFACES. ALLOW 3mm +/- GAP. EX. DOOR, WINDOW FRAME, CONCRETE WALL, CONCRETE, BRICK ETC.
- PROVIDE CORNER BEAD FOR ALL EXPOSED GYPSUM WALL BOARD CORNERS.
- ALL WOOD COMPONENTS DIRECTLY ATTACHED TO CEMENTITIOUS MATERIALS AND DIRECTLY UNDER EXTERIOR ALUMINUM SILLS SHALL BE PRESSURE TREATED.
- FURR-IN ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
- SEE MECHANICAL AND ELECTRICAL FOR EXACT TYPES AND QUANTITY OF DIFFUSERS, GRILLES, FIXTURES, AND EQUIPMENT. CO-ORDINATE SIZES AND EXACT LOCATIONS TO SUIT ARCHITECTURAL REFLECTED CEILING PLANS AND/OR DETAILS.
- CAULK AND SEAL AROUND ALL DUCTS AND PIPES PASSING THROUGH FIRE RATED PARTITIONS AND FLOOR ASSEMBLIES WITH APPROVED (ULC) MASTIC CAULKING.
- PROVIDE ACOUSTICAL SEALANT AT JUNCTIONS OF SOUND RATED PARTITIONS.
- WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN SOUND RATED PARTITION STAGGER THESE OUTLETS 2 STUD SPACES. PROVIDE ACOUSTICAL SEALANT ALL AROUND.

DRAWING SYMBOLS LEGEND

- DOOR TAG REFER TO SCHEDULE
- WINDOW TYPE TAG, REFER TO SCHEDULE
- ROOM NAME ROOM TAG
- 101
- DETAIL INDICATOR
- Ref DETAIL #
- PAGE CROSS REFERENCE
- WALL SECTION INDICATOR
- Ref SECTION #
- VIEW DIRECTION OF SECTION
- PAGE CROSS REFERENCE
- BUILDING SECTION & ELEVATION INDICATOR
- Ref SECTION #
- VIEW DIRECTION OF ELEVATION
- PAGE CROSS REFERENCE
- LEVEL NAME ELEVATION INDICATOR
- CH= 3000 CEILING HEIGHT INDICATOR
- KEYNOTE INDICATOR
- MILLWORK KEYNOTE INDICATOR
- WALL TYPE SYMBOL
- ROOF TYPE SYMBOL
- FLOOR TYPE SYMBOL
- WALL FINISH TAG
- NORTH ARROW

Berry Architecture + Associates
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Red Deer, T4N 4B5

Phone: 403-314-4461
Contact:

ARCHITECTURAL SHEET LIST

Sheet Number	Sheet Name
A0.0	TITLE PAGE
A3.0	BASEMENT FLOOR PLAN
A3.1	MAIN FLOOR PLAN
A3.2	SECOND FLOOR PLAN
A3.3	ROOF PLAN
A4.0	EXTERIOR BUILDING ELEVATIONS
A4.1	EXTERIOR BUILDING ELEVATIONS
A4.2	EXTERIOR BUILDING ELEVATIONS
A4.4	EXTERIOR BUILDING ELEVATIONS
A4.5	ROOF PLAN
A5.0	BUILDING SECTIONS

SEALS

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PROJECT TITLE
Pinetree Meadows
15 Ave Invermere BC

DRAWING TITLE
TITLE PAGE

SCALE: As indicated

DRAWN: RKD

CHECKED: IM

OCT' 21

21-070

A0.0



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GENERAL NOTES

1. ALL INTERIOR PARTITIONS TO BE ASSEMBLY TYPE 'F1' UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE TO BE CENTRED IN OPENING UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS NOTED 'CLR' TO TAKE PRECEDENCE.
4. NORTH ARROW NOT SHOWN AS LOCATION IS SUBJECT TO CHANGE.

SEALS

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**BASEMENT
FLOOR PLAN**

SCALE: As indicated

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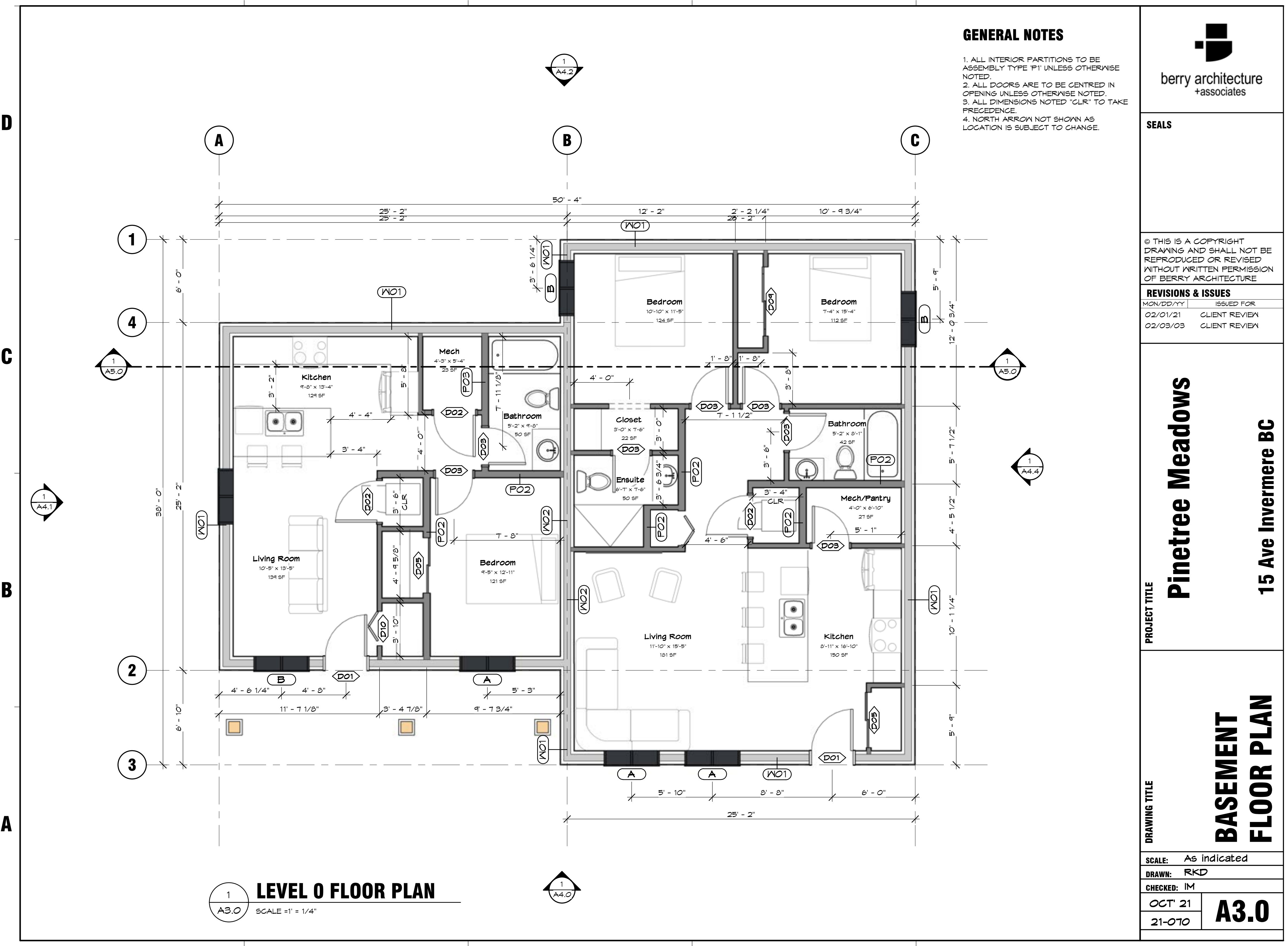
OCT' 21

21-070

A3.0

LEVEL 0 FLOOR PLAN

SCALE = 1" = 1/4"



D

C

B

A

1

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5



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GENERAL NOTES

1. ALL INTERIOR PARTITIONS TO BE ASSEMBLY TYPE 'F1' UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE TO BE CENTRED IN OPENING UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS NOTED 'CLR' TO TAKE PRECEDENCE.
4. NORTH ARROW NOT SHOWN AS LOCATION IS SUBJECT TO CHANGE.

SEALS

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Pinetree Meadows

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DRAWING TITLE

MAIN FLOOR PLAN

SCALE: As indicated

DRAWN: RKD

CHECKED: IM

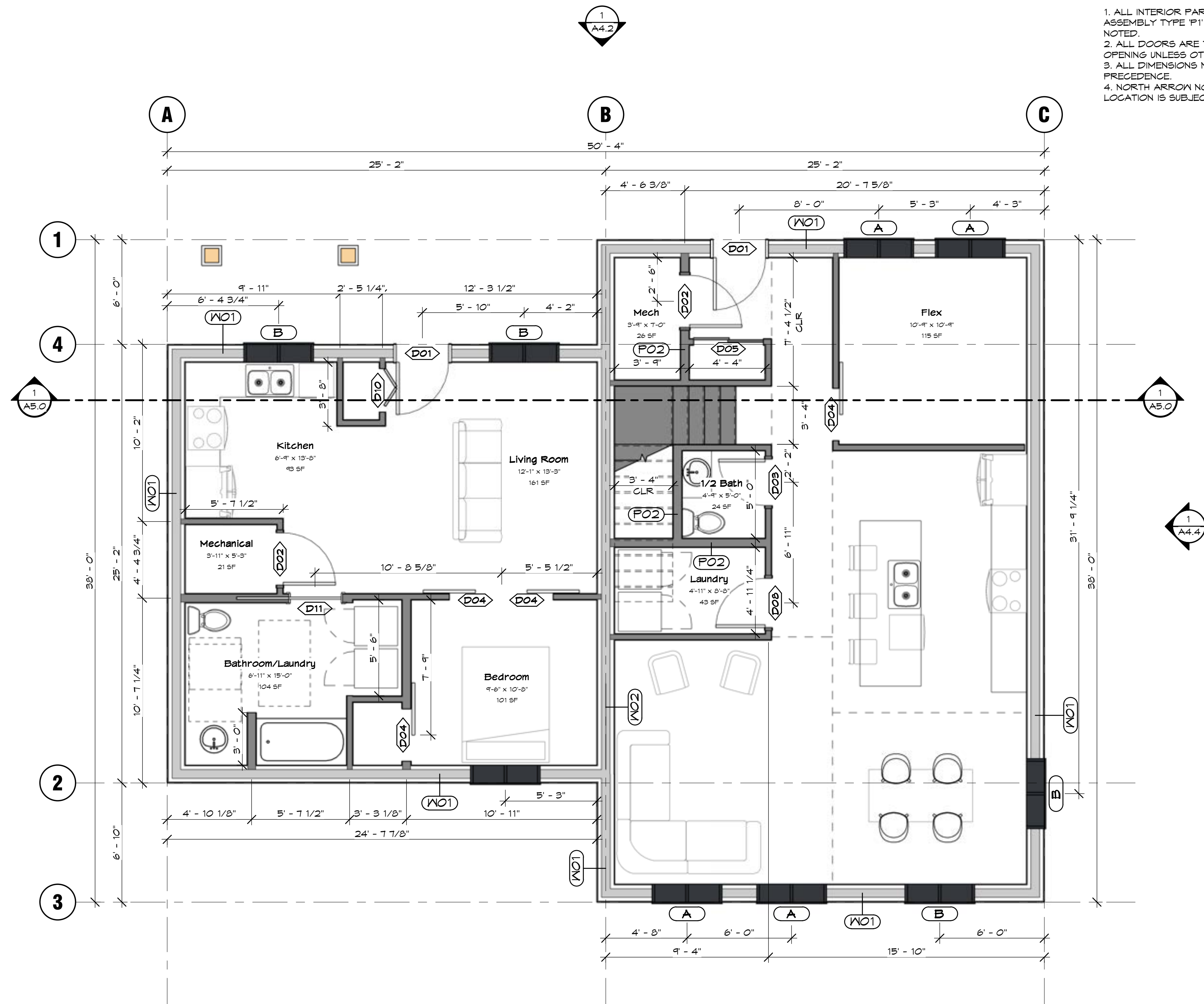
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21-070

A3.1

LEVEL 1 FLOOR PLAN

SCALE = 1" = 1/4"



1

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GENERAL NOTES

1. ALL INTERIOR PARTITIONS TO BE ASSEMBLY TYPE 'F1' UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE TO BE CENTRED IN OPENING UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS NOTED 'CLR' TO TAKE PRECEDENCE.
4. NORTH ARROW NOT SHOWN AS LOCATION IS SUBJECT TO CHANGE.

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DRAWING TITLE

SECOND FLOOR PLAN

SCALE: As indicated

DRAWN: RKD

CHECKED: IM

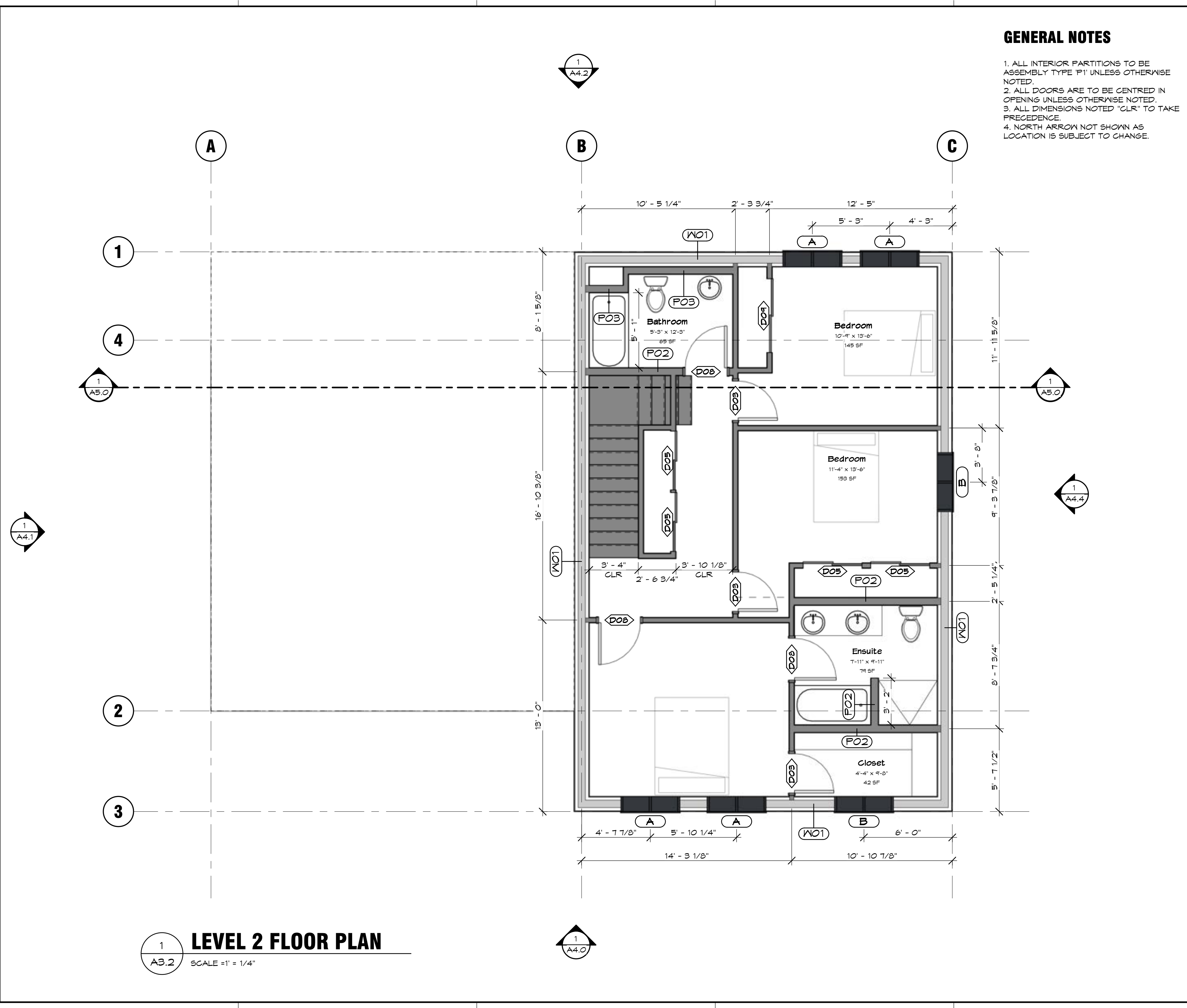
OCT' 21

21-070

A3.2

LEVEL 2 FLOOR PLAN

SCALE = 1" = 1/4"



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A3.2

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A4.0

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A4.2

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A5.0

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A4.1

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A4.4

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1
A4.0



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PROJECT TITLE
Pinetree Meadows

15 Ave Invermere BC

PROJECT TITLE

DRAWING TITLE

ROOF PLAN

SCALE: 1' = 1/4"

DRAWN: RKD

CHECKED: IM

OCT' 21

21-070

A3.3

D

C

B

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A3.3

T.O. ROOF

SCALE = 1' = 1/4"

1
A4.0

1
A4.2

1
A5.0

1
A4.4

1
A4.1

2' - 0 3/4"

12' - 3 7/8"

12' - 5 3/8"

29' - 8 1/4"

8' - 11 3/8"

8' - 11 3/8"

12 :12

4' - 0 7/8"

6 :12

6 :12

7 :12

12 :12

12 :12

29' - 2"

5' - 0 1/4"

7 :12

6 :12

25' - 2"

43' - 0"

ALL DRAINAGE THIS DIRECTION

12 :12

6' - 11 7/8"

6' - 11 7/8"



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KEYNOTE LEGEND

01	ASPHALT SHINGLE
03	WHITE FASCIA
06	DARK TONE HORIZONTAL 7.25" HARDIE LAP
07	MID TONE HORIZONTAL 7.25" HARDIE LAP
08	WHITE HORIZONTAL 7.25" HARDIE LAP
11	WHITE HARDIE VERTICAL PLANK
13	MID TONE HARDIE BOARD AND BATTEN
14	WHITE HARDIE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH FURRED HARDIE BASE
16	DIMENSIONAL LUMBER DECKING + FASCIA
17	PINE (OR FAUX ALUM/POLY EQUIVALENT) SOFFIT
18	STANDARD WHITE ALUMINUM SOFFIT

SEALS

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PROJECT TITLE
Pinetree Meadows

15 Ave Invermere BC

DRAWING TITLE
EXTERIOR BUILDING ELEVATIONS

SCALE: 1' = 1/4"

DRAWN: RKD

CHECKED: IM

OCT' 21

21-070

A4.0

D

C

B

A

A

B

C

T.O. ROOF
109.861

U/S CEILING LL2
105.224

T.O. 2ND FLR
102.186

U/S CEILING LL1
102.438

T.O. MAIN FLR
100.000

U/S CEILING LLO
99.347

T.O. LLO
96.909

1 ELEVATION A
A4.0 SCALE = 1' = 1/4"

1

2

3

4

5





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KEYNOTE LEGEND

01	ASPHALT SHINGLE
03	WHITE FASCIA
07	MID TONE HORIZONTAL 7.25" HARDIE LAP
08	WHITE HORIZONTAL 7.25" HARDIE LAP
11	WHITE HARDIE VERTICAL PLANK
15	SOLID WOOD COLUMN WITH FURRED HARDIE BASE
16	DIMENSIONAL LUMBER DECKING + FASCIA
18	STANDARD WHITE ALUMINUM SOFFIT

SEALS

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02/03/03	CLIENT REVIEW

PROJECT TITLE
Pinetree Meadows

15 Ave Invermere BC

DRAWING TITLE
EXTERIOR BUILDING ELEVATIONS

SCALE: 1' = 1/4"

DRAWN: RKD

CHECKED: IM

OCT' 21

21-070

A4.1

D

C

B

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1

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3

42' - 0"

01 15 01 01 11 18 07 03 08 01 01 16

T.O. ROOF
109.861

U/S CEILING LL2
105.224

T.O. 2ND FLR
102.786

U/S CEILING LL1
102.438

T.O. MAIN FLR
100.000

U/S CEILING LLO
99.347

T.O. LLO
96.909

32' - 4 1/4"

16' - 2"

3' - 0"

6' - 0 7/8"

7' - 9 1/8"

17' - 4 1/4"

10' - 15/8"

6' - 1"

25' - 2"

6' - 10"

15' - 2 1/2"

8' - 0"

8' - 0"

2' - 15/8"

8' - 0"

8' - 0"

42' - 5 7/8"

1' - 13/4"

2' - 11/4"

8' - 0"

12:12

7:12

7:12

2' - 0"

2' - 6"

6:12

6:12

5:12

5' - 0 1/4"

3' - 0"

1
A4.1

ELEVATION B

SCALE = 1' = 1/4"

1

2

3

4

5



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KEYNOTE LEGEND

01	ASPHALT SHINGLE
02	POSSIBLE METAL ROOFING
03	WHITE FASCIA
05	WOOD FASCIA
07	MID TONE HORIZONTAL 7.25" HARDIE LAP
11	WHITE HARDIE VERTICAL PLANK
14	WHITE HARDIE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH FURRED HARDIE BASE
16	DIMENSIONAL LUMBER DECKING + FASCIA
17	PINE (OR FAUX ALUM/POLY EQUIVALENT) SOFFIT
18	STANDARD WHITE ALUMINUM SOFFIT

SEALS

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PROJECT TITLE
Pinetree Meadows

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DRAWING TITLE
EXTERIOR BUILDING ELEVATIONS

SCALE: 1" = 1/4"

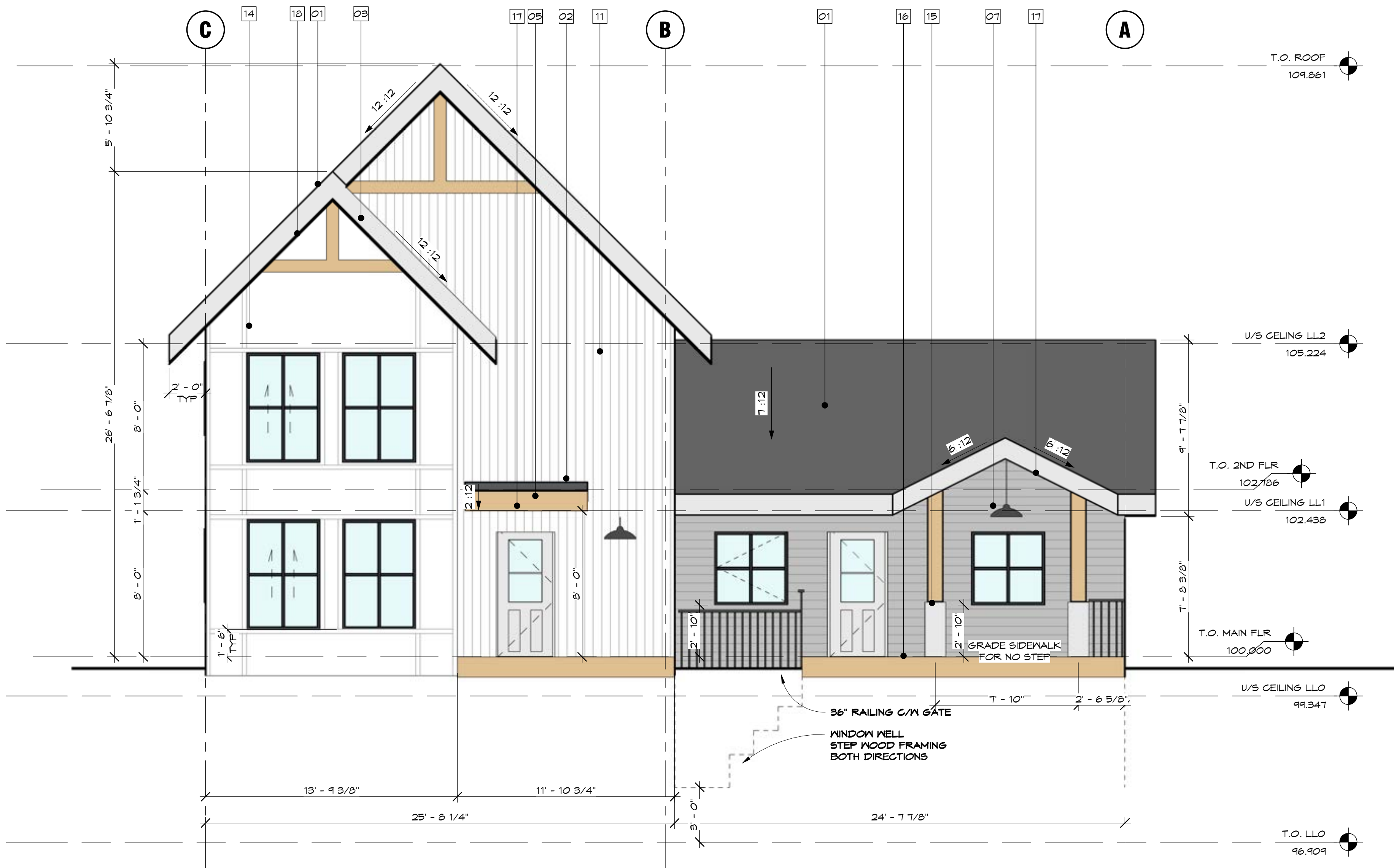
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21-070

A4.2



ELEVATION C
SCALE = 1" = 1/4"

1

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5

D

C

B

A



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KEYNOTE LEGEND	
Key Value	Keynote Text
01	ASPHALT SHINGLE
03	WHITE FASCIA
06	DARK TONE HORIZONTAL 7.25" HARDIE LAP
18	STANDARD WHITE ALUMINUM SOFFIT

SEALS

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PROJECT TITLE
Pinetree Meadows
15 Ave Invermere BC

DRAWING TITLE
EXTERIOR BUILDING ELEVATIONS

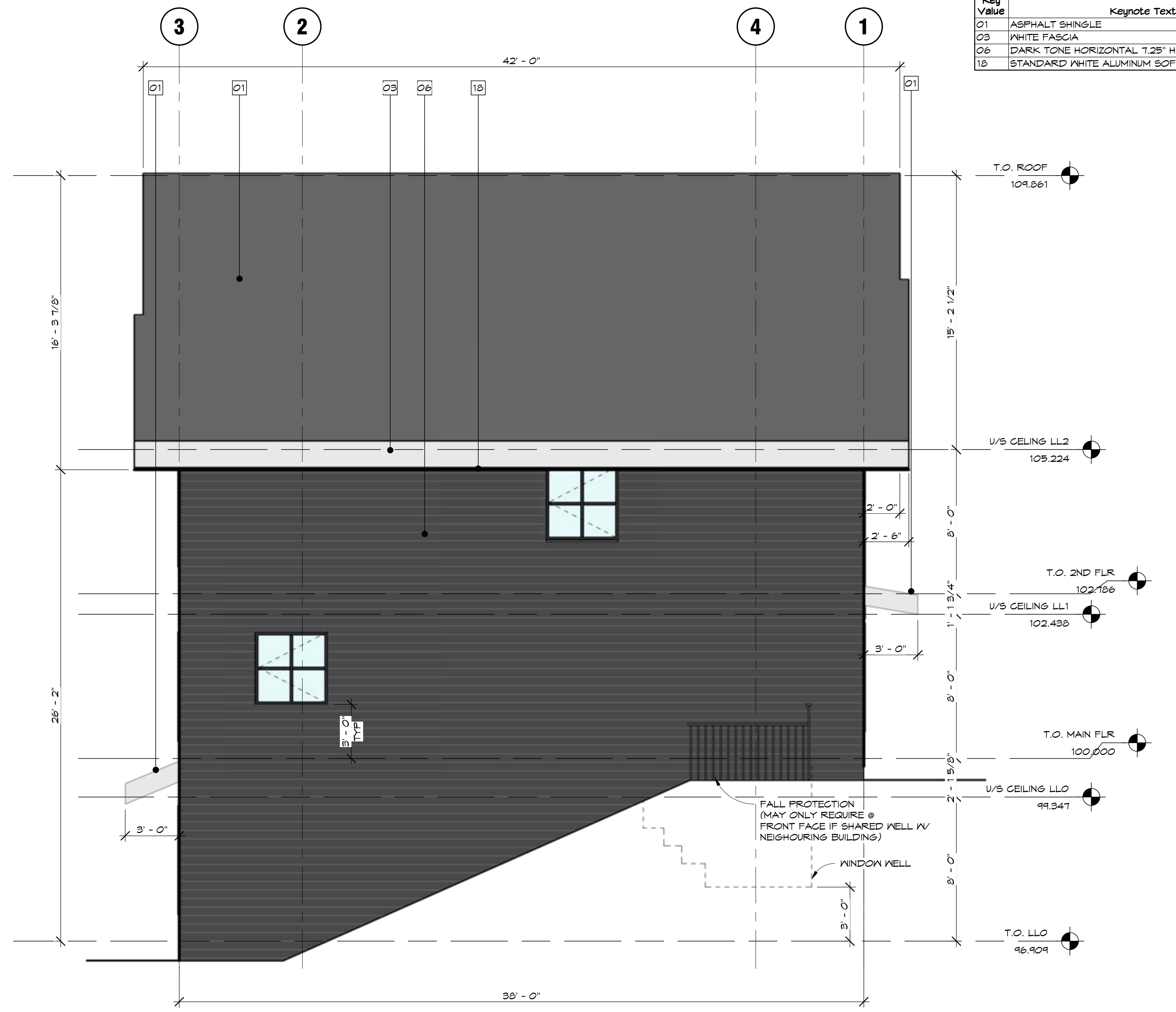
SCALE: 1' = 1/4"	
DRAWN: RKD	
CHECKED: IM	
OCT' 21	A4.4
21-070	

D

C

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A



1 **ELEVATION D**
 A4.4 SCALE = 1' = 1/4"

1

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PROJECT TITLE

Pinetree Meadows

15 Ave Invermere BC

DRAWING TITLE

**BUILDING
SECTIONS**

SCALE: 1' = 1/4"

DRAWN: RKD

CHECKED: IM

OCT' 21

21-070

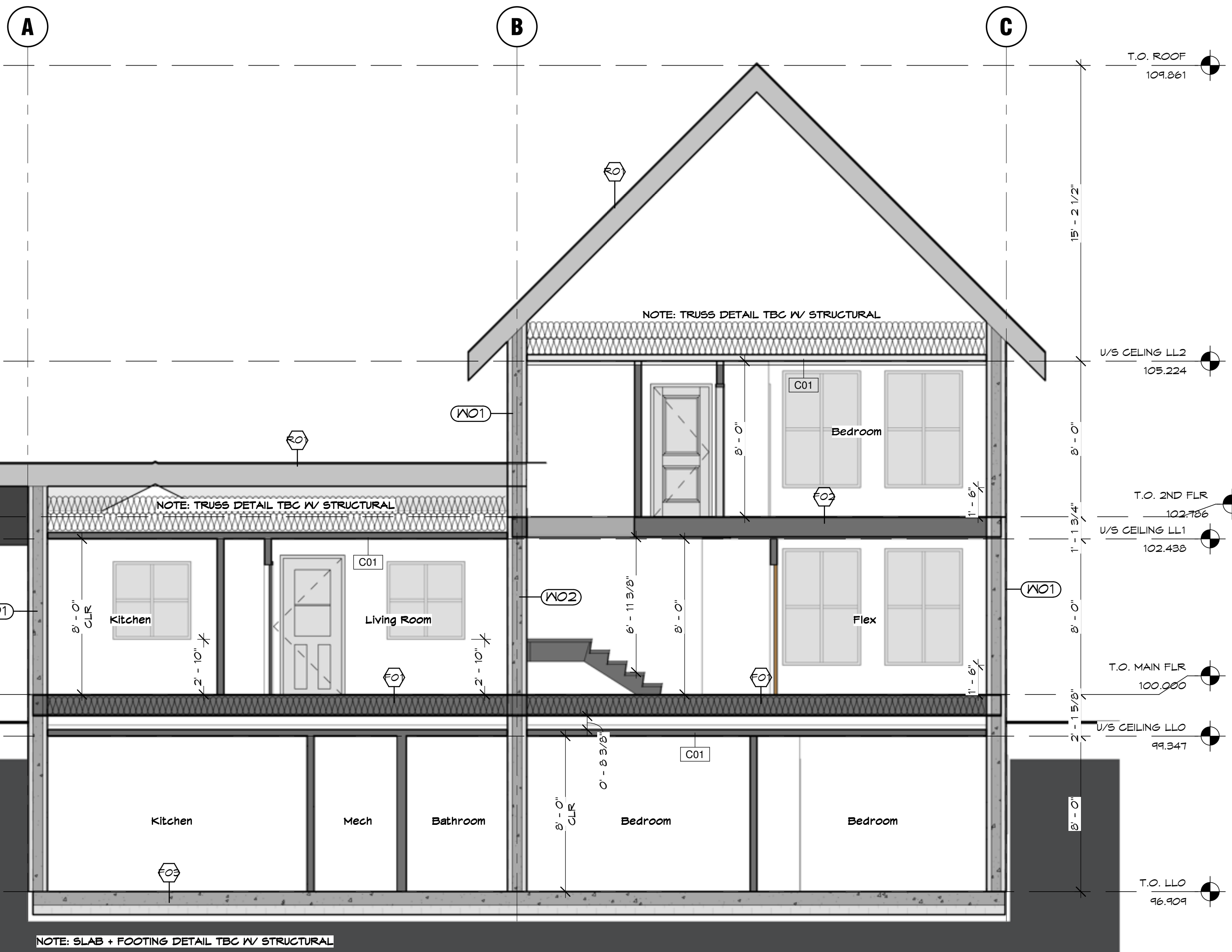
A5.0

D

C

B

A



1 **BUILDING SECTION A**
A5.0 SCALE = 1' = 1/4"

1

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SEALS

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PROJECT TITLE

Pinetree Meadows

15 Ave Invermere BC

DRAWING TITLE

DOOR + WINDOW SCHEDULE

SCALE: 1 : 50

DRAWN: RKD

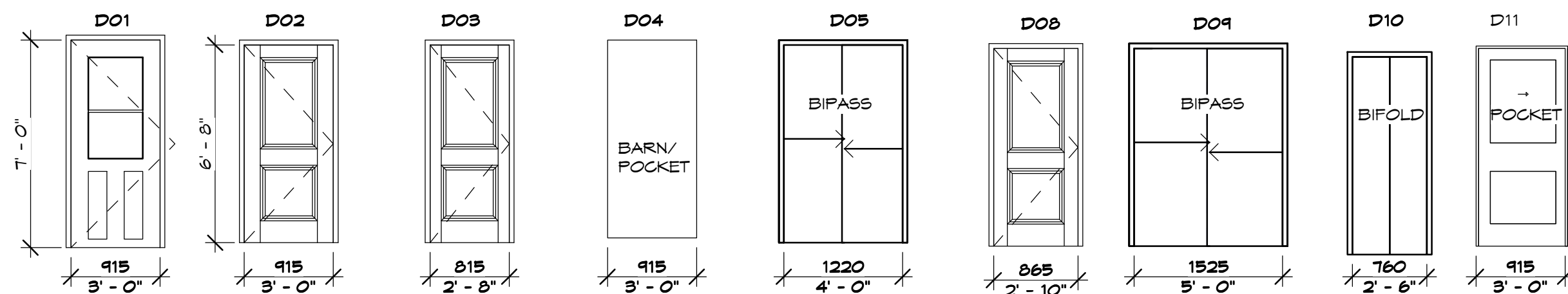
CHECKED: IM

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21-070

A9.0

DOOR ELEVATIONS



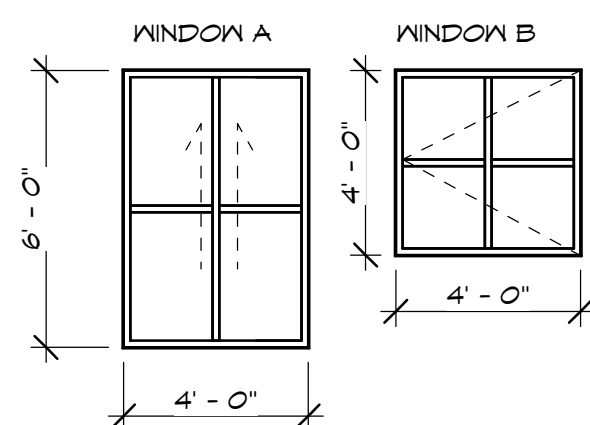
NOTE: SWING DIRECTION AS PER PLANS. DOOR STYLE/# PANELS SUBJECT TO CHANGE. ROUGH OPENING AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS. HARDWARE TBC.

DOOR SCHEDULE

Dimension are Nominal Only, Contractor to Verify on Site

ELEV.	DOOR		Door Style	Count	DOOR		NOTES
	WIDTH	HEIGHT			FINISH	F.R. LABEL	
D01	915	2135	HMD (INSULATED) / PSF / PAINTED	4	TBC		Must be barrier free compliant
D02	915	2030	WD (HOLLOW) / PSF / PAINTED	5	TBC		
D03	815	2030	WD (HOLLOW) / PSF / PAINTED	11	TBC		
D04	915	2030	WD (HOLLOW) / PSF / PAINTED	4			
D05	1220	2030	WD (HOLLOW) / PSF / PAINTED	3	TBC		
D08	865	2030	WD (HOLLOW) / WD FRAME / PAINTED	4	TBC		
D09	1525	2030	WD (HOLLOW) / PSF / PAINTED	2	TBC		
D10	760	2030	WD (HOLLOW) / PSF / PAINTED	3			
D11			WD (HOLLOW) / PSF / PAINTED	2	TBC		Barrier Free

WINDOW ELEVATIONS



NOTE: REFER TO ELEVATIONS FOR OPERABLE WINDOW LOCATIONS. ROUGH OPENINGS AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS.

WINDOW SCHEDULE

Type Mark	Count	Description	Height	Width	Comments
A	11	2x2	1830	1220	
B	11	2x2	1220	1220	3'-0" AFF UNO

LACEBARK MODEL

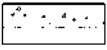
ASSEMBLY SCHEDULES

FLOORS



F1-TJI SOUND INSULATED 1HR FRR, STC 44

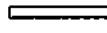
- VINYL PLANK FLOORING
- 5/8" OSB OVER SLIDFLOOR
- 1" 1/2" TJI (AS PER STRUCTURAL)
- ACOUSTIC BATT FILLED JOIST CAVITY
- SOUND BAR (STEEL FLOORING CHANNEL)
- 2 LAYERS 5/8" GYPSUM BOARD TYPE X



F2-INSULATED BASEMENT SLAB

- VINYL PLANK FLOORING
- 5/8" FLOORING UNDERLAY
- VAPOUR BARRIER
- REINFORCED CONCRETE SLAB (AS PER STRUCTURAL)
- 1" RIGID INSULATION (HIGH DENSITY BEARING)
- COMPACTED GRAVEL (AS PER STRUCTURAL)

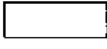
CEILINGS



G01-FINISHED CEILING

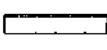
- DIMENSIONAL LUMBER FRAMING/CURRING
- SOUND INSULATION 5/8" U/S FLOOR
- 1/2" SAC RESISTANT GYPSUM BOARD
- LOW PROFILE TEXTURED FINISH

ROOFS



R1-INSULATED TRUSS ROOF

- SOFFITS AND FASCIA AS PER ELEVATIONS
- ASPHALT SHINGLES
- UNDERLAY
- WEATHER BARRIER
- PLYWOOD SHEATHING (AS PER STRUCTURAL)
- OPEN WEB TRUSSES (AS PER STRUCTURAL)
- BLOWN CELLULOSE 550 G/M FIBER STOP
- 6 MIL POLY AIR/VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- LOW PROFILE TEXTURED FINISH



R2-UN-INSULATED CANOPY ROOF

- SOFFITS AND FASCIA AS PER ELEVATIONS
- ASPHALT SHINGLES
- UNDERLAY
- WEATHER BARRIER
- PLYWOOD SHEATHING (AS PER STRUCTURAL)
- DIMENSIONAL FRAMING (AS PER STRUCTURAL)

EXTERIOR WALLS

W1-6" ICF EXTERIOR WALL

- CLADDING AS PER ELEVATIONS
- AIR BARRIER
- 2 1/2" RIGID INSULATION
- 6" CONCRETE
- 2 1/2" RIGID INSULATION
- VAPOUR BARRIER
- 1/2" GYPSUM WALL BOARD

W2-6" ICF PARTY WALL 1HR FRR, STC 54

- 1/2" GYPSUM WALL BOARD TYPE X
- 2 1/2" RIGID INSULATION
- 6" CONCRETE
- 2 1/2" RIGID INSULATION
- 1/2" GYPSUM BOARD TYPE X

W3-EXTERIOR ABOVE GRADE WALL 45MIN FRR

- 1/2" CLADDING (AS PER ELEVATIONS)
- 2 1/2" SEM-RIGID INSULATION
- AIR/WEATHER BARRIER
- 1/2" PLYWOOD SHEATHING
- 3x6 ADD STUDS @ 24" O.C.
- CAVITY FILLED BATT INSULATION
- 1/2" GYPSUM BOARD
- LIQUID APPLIED VAPOUR BARRIER

W4-EXTERIOR SHED WALL

- CLADDING AS PER ELEVATIONS
- AIR BARRIER
- 1/2" PLYWOOD
- 2x4 P.T. WOOD STUDS @ 16" O.C.
- MINERAL WOOL BATT INSULATION
- 1/2" PLYWOOD

INTERIOR PARTITIONS

P1-2x4 INTERIOR PARTITION

- 1/2" GYPSUM WALL BOARD
- 2x4 WOOD STUDS @ 16" O.C.
- 1/2" GYPSUM BOARD

P2-2x6 PLUMBING/SEWERING PARTITION

- 1/2" GYPSUM WALL BOARD
- 2x6 WOOD STUDS @ 16" O.C.
- 1/2" GYPSUM BOARD

P3-6" INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

P4-2x6 FURRED PLUMBING PARTITION

- 2x6 WOOD STUDS @ 16" O.C.
- 1/2" GYPSUM BOARD

NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES

P5-2x4 EXTERIOR SHED PARTITION

- 1/2" PLYWOOD
- 2x6 WOOD STUDS @ 16" O.C.
- 1/2" PLYWOOD

P6-2x6 STEEL STUD WALL

- 5/8" OSB BOARD
- 2x6 STEEL STUDS @ 16" O.C.
- 5/8" OSB BOARD
- WEATHER BARRIER
- CLADDING (AS PER ELEVATIONS)

DRAWING SYMBOLS LEGEND

- DOOR TAG REFER TO SCHEDULE
- WINDOW TYPE TAG, REFER TO SCHEDULE
- ROOM NAME
- ROOM TAG
- DETAIL INDICATOR
- PAGE CROSS REFERENCE
- HALL SECTION INDICATOR
- SECTION #
- VIEW DIRECTION OF SECTION
- PAGE CROSS REFERENCE
- BUILDING SECTION & ELEVATION INDICATOR
- SECTION #
- VIEW DIRECTION OF ELEVATION
- PAGE CROSS REFERENCE
- LEVEL NAME
- ELEVATION INDICATOR
- CEILING HEIGHT INDICATOR
- KEYNOTE INDICATOR
- MILLWORK KEYNOTE INDICATOR
- WALL TYPE SYMBOL
- ROOF TYPE SYMBOL
- FLOOR TYPE SYMBOL
- WALL FINISH TAG
- NORTH ARROW

GENERAL NOTES

- DO NOT SCALE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT.
- CONTRACTOR TO COMPARE DRAWINGS TO SITE CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT.
- ALL WORK COMPIES WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE - 2018 CBCDC EDITION AND LOCAL ORDINANCES.
- COORDINATE ALL INFORMATION FROM ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL CONSULTANTS DOCUMENTS. COORDINATE DIMENSIONS REQUIRED FOR THE FITTING OF ALL COMPONENTS AS NECESSARY TO ENSURE THEIR SOUND OPERATION UPON COMPLETION.
- ALL WALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE CONSTRUCTION ASSEMBLY PAGE SHOW TRUE REPRESENTATION OF COMPLETED CONSTRUCTION ASSEMBLY. REFER TO SPECIFICATIONS FOR ADDITIONAL ASSEMBLY INFORMATION. THESE ASSEMBLIES SUPERSEDE ALL COMPLETED DETAILS AND NOTATION COMPLETED ON THE FOLLOWING CONSTRUCTION DRAWINGS.
- REFER TO STRUCTURAL FRAMING PLANS FOR LOCATIONS OF ALL INTERIOR LOAD BEARING ASSEMBLIES AND SHEAR WALL LOCATIONS.
- ALL GYPSUM BOARD IN BATHROOMS AND COMMERCIAL KITCHENS SHALL BE MOISTURE RESISTANT TYPE.
- ALL EXPOSED CONCRETE WALL CORNERS SHALL BE CHAMFERED.
- ALL G.I. FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.
- MAINTAIN CONTINUOUS FIRE RATED SEPARATION AT ALL SUITE SEPARATIONS.
- PROVIDE CONTINUOUS SEALANT AROUND BOTH SIDES OF ALL DOORS AND WINDOW FRAMES.
- IN ALL LOCATIONS WHERE GYPSUM BOARD ABUTS DISSIMILAR MATERIAL, USE A MILGRO AND/OR J-TRIM AT EDGE SURFACES. ALLOW 3/16" GAP. EX DOOR, WINDOW FRAME, CONCRETE WALL, CONCRETE, BRICK, ETC.
- PROVIDE CORNER BEAD FOR ALL EXPOSED GYPSUM WALL BOARD CORNERS.
- ALL WOOD COMPONENTS DIRECTLY ATTACHED TO CEMENTITIOUS MATERIALS AND DIRECTLY UNDER EXTERIOR ALUMINUM SILLS SHALL BE PRESSURE TREATED.
- FURFILL ALL EXPOSED MECHANICAL AND/OR ELECTRICAL COMPONENTS IN FINISHED AREAS, AND AS INDICATED.
- REFER TO MECHANICAL AND ELECTRICAL CONTRACTOR FOR EXACT TYPES AND QUANTITY OF DIFFUSERS, GRILLES, FIXTURES, AND EQUIPMENT. CO-ORDINATE SIZES AND EXACT LOCATIONS TO SUIT ARCHITECTURAL REFLECTED CEILING PLANE AND/OR DETAILS.
- CALK AND SEAL AROUND ALL DUCTS AND PIPES PASSING THROUGH FIRE RATED PARTITIONS AND FLOOR ASSEMBLIES WITH APPROVED RUBBER STOP CALKING.
- PROVIDE ACOUSTICAL SEALANT AT JUNCTIONS OF SOUND RATED PARTITIONS.
- WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN SOUND RATED PARTITION STAGGER THESE OUTLETS 2 STUD SPACES. PROVIDE ACOUSTICAL SEALANT ALL AROUND.

Berry Architecture + Associates
Suite 200 5210-56 Ave SW
Red Deer, T4N 4B5

Phone: 403-314-2461
Contact: Rebecca Davison

ARCHITECTURAL SHEET...

Sheet Number	Sheet Name
A0.0	COVER SHEET
A1.0	CODE REVIEW
A2.0	SITE PLAN + BYLAW REVIEW
A3.0	BASEMENT FLOOR PLAN
A3.1	MAIN FLOOR PLAN
A3.4	ROOF PLAN
A4.0	EXTERIOR BUILDING ELEVATIONS
A4.1	EXTERIOR BUILDING ELEVATIONS
A4.2	EXTERIOR BUILDING ELEVATIONS
A4.4	EXTERIOR BUILDING ELEVATIONS
A5.0	BUILDING SECTIONS
A5.0	CONSTRUCTION DETAILS
A5.1	CONSTRUCTION DETAILS CONT.
A5.2	CONSTRUCTION DETAILS CONT.
A7.0	DOOR + WINDOW SCHEDULES



SEALS

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REVISIONS + ISSUES	
2022 05 02	ISSUED FOR PERMIT
2022 08 15	RE-ISSUED FOR PERMIT
2023 02 16	RE-ISSUED FOR PERMIT
2023 04 09	CONSTRUCTION

Pinetree Meadows
Phase 1, Lot 4
Generation Homes
15 Ave Invermere BC

PROJECT TITLE

DRAWING TITLE

COVER SHEET

SCALE:	As indicated
DRAWN:	RKD
CHECKED:	IM/RR
OCT 21	A0.0
21-070	



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SEALS

GENERAL NOTES

1. ALL INTERIOR PARTITIONS TO BE ASSEMBLY TYPE "P" UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE TO BE CENTRED IN OPENINGS UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS NOTED "CLR." TO TAKE PRECEDENCE.
4. ALL CLOSETS 2' INTERIOR DEPTH UNLESS NOTED OTHERWISE.
5. NORTH ARROW AS PER SITE PLAN.

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REVISIONS + ISSUES	
11/17/17 AM (P)	ISSUED FOR IFC
2022 05 02	BUILDING PERMIT
2022 08 15	RE-ISSUED FOR IFC
2023 02 15	RE-ISSUED FOR IFC
2023 04 05	CONSTRUCTION

PROJECT TITLE

**Pinetree Meadows
Phase 1, Lot 4
Generation Homes
15 Ave Invermere BC**

DRAWING TITLE

**BASEMENT
FLOOR PLAN**

SCALE: As indicated

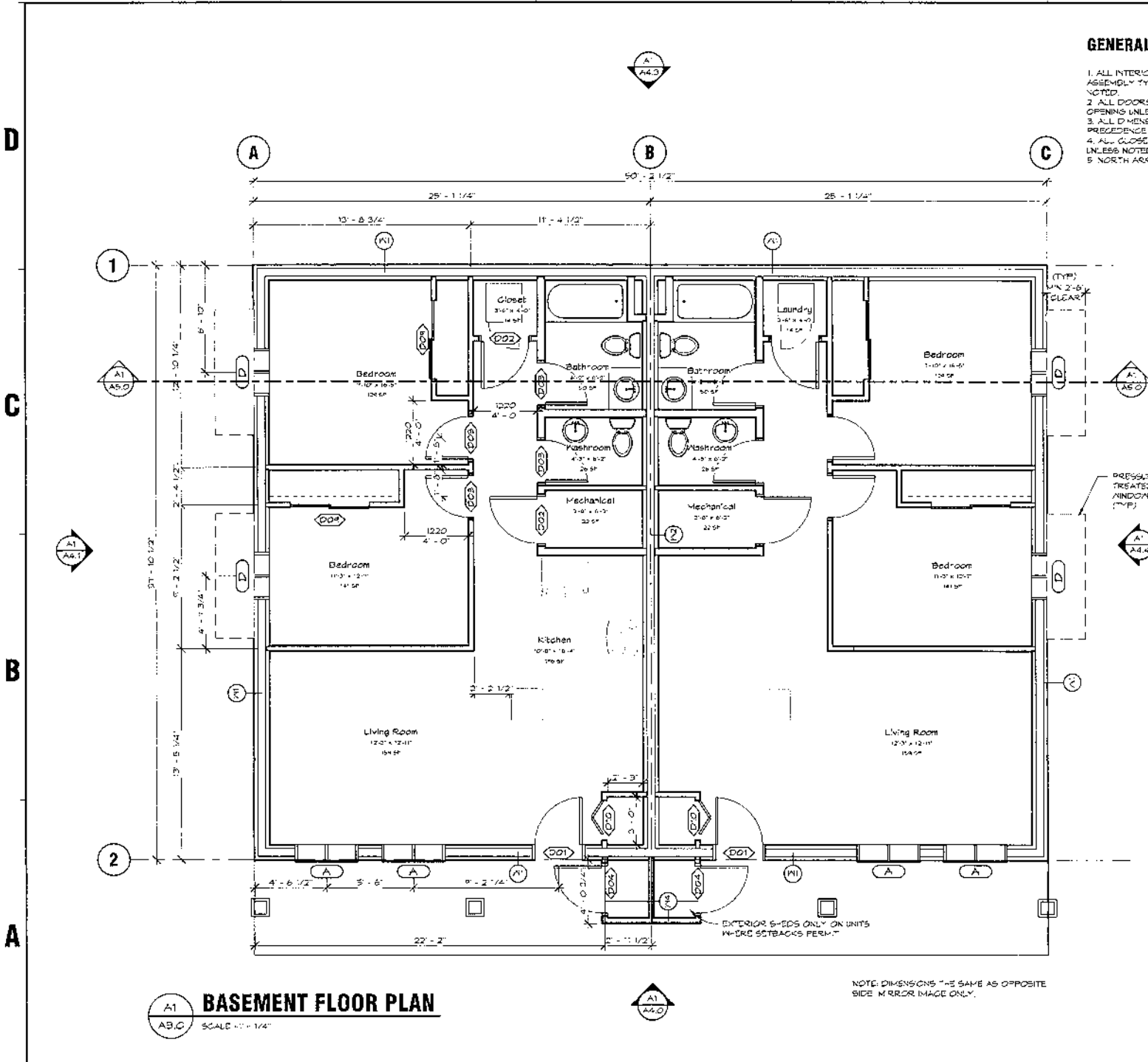
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A3.0



A1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE: DIMENSIONS THE SAME AS OPPOSITE SIDE IF ERROR IMAGE ONLY.

1 2 3 4 5



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GENERAL NOTES

1. ALL INTERIOR PARTITIONS TO BE ASSEMBLY-TYPE "P1" UNLESS OTHERWISE NOTED.
2. ALL DOORS ARE TO BE CENTRED IN OPENING UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE.
4. ALL CLOSETS 2" INTERIOR DEPTH UNLESS NOTED OTHERWISE.
5. NORTH ARROW AS PER SITE PLAN.

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REVISIONS + ISSUES

DATE	BY	REVISIONS
2022 08 02	IM/R	ISSUED FOR PERMIT
2022 08 15	IM/R	ISSUED FOR BP
2022 02 16	IM/R	ISSUED FOR BP

PROJECT TITLE

**Pinetree Meadows
Phase 1, Lot 4
Generation Homes
15 Ave Invermere BC**

DRAWING TITLE

**MAIN FLOOR
PLAN**

SCALE: As indicated

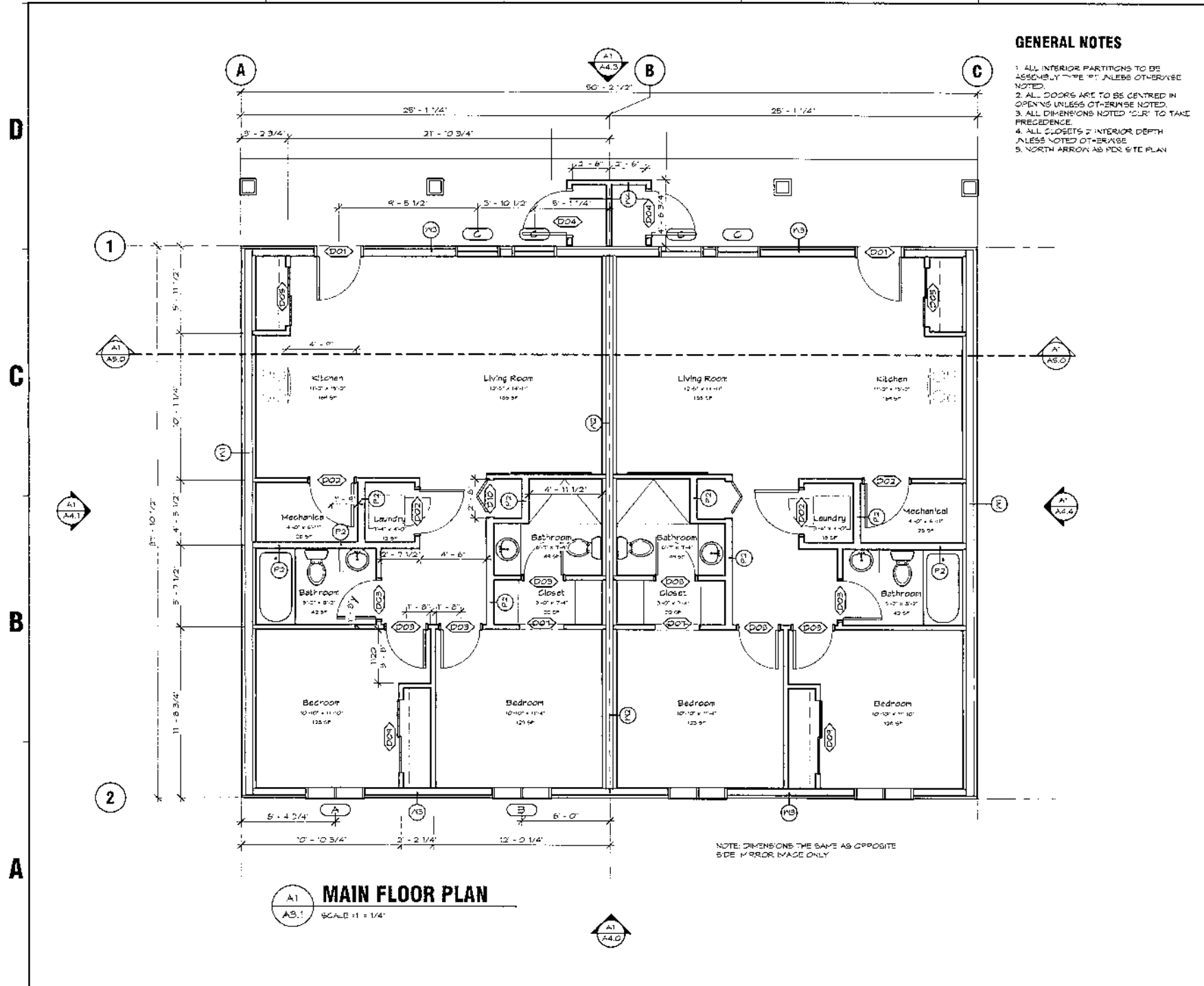
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A3.1



A1 MAIN FLOOR PLAN
A3.1 SCALE: 1/8" = 1'-0"

NOTE: DIMENSIONS THE SAME AS OPPOSITE SIDE IF BROOM IMAGE ONLY

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REVISIONS + ISSUES

2022 08 02	ISSUED FOR "1"
2022 08 02	BUILDING PERMIT
2023 02 15	RE-ISSUED FOR BP
2023 02 16	RE-ISSUED FOR BP

PROJECT TITLE

**Pinetree Meadows
Phase 1, Lot 4
Generation Homes
15 Ave Invermere BC**

DRAWING TITLE

ROOF PLAN

SCALE: 1" = 1/4"

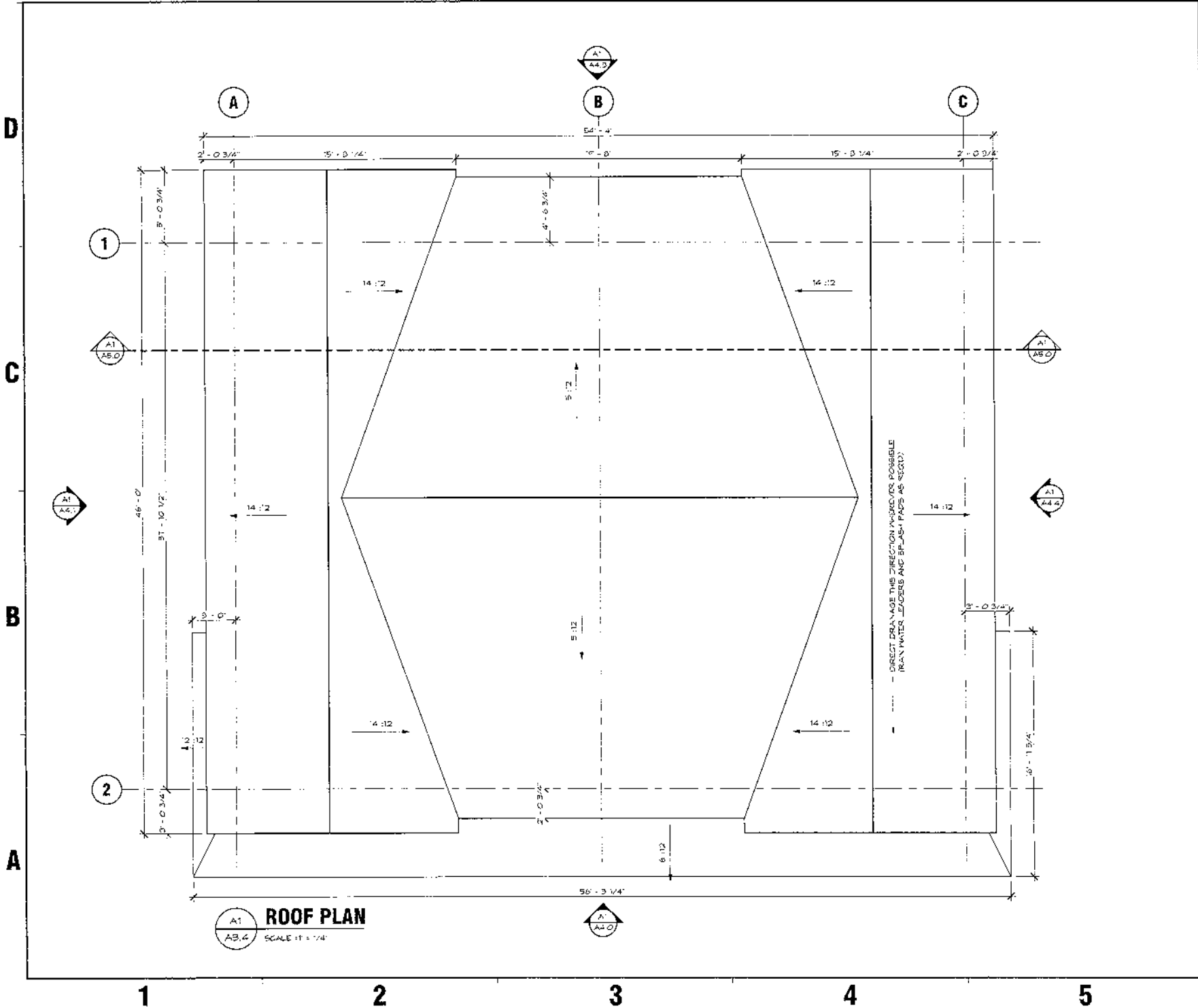
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A3.4





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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION
001	10/21/21	ISSUED FOR PERMIT
002	10/21/21	REVISIONS PER RFP
003	10/21/21	REVISIONS PER RFP
004	10/21/21	REVISIONS PER RFP
005	10/21/21	REVISIONS PER RFP

KEYNOTE LEGEND

01	CASUALTY SINGLE
02	WHITE HORIZONTAL 1/2" HARDIE LAP
03	DARK TONE HARDIE VERTICAL PLANK
04	DARK TONE HARDIE BOARD AND BATTER
05	ROUND POOD COLUMN WITH FLURRED HARDIE BASE
06	CONCRETE PATIO WITH PAWN POOD FARGA AS POOD
07	SPINE (OR PAWN ALUMINUM EQUIVALENT) SIPPITY

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C

B

A



A1 ELEVATION A
A4.0 SCALE: 1/4" = 1'-0"

PROJECT TITLE

**Pinetree Meadows
Phase 1, Lot 4
Generation Homes
15 Ave Invermere BC**

DRAWING TITLE

**EXTERIOR
BUILDING
ELEVATIONS**

SCALE: 1/4" = 1'-0"

DRAWN: RAK/DJE

CHECKED: M/RR

OCT 21

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KEYNOTE LEGEND	
01	ASPHALT SHEET
02	PAVE HORIZONTAL 1/2" WEDGE LAP
03	SOLID WOOD COLUMN WITH FINISHED WEDGE BASE
11	PINE (OR FAUX ALUM. POLY. EQUIVALENT) SOFFIT

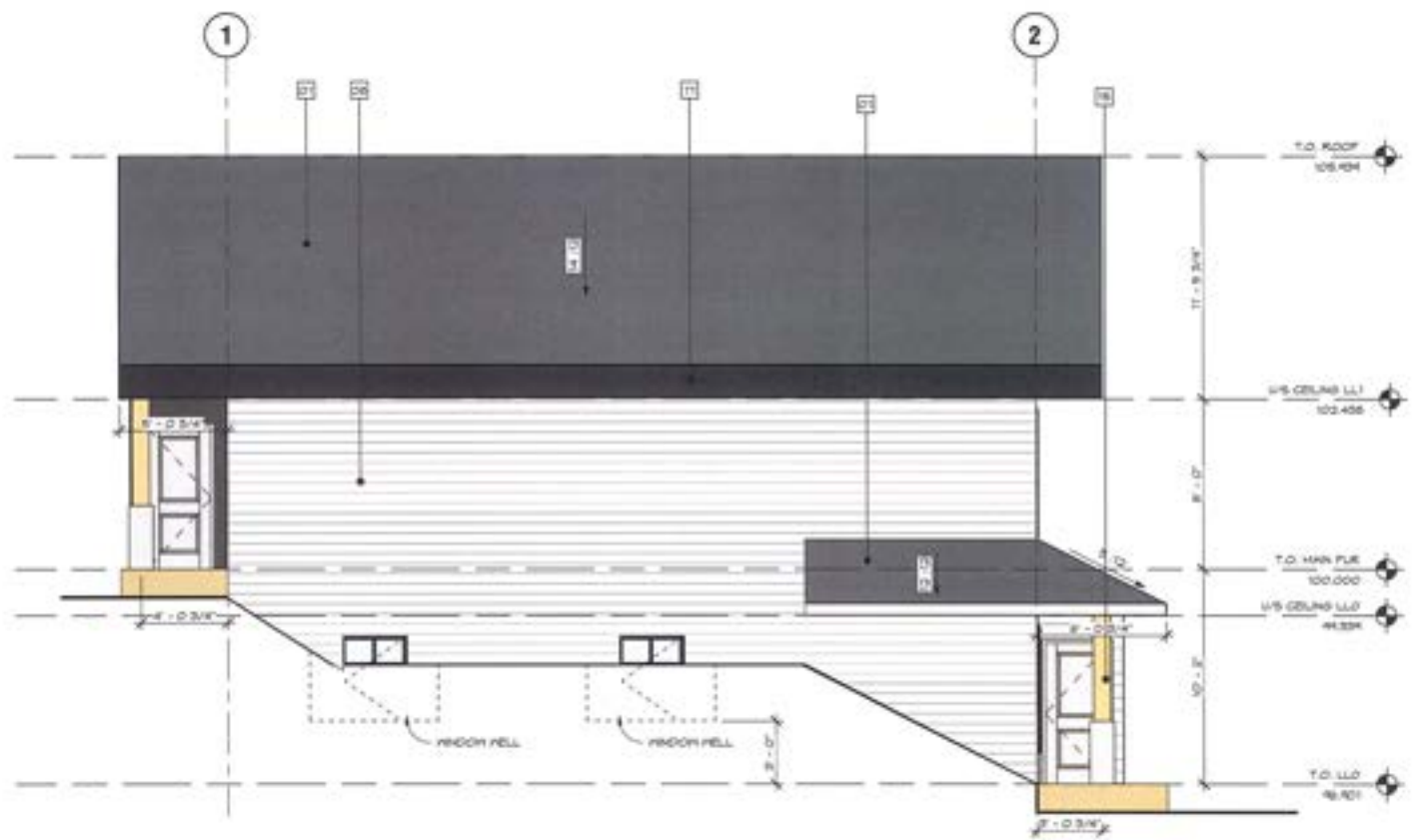


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REVISIONS + ISSUES

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A1 ELEVATION B
A4.1 SCALE: VT = 1/4"

PROJECT TITLE
**Pinetree Meadows
Phase 1, Lot 4
Generation Homes
15 Ave Invermere BC**

DRAWING TITLE
**EXTERIOR
BUILDING
ELEVATIONS**

SCALE:	1" = 1/4"
DRAWN:	RKD/JE
CHECKED:	RKD/SM/RRL
OCT 21	A4.1
21-070	



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KEYNOTE LEGEND

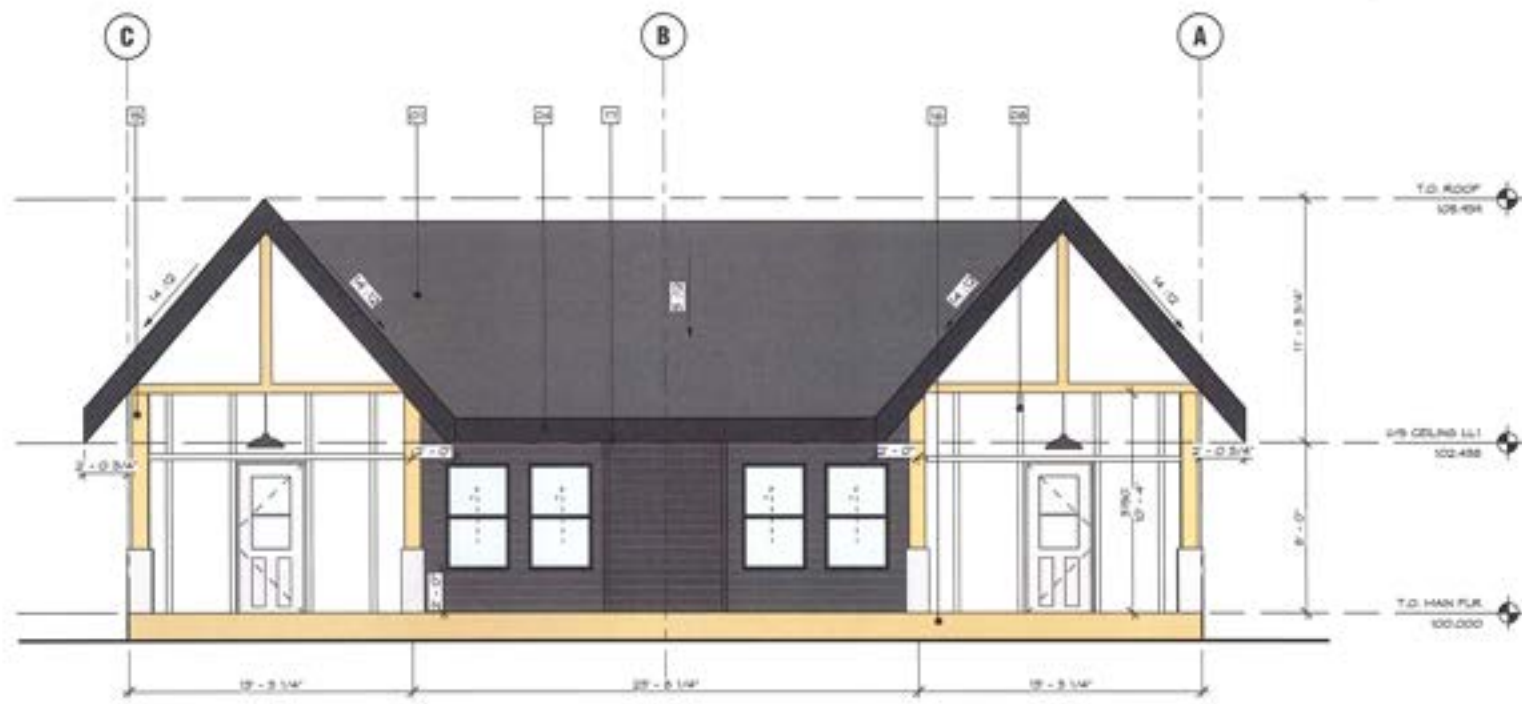
01	ASPHALT SHINGLE
04	CHARCOAL FAÇIA
08	WHITE HORIZONTAL 1/2" HARDIE LAP
18	SOLID WOOD COLUMN WITH FLURRED HARDIE BASE
19	CONCRETE PATIO IV PAUK POOD FAÇIA AS REQ'D
11	PINE (OR PAUK ALUM.POLY EQUIVALENT) SOFFIT

SEALS

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REVISIONS + ISSUES

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A1
A4.3
ELEVATION C
SCALE 1/4" = 1'-0"

PROJECT TITLE
Pinetree Meadows
Phase 1, Lot 4
Generation Homes
15 Ave Invermere BC

DRAWING TITLE
EXTERIOR
BUILDING
ELEVATIONS

SCALE: 1/4" = 1'-0"
DRAWN: RUC/JJE
CHECKED: M/RR
OCT 21
21-070
A4.3

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REVISIONS + ISSUES

NO.	DATE	ISSUE FOR
001	08/18/10	ISSUE FOR PERMIT
002	08/18/10	RE-SUBMIT FOR RF
003	08/18/10	RE-SUBMIT FOR RF
004	08/18/10	RE-SUBMIT FOR RF
005	08/18/10	CONSTRUCTION

**Pinetree Meadows
Phase 1, Lot 4
Generation Homes
15 Ave Invermere BC**

PROJECT TITLE

**EXTERIOR
BUILDING
ELEVATIONS**

DRAWING TITLE

SCALE: T = 1/4"
DRAWN: RMD/JE
CHECKED: M/RR

OCT 21
21-070

A4.4

KEYNOTE LEGEND

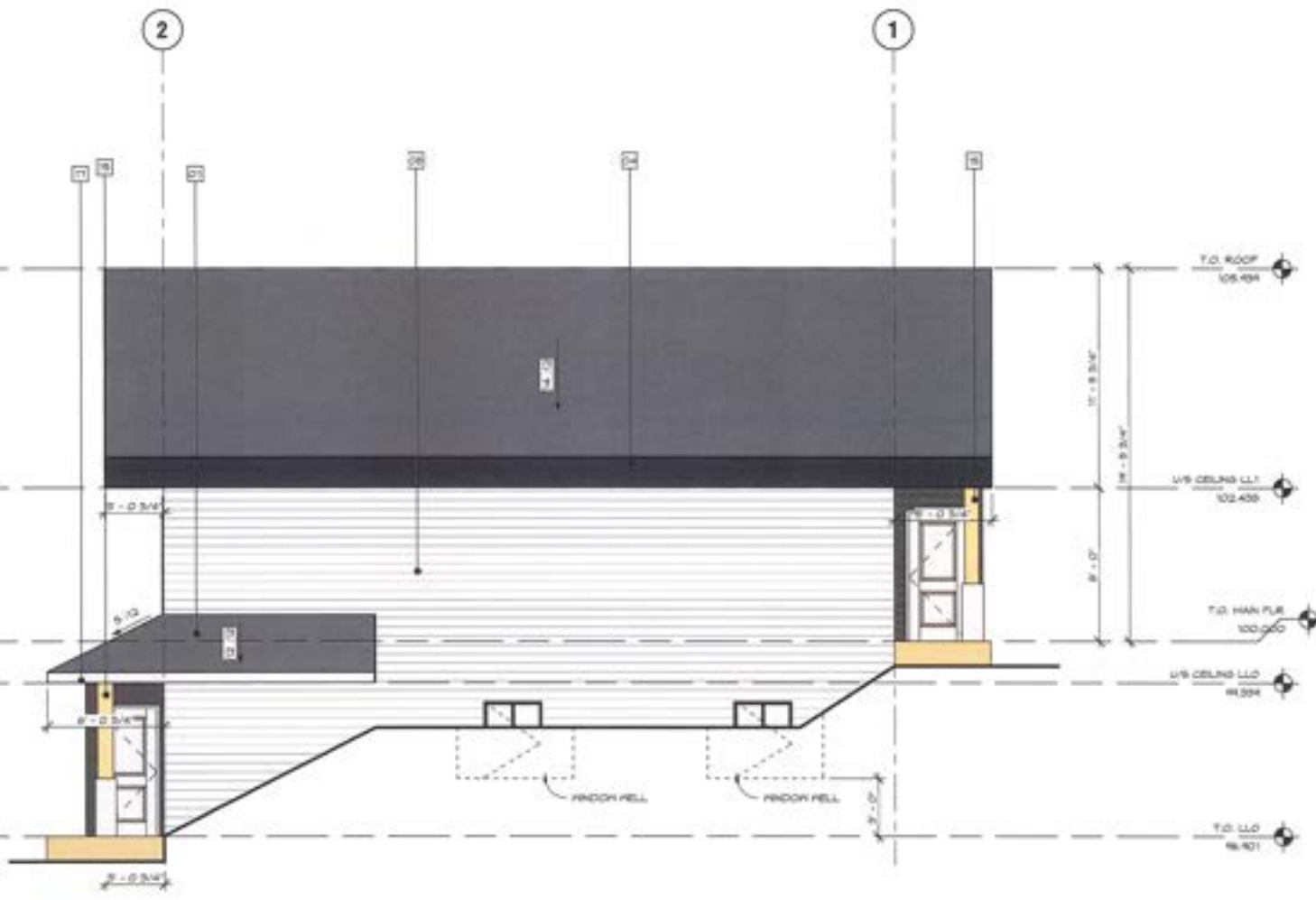
01	ASPHALT SHINGLE
02	CERAMIC TILE
03	WHITE HORIZONTAL 1.25" HARDIE LAP
04	SOLID WOOD COLUMN WITH TURNED HARDIE BASE
05	PINE (OR FAIR ALUMINUM EQUIVALENT) SOFFIT

D

C

B

A



A1 ELEVATION D
SCALE 1/4" = 1'-0"

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REVISIONS + ISSUES

DATE	DESCRIPTION	BY	APP
2022 03 02	BUILDING PERMIT		
2022 06 15	RE-ISSUED FOR SP		
2023 02 16	RE-ISSUED FOR SP		
2023 04 09	CONSTRUCTION		

PROJECT TITLE

**Pinetree Meadows
Phase 1, Lot 4
Generation Homes
15 Ave Invermere BC**

DRAWING TITLE

**BUILDING
SECTIONS**

SCALE: 1" = 1/4"

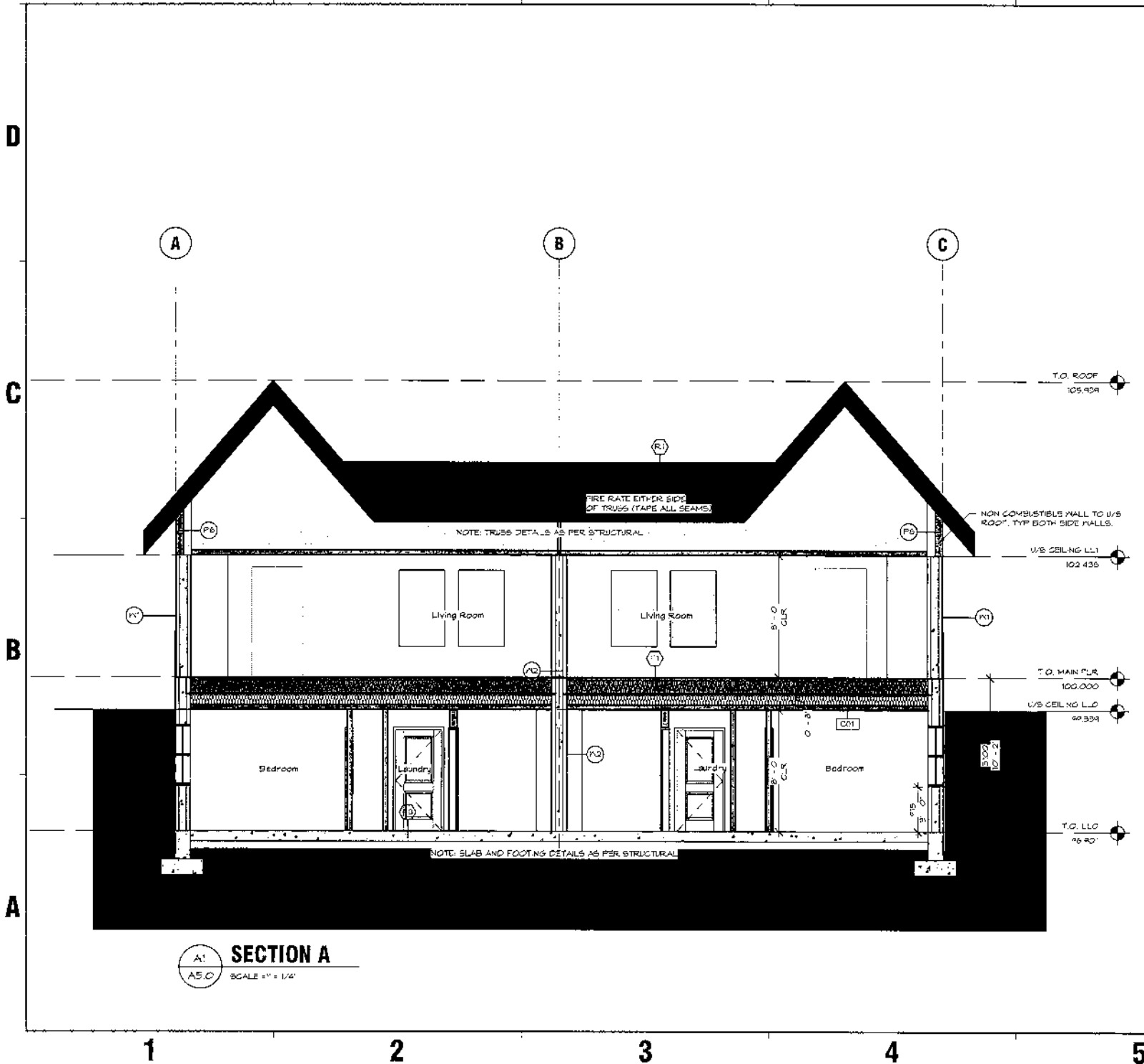
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CHECKED: IM/RR

OCT 21

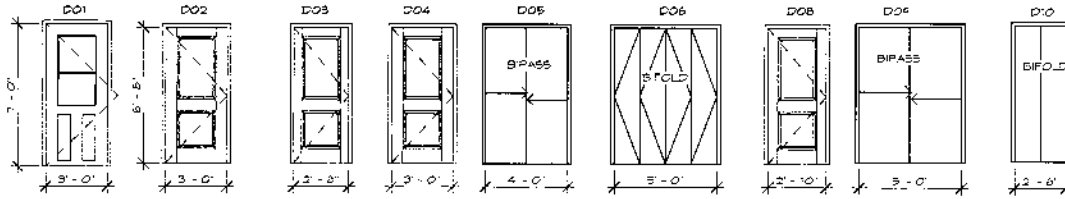
21-070

A5.0



A1 SECTION A
SCALE 1" = 1/4"

DOOR ELEVATIONS



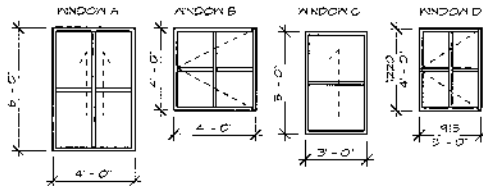
NOTE: SWING DIRECTION AS PER PLANS. DOOR 5" MIN PANELS SUBJECT TO CHANGE. ROUGH OPENING AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS. HARDWARE TBC.

DOOR SCHEDULE

Dimension in Feet Nominal Only. Contractor to Verify on Site

DOOR			Door Style	NOTES
ELEV.	WIDTH	HEIGHT		
D01	3'-0"	7'-0"	MFD (INSULATED) / PBF / PAINTED	Operable Unit - Must be Barr or Free Corridor
D02	3'-0"	6'-8"	AD (HOLLOW) / PBF / PAINTED	
D03	2'-8"	6'-8"	AD (HOLLOW) / PBF / PAINTED	
D04	3'-0"	6'-8"	MFD (INSULATED) / PBF / PAINTED	Exterior door c/w deadbolt
D05	4'-0"	6'-8"	AD (HOLLOW) / PBF / PAINTED	Bi-Pass
D07	3'-0"	6'-8"	(none)	Drywall opening
D08	3'-0"	6'-8"	AD (HOLLOW) / PBF / PAINTED	Bi-Pass
D10	2'-8"	6'-8"	AD (HOLLOW) / PBF / PAINTED	Single Bi-Fold Door

WINDOW ELEVATIONS



NOTE: REFER TO ELEVATIONS FOR OPERABLE WINDOW LOCATIONS. ROUGH OPENINGS AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS. ALL WINDOWS TO MEET CBC 2018 PART 4.06. BEDROOM WINDOWS MUST MEET EGRESS REQUIREMENTS.

WINDOW SCHEDULE

Type Mark	Height	Width	Comments
A	6'-0"	4'-0"	
B	4'-0"	4'-0"	1-6" AFF WIND
C	6'-0"	3'-0"	1-6" AFF WIND
D	4'-0"	3'-0"	TOP 3'-0" AFF WIND



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REVISIONS + ISSUES

DATE	BY	REASON
2022-05-02	PKL/BN	PERMIT
2022-04-14	RE	ISSUED FOR RF
2022-02-16	RE	ISSUED FOR RF

PROJECT TITLE

**Pinetree Meadows
Phase 1, Lot 4
Generation Homes
15 Ave Invermere BC**

DRAWING TITLE

**DOOR +
WINDOW
SCHEDULES**

SCALE: 1 : 50

DRAWN: RKD

CHECKED: IM/RR

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21-070

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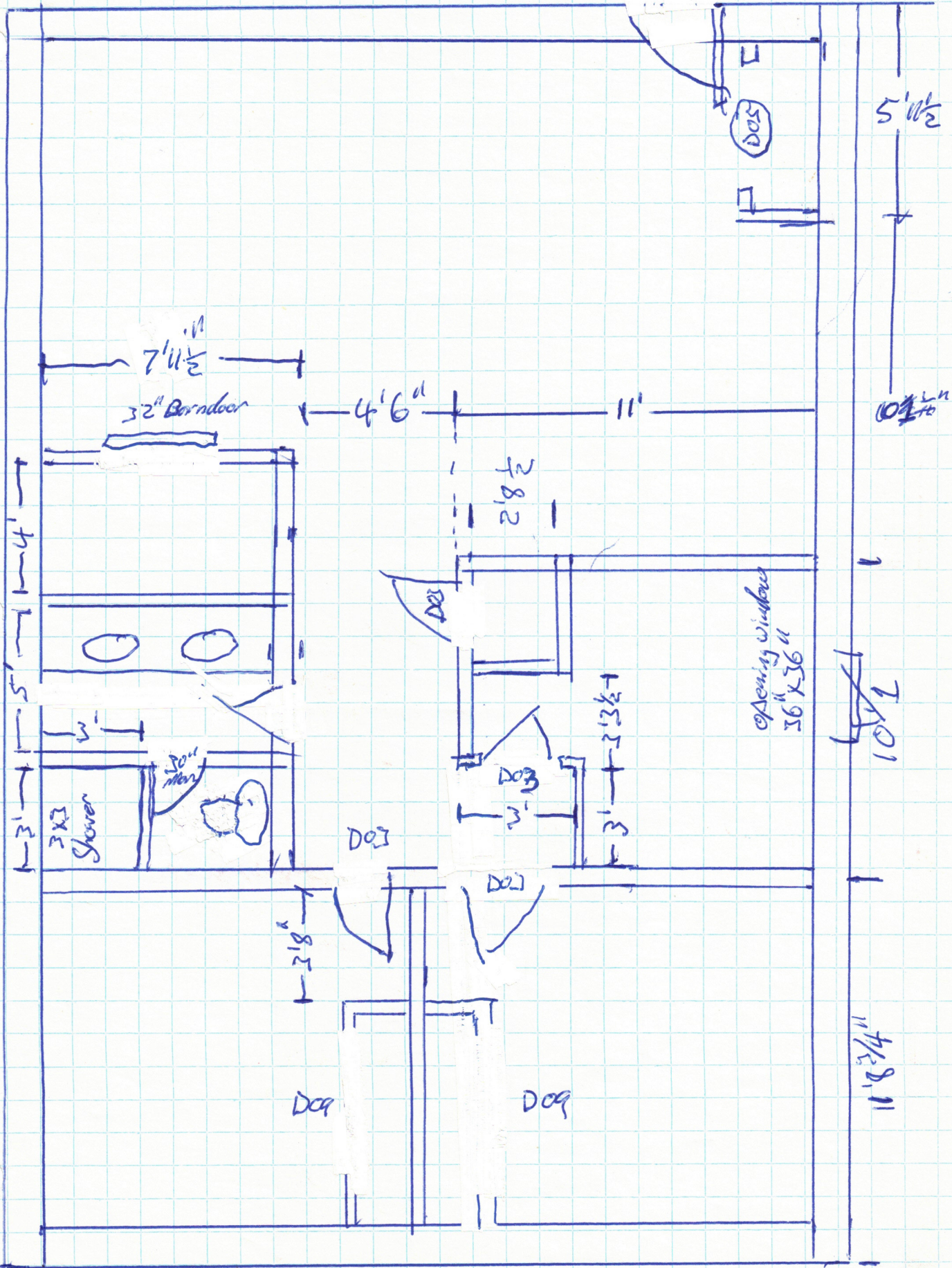


Exhibit D2

Strata Property Act

FORM P

PHASED STRATA PLAN DECLARATION

(Sections 221, 222)

I, 1345408 B.C. LTD., INC. NO 1345408, declare

- 1 That I intend to create a strata plan by way of phased development of the following land which I own or on which I hold a right to purchase:

PID:013-506-722 LOT 1 DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN 8385, EXCEPT PART INCLUDED IN PLAN NEP20703 AND EPP120442

- 2 That the plan of development is as follows:

- (a) The development will consist of 8 phases – phases will be developed in the following order; Phase 1, Phase 2, Phase 4, Phase 3, Phase 5, Phase 6, Phase 7 and Phase 8.*
- (b) Attached hereto as Schedule “A” is a sketch plan showing*
- (i) all the land to be included in the phased strata plan,*
 - (ii) the present parcel boundaries,*
 - (iii) the approximate boundaries of each phase, and*
 - (iv) the approximate location of the common facilities;*
- (c) a schedule setting out the estimated date for the beginning of construction and completion of construction of each phase;*

<i>PHASE</i>	<i>COMMENCEMENT*</i>	<i>COMPLETION</i>
<i>1</i>	<i>April 1, 2023</i>	<i>October 30, 2023</i>
<i>2</i>	<i>May 1, 2023</i>	<i>January 31, 2024</i>
<i>4</i>	<i>October 31, 2023</i>	<i>March 31, 2024</i>
<i>3</i>	<i>April 30, 2024</i>	<i>September 30, 2024</i>
<i>5</i>	<i>October 31, 2024</i>	<i>March 31, 2025</i>
<i>6</i>	<i>December 31, 2024</i>	<i>June 30, 2025</i>
<i>7</i>	<i>January 31, 2025</i>	<i>July 30, 2025</i>
<i>8</i>	<i>February 28, 2025</i>	<i>September 30, 2025</i>

**the developer may commence any phase of the development earlier than indicated.*

(d) *a statement of the unit entitlement of each phase and the total unit entitlement of the completed development;*

<i>Phase</i>	<i>Unit Entitlement</i>
1	342
2	480
3	368
4	480
5	480
6	480
7	342
8	480
Total Unit Entitlement:	3452

(e) *a statement of the maximum number of units and general type of residence or other structure to be built in each phase.*

Phase	Number of Strata Lots	Description of Structure
1	4	4 Plex
2	4	4 Plex
3	4	4 Plex
4	4	4 Plex
5	4	4 Plex
6	4	4 Plex
7	4	4 Plex
8	4	4 Plex

3 I will elect to proceed with each phase on or by the following dates:

Phase Number	Date
Phase 1	Elected to proceed
Phase 2	Elected to proceed
Phase 3	Elected to proceed
Phase 4	Elected to proceed
Phase 5	October 1, 2024
Phase 6	December 1, 2024
Phase 7	January 1, 2025
Phase 8	February 1, 2025

Signed,
1345408 B.C. LTD., INC. NO 1345408

Signature of Applicant

Print Name: _____

Date of approval: _____, 2023.*

Signature of Approving Officer: _____
DISTRICT OF INVERMERE: RORY RROMADNIK

Name of Municipality: DISTRICT OF INVERMERE

* Section 222(2) of the Act provides that approval expires after one year unless the first phase is deposited before that time.

Exhibit E2

Strata Property Regulation

Form V

SCHEDULE OF UNIT ENTITLEMENT

(Sections 245(a), 246, 264)

[am. B.C. Reg. 203/2003, s. 5.]

Re: Preliminary Strata Plan EPS, being Phase 1 of a Phased Strata Plan of

PID:013-506-722

LOT 1 DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN
8385, EXCEPT PART INCLUDED IN PLAN NEP20703 AND
EPP120442

STRATA PLAN CONSISTING ENTIRELY OF RESIDENTIAL STRATA LOTS

The unit entitlement for each residential strata lot is one of the following *[check appropriate box]*, as set out in the following table:

- (a) the habitable area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246(3)(a)(i) of the *Strata Property Act*.

Certificate of British Columbia Land Surveyor

I, *Adam Brash*, a British Columbia land surveyor, certify that the following table reflects the habitable area of each residential strata lot.

Date: *[month, day, year]*.

Signature

OR

- (b) a whole number that is the same for all of the residential strata lots as set out in section 246(3)(a)(ii) of the *Strata Property Act*.

OR

[] (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246(3)(a)(iii) of the *Strata Property Act*.

Signature of Superintendent of Real Estate

Strata Lot No.	Sheet No.	Habitable Area in m ²	Unit Entitlement	%* of Total Unit Entitlement**
1	4	85.5	86	2.5%
2	3	84.7	85	2.5%
3	4	85.5	86	2.5%
4	3	84.7	85	2.5%
5	TBD	138.6	139	4.0%
6	TBD	84.7	85	2.5%
7	TBD	171.2	171	5.0%
8	TBD	84.7	85	2.5%
9	TBD	55.7	56	1.6%
10	TBD	55.3	55	1.6%
11	TBD	171.6	172	5.0%
12	TBD	84.7	85	2.5%
13	TBD	138.6	139	4.0%
14	TBD	84.7	85	2.5%
15	TBD	171.2	171	5.0%
16	TBD	84.7	85	2.5%
17	TBD	171.2	171	5.0%
18	TBD	84.7	85	2.5%
19	TBD	138.6	139	4.0%
20	TBD	84.7	85	2.5%

21	TBD	171.4	171	5.0%
22	TBD	84.7	85	2.5%
23	TBD	139	139	4.0%
24	TBD	84.7	85	2.5%
25	TBD	85.5	86	2.5%
26	TBD	84.7	85	2.5%
27	TBD	85.5	86	2.5%
28	TBD	84.7	85	2.5%
29	TBD	171.4	171	5.0%
30	TBD	84.7	85	2.5%
31	TBD	139	139	4.0%
32	TBD	84.7	85	2.5%
Total number of lots: 32		Total unit entitlement: 3452		

* expression of percentage is for informational purposes only and has no legal effect

** not required for a phase of a phased strata plan

Date: _____.

Signature of Owner Developer

Signature of Superintendent of Real Estate
(if submitted under section 264 of the Act)

Exhibit G2

Schedule A to Exhibit G2

Strata Lot	Unit Entitlement	Annual Strata Fee	Monthly Strata Fee
Strata Lot 1	2.50%	\$1,688.34	\$140.70
Strata Lot 2	2.50%	\$1,688.34	\$140.70
Strata Lot 3	2.50%	\$1,688.34	\$140.70
Strata Lot 4	2.50%	\$1,688.34	\$140.70
Strata Lot 5	4.00%	\$2,701.35	\$225.11
Strata Lot 6	2.50%	\$1,688.34	\$140.70
Strata Lot 7	5.00%	\$3,376.69	\$281.40
Strata Lot 8	2.50%	\$1,688.34	\$140.70
Strata Lot 9	.60%	\$1,080.54	\$90.01
Strata Lot 10	.60%	\$1,080.52	\$90.01
Strata Lot 11	5.00%	\$3,376.69	\$281.40
Strata Lot 12	2.50%	\$1,688.34	\$140.70
Strata Lot 13	4.00%	\$2,701.35	\$225.11
Strata Lot 14	1.60%	\$1,755.88	\$146. 2
Strata Lot 15	5.00%	\$3,376.69	\$281.40
Strata Lot 16	2.50%	\$1,688.34	\$140.70
Strata Lot 17	5.00%	\$3,376.69	\$281.40
Strata Lot 18	2.50%	\$1,688.34	\$140.70
Strata Lot 19	4.00%	\$2,701.35	\$225.11
Strata Lot 20	2.50%	\$1,688.34	\$140.70
Strata Lot 21	5.00%	\$3,376.69	\$281.40
Strata Lot 22	2.50%	\$1,688.34	\$140.70
Strata Lot 23	4.00%	\$2,701.35	\$225.11
Strata Lot 24	2.50%	\$1,688.34	\$140.70
Strata Lot 25	2.50%	\$1,688.34	\$140.70
Strata Lot 26	2.50%	\$1,688.34	\$140.70
Strata Lot 27	2.50%	\$1,688.34	\$140.70
Strata Lot 28	2.50%	\$1,688.34	\$140.70
Strata Lot 29	5.00%	\$3,376.69	\$281.40
Strata Lot 30	2.50%	\$1,688.34	\$140.70
Strata Lot 31	4.00%	\$2,701.35	\$225.11
Strata Lot 32	2.50%	\$1,688.34	\$140.70
		\$68,074.02	

**PINETREE VALLEY DEVELOPMENT - PINETREE MEADOWS
OFFER TO PURCHASE AND AGREEMENT OF SALE
PRE-TITLES**

Date of Offer: __ day of _____, 202__.

Vendor: 1345408 B.C. LTD.

Vendor's Solicitor: Columbia Valley Law Corporation
 Box 639, 1309 – 7th Avenue, Invermere, BC V0A 1K0
 reception@columbialegal.ca

Purchaser:

_____, of
Name(s) and Occupation(s)

Mailing Address(es)

Telephone Number(s)

Email Address(es)

Purchaser's Solicitor:

FOR VALUABLE CONSIDERATION, THE PARTIES AGREE AS FOLLOWS:

Property:

1. The Purchaser hereby offers to purchase from the Vendor on the terms and conditions contained in this Agreement, including those terms and conditions set forth in any Schedule to this Agreement, the following property:
 - a. A proposed strata lot within the development known as Pinetree Valley Development - Pinetree Meadows located at the civic address of 2128 15th Ave, Invermere, British Columbia (the “Development”), legally described as:

 PROPOSED STRATA LOT _____ DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN 8385, EXCEPT PART INCLUDED IN PLAN NEP20703 AND EPP120442; and
 - b. The following: range, fridge, dishwasher, washer, and dryer (the “Appliances”) (collectively, the “Strata Lot”).

Purchase Price:

\$ _____	for the Strata Lot
\$ _____	Goods and Services Tax - Strata Lot
\$ _____	Goods and Services Tax – Appliances
\$ _____	Provincial Sales Tax – Appliances
\$ _____	Total Purchase Price (the “Purchase Price”)

Deposit:

2. The Purchaser shall pay a deposit of \$1000 (the “Initial Deposit”) on submission of this Agreement to the Vendor, which shall be fully refundable if this Agreement is not executed by the Vendor and delivered to the Purchaser on or before the acceptance date set out therein.
3. Purchaser shall pay a further deposit in the amount of 10% of the Purchase Price less the initial \$1,000 deposit, namely \$ _____ (the “Second Deposit”), upon the Purchaser removing, waiving, or declaring fulfilled, any conditions-precedent that is for the sole benefit of the Purchaser, contained in this Agreement. If this Agreement does not

contain any conditions-precident that is for the sole benefit of the Purchaser, then the Purchaser shall pay the Second Deposit to the Vendor upon the Vendor's execution of this Agreement.

4. The Purchaser shall pay the Initial Deposit and the Second Deposit (collectively, the "Deposit") by way of bank drafts payable to "Columbia Valley Law Corporation in Trust" delivered to the Vendor's Solicitor at the address set out above.
5. The Deposit shall be applied against the Purchase Price.
6. No interest on the Deposit shall be paid or payable to the Purchaser.
7. In the event the Purchaser fails to pay the Deposit as required by this Agreement, the Vendor may, at the Vendor's option, terminate this Agreement.
8. The Deposit shall be returned to the Purchaser:
 - a. if a condition-precident contained in this Agreement is not removed, waived or declared fulfilled; or
 - b. if the Vendor fails to complete the transaction on the Completion Date in full satisfaction of any claims the Purchaser may have against the Vendor at law or in equity.
9. If the Purchaser fails to complete the transaction in accordance with the terms of this Agreement, then the Deposit will be forfeited to the Vendor without prejudice to any other remedies the Vendor may have against the Purchaser at law or in equity.

Schedules:

10. Schedules A, B, and C attached hereto form an integral part of this Agreement and all terms and conditions of Schedules A, B, and C are incorporated into and form part of this Agreement. The Purchaser acknowledges that the Purchaser has read all paragraphs and schedules of this Agreement.
11. On submission of this Agreement to the Vendor, the Purchaser shall deliver to the Vendor a duly executed copy of the acknowledgment of disclosure statement receipt attached as Schedule B.

Acceptance:

12. **This offer will be open for acceptance up to 5:00 o'clock p.m. on _____, 202__ (the "Acceptance Date") unless withdrawn in writing with notification to the other party of such revocation prior to notification of its acceptance.**

13. Upon acceptance by the Vendor by signing a copy of this Agreement, there will be a binding Agreement of Purchase and Sale on the terms and conditions herein set forth.

DATED at _____ this ___ day of _____ 202___.
[location]

Purchaser:

Witness:

Purchaser:

Witness:

This Offer is ACCEPTED by the Vendor this ___ day of _____ 202__.

1345408 B.C. LTD.

Per: _____
Authorized signatory

Witness:

SCHEDULE A
ADDITIONAL TERMS AND CONDITIONS

1. Completion Date:

- a. The Purchase acknowledges and accepts that the Vendor shall give the Purchaser not less than twenty-one days written notice (the "Notice"), specifying the date that will be the Completion Date (the "Completion Date") and the Notice will be deemed to fix the Completion Date subject to any extensions as provided for in this Agreement.
- b. The balance of the Purchase Price shall be paid on the Completion Date.
- c. If the Completion Date has not occurred within 2 years of the date of this Agreement, then the Purchaser may elect to terminate this Agreement and the Deposit will be refunded to the Purchaser in full satisfaction of any claims the Purchaser may have against the Vendor at law or in equity.
- d. The Purchaser is purchasing a strata lot yet to be completed. The Purchaser acknowledges and accepts that construction and other delays may affect the date on which the Strata Lot is completed. The Strata Lot may be occupied when the District of Invermere has given written permission to occupy the Strata Lot ("Permission to Occupy"). Permission to Occupy refers to the Strata Lot only and not to any other strata lot or the common property within the development.
- e. If Permission to Occupy has not been received prior to the Completion Date, then the Vendor may delay the Completion Date from time to time as required by the Vendor until Permission to Occupy has been received. The Vendor shall give notice of such delay not less than 5 business days before the Completion Date.
- f. If the Purchaser wishes to extend the Completion Date, then the Purchaser may apply to the Vendor to do so. The Vendor may arbitrarily withhold its consent to any extension of the Completion Date.

2. Possession: The Purchaser shall have vacant possession of the Strata Lot on the day following the Completion Date at 12:00 p.m. Mountain Time.

3. Lien Holdback:

- a. That portion, if any, of the Purchase Price required by the *Builders Lien Act* of British Columbia or the *Strata Property Act* of British Columbia to be held back by the Purchaser in respect of potential builders' lien claims (the "Lien Holdback") shall be held by the Purchaser's solicitor or notary in trust.

- b. The Purchaser warrants that the Purchaser will direct the Purchaser's solicitor or notary to pay to the Vendor's solicitor, on the 56th day after permission to occupy the Strata Lot has been issued, the Lien Holdback less any amount representing builders' lien claims, if applicable, registered against title to the Strata Lot.
 - c. If the Lien Holdback is not released to the Vendor on the 56th day after permission to occupy the Strata Lot has been issued, then the Purchaser shall pay the Vendor interest on the Lien Holdback, less any amount representing builders' lien claims filed against the Strata Lot, if applicable, in the amount of 30% per annum compounded monthly until the Lien Holdback, less any amount representing builders' lien claims filed against the Strata Lot, if applicable, has been delivered to the Vendor.
 - d. The Purchaser or the Purchaser's solicitor or notary public is solely responsible to notify the Vendor's Solicitor in writing of any builders lien claims filed against the Strata Lot by 1:00 p.m. Mountain Time on the 56th day after permission to occupy the Strata Lot has been issued.
 - e. The Purchaser hereby authorizes the Vendor and the Vendor's Solicitor to do all things necessary to discharge any builders' liens, including bringing court proceedings in the name of the Purchaser, provided that any such proceedings will be solely at the expense of the Vendor.
4. Title: On the Completion Date, the Vendor shall:
- a. provide title to the Strata Lot to the Purchaser, subject to the exceptions listed in section 23(2) of the *Land Title Act*, free and clear of all registered liens, mortgages, charges and encumbrances of any nature whatsoever save and except:
 - i. the existing encumbrances and legal notations set out in section 4.3 of the Disclosure Statement;
 - ii. the proposed encumbrances set out in section 4.4 of the Disclosure Statement; and
 - iii. any other easements, rights-of-way, and any development covenants or agreements in favour of utilities, public authorities and other parties as required by them;
- (the "Permitted Encumbrances")

and on or before the Completion Date, the Vendor will have taken whatever steps are necessary to obtain or make arrangements for any release or discharge of all liens, mortgages, charges and encumbrances (the "Charges") save and except the Permitted Encumbrances registered against title to the Strata Lot. The Vendor shall bear all costs of providing clear title to the Strata Lot as set out in this paragraph.

- b. The Purchaser acknowledges and agrees that the Vendor may be using the purchase monies received from the Purchaser to obtain a partial discharge of the Charges from the Strata Lot. The Purchaser's solicitor or notary public shall pay the balance of the adjusted Purchase Price on the Completion Date to the Vendor's Solicitor in trust on their undertaking to pay sufficient funds to the holders of the Charges to legally oblige such Charge holders to discharge their Charge from title to the Strata Lot.
5. Purchaser Financing
- a. If the Purchaser is relying upon a new mortgage to finance the Purchase Price, then the Purchaser, while still required to pay the balance of the adjusted Purchase Price on the Completion Date, may wait to pay same until after the transfer and new mortgage documents have been lodged for registration at the applicable Land Title Office but only if before such lodging against title to the Strata Lot, the Purchaser has:
 - i. deposited in trust with its solicitor or notary public the cash balance of the Purchase Price not being financed by the mortgage;
 - ii. fulfilled all the new mortgagee's conditions for funding except lodging for registration; and
 - iii. made available to the Vendor's Solicitor a lawyer's or notary public's undertaking to pay on the Completion Date the balance of the adjusted Purchase Price upon the lodging of the transfer and the new mortgage documents and the advance by the new mortgagee of the mortgage proceeds.
6. No Set-off: Except as expressly set forth in this Agreement or as otherwise mutually agreed to in writing by the Purchaser and the Vendor, the Purchaser's obligation to make the payments provided for in this Agreement shall not be affected by any circumstances including, without limitation, any set-off, counterclaim, recoupment, defense or other right which the Purchaser may have against the Vendor.

7. Adjustments, Costs, and GST/PST:
 - a. The Purchaser shall assume and pay where applicable all real property taxes, federal Goods and Services Tax ("GST") on the value of the Strata Lot, and Property Transfer Tax, rates, local improvement assessments and other charges levied against the Strata Lot, strata fees, if any, and all adjustments both incoming and outgoing of whatsoever nature made as of the Completion Date.
 - b. The Purchaser shall pay to the Vendor on the Completion Date the amount of the GST due on the value of the Strata Lot and the Vendor shall be responsible for remitting the appropriate amount of tax.
 - c. The Strata Lot will include the Appliances. The Purchaser agrees that GST and PST is payable by the Purchaser on the Appliances. On the Completion Date, the Purchaser shall pay to the Vendor the amount of the GST and PST due on the value of the Appliances, and the Vendor shall be responsible for remitting the appropriate amount of tax.
8. Strata Lot Plans: The Purchaser acknowledges that the Purchaser is purchasing the Strata Lot as shown on the proposed form of strata plan attached as **Exhibit B2** to the Second Amendment of the Disclosure Statement. The Vendor will construct the Strata Lot substantially in accordance with such plans, however the Vendor may make modifications to the features and design of the Development and to the Strata Lot as are reasonable in the opinion of the Vendor, and may use materials other than as prescribed in the plans, all without compensation to the Purchaser.
9. Variation in Square Footage: The square footage area of the Strata Lot may vary from that set out in the proposed strata plan by 5% without compensation to the Purchaser. If the Strata Lot varies by more than 5% to the disadvantage of the Purchaser, the Vendor agrees to reduce the price of the Strata Lot by a percentage which is equal to the percentage by which the area of the property as shown on the registered strata plan exceeds 5% less than as shown in **Exhibit B2** to the Second Amendment of the Disclosure Statement. For greater clarity, there will be no adjustment made in respect of the first 5% of square footage variance, but only in respect of that portion of the strata lot which varies to the disadvantage of the Purchaser by more than 5%.
10. Municipal Services: The Purchaser acknowledges that the Development, including the Strata Lot, may include service facilities and equipment required by municipal authorities and any other authority having jurisdiction over the Development, such as transformers, fire hydrants, vents, ducts, fans and other such facilities and equipment. These service facilities will be located within the Development and the Strata Lot as required by municipal authorities and any other government authorities having jurisdiction. The Purchaser acknowledges the current plans for the Development and the Strata Lot may not indicate the

location of all such service facilities and the Vendor reserves the right to amend all or a portion of the service facilities as is deemed necessary by the Vendor, without compensation to the Purchaser.

11. Inspection:

- a. The Vendor and the Purchaser, or their designated representatives, may make an inspection of the Strata Lot for deficiencies. The Strata Lot shall be inspected at a reasonable time designated by the Vendor prior to the Completion Date.
- b. At the conclusion of such inspection, a list of any defects or deficiencies shall be prepared including the dates by which corrections are to occur (the "Deficiency List"). The Vendor and the Purchaser shall sign the Deficiency List and the Purchaser shall be deemed to have accepted the physical condition of the Strata Lot subject only to the listed deficiencies.
- c. The Purchaser hereby acknowledges and agrees that neither the Purchaser nor its representative for inspection, other representatives, agents or assigns shall be allowed access to the Strata Lot except for the purposes of this inspection prior to the Completion Date, except with the express written authorization of the Vendor.
- d. If the Purchaser and the Vendor cannot agree on any matter whatsoever relating to a deficiency, the decision of the architect for the Development will be final and binding upon the parties, and no appeal will lie to any court in respect of such alleged deficiency.

12. Transaction Documents:

- a. The Purchaser shall prepare a Form A Transfer, a Statement of Adjustments without any notes to the Statement of Adjustments, and other documents reasonably required by the Vendor's Solicitor (the "Closing Documents") and deliver them to the Vendor at least five days prior to the Completion Date. No other documents will be accepted by the Vendor.
- b. Where property taxes for the Strata Lot are based on an estimated amount, the Vendor and the Purchaser shall make any further adjustments necessary upon receipt of the current tax levy notice.
- c. The Purchaser shall bear all costs of preparation and registration of the Closing Documents and delivery of the purchase monies to the Vendor.

13. No Interest in Land: Neither this Agreement nor any interest in the Strata Lot created hereunder shall be registered in the applicable Land Title Office except for the Form A

transfer of the Strata Lot on the Completion Date. This Agreement creates contractual rights only between the Vendor and the Purchaser and not an interest in land.

14. Civic Address: The civic address and strata lot numbers relating to the Strata Lot are subject to change at the discretion of the Vendor without compensation to the Purchaser. If the Strata Lot numbering varies from that set out in **Exhibit B2** to the Second Amendment to the Disclosure Statement, the Purchaser agrees that the Vendor may amend this Agreement to indicate the correct Strata Lot number.
15. Time of the Essence: Time will be of the essence hereof and unless the balance of the Purchase Price and all applicable taxes and adjustments are paid on or before the Completion Date, the Vendor may at the Vendor's option terminate this Agreement, and in such event the Deposit will be absolutely forfeited to the Vendor, without prejudice to any other remedies the Vendor may have against the Purchaser at law or in equity.
16. Risk: The Strata Lot will be at the risk of the Vendor until the Completion Date and thereafter at the risk of the Purchaser.
17. Assignment:
 - a. The Purchaser shall not directly or indirectly assign its rights under this Agreement without the prior consent of the Vendor, which consent may be withheld at the absolute discretion of the Vendor.
 - b. Without the Vendor's prior written consent, any assignment of this purchase agreement is prohibited.
 - c. An assignment under the *Real Estate Development Marketing Act* is a transfer of some or all of the rights, obligations and benefits under a purchase agreement made in respect of a strata lot in a development property, whether the transfer is made by the purchaser under the purchase agreement to another person or is a subsequent transfer.
 - d. Each proposed party to an assignment agreement must provide the developer with the information and records required under the *Real Estate Development Marketing Act*.
 - e. Before the developer consents to an assignment of a purchase agreement, the developer will be required to collect information and records under the *Real Estate Development Marketing Act* from each proposed party to an assignment agreement, including personal information, respecting the following:
 - i. the party's identity;
 - ii. the party's contact and business information;

- iii. the terms of the assignment agreement.
- f. Information and records collected by the developer must be reported by the developer to the administrator designated under the *Property Transfer Tax Act*. The information and records may only be used or disclosed for tax purposes and other purposes authorized by section 20.5 of the *Real Estate Development Marketing Act*, which includes disclosure to the Canada Revenue Agency.
- g. The Vendor will not disclose the assignment information to any party without the written consent of the Assignor and the Assignee, except as prescribed by section 20.5 of the *Real Estate Development and Marketing Act*, namely:
 - i. for the purposes of administering or enforcing *the Real Estate Development Marketing Act*, a taxation Act, the *Home Owner Grant Act*, or the *Land Deferment Act*;
 - ii. in court proceedings related to the Acts referred to in subparagraph (i);
 - iii. under an agreement that: is between the government and another government, relates to the administration or enforcement of tax enactments, and provides for the disclosure of information and records to and the exchange of similar information and records with that other government;
 - iv. for the purpose of the compilation of statistical information by the government or the government of Canada; or
 - v. to the British Columbia Assessment Authority.
- h. After the Vendor consents to any assignment of the Purchaser's rights under this Agreement, the Vendor will be required to:
 - i. collect a copy of the written and fully executed assignment agreement and keep that copy for 6 years following the date on which the strata plan is deposited;
 - ii. file with the administrator designated by the *Property Transfer Tax Act* (the "Administrator") all of the assignment information; and
 - iii. file any additional information or records requested by the Administrator in order to verify the assignment information; and

the Assignor and Assignee agree that they will provide and deliver any such materials to the Vendor upon its written request.

18. No Resale Prior to Completion: The Purchaser shall not advertise or offer the Strata Lot for sale, nor enter into any agreement for the sale of the Strata Lot prior to the date that is 1 year after the Completion Date without the express written consent of the Vendor, which consent may be arbitrarily withheld by the Vendor.
19. Tender: Tender or payment of monies under this Agreement shall be by bank draft or by solicitor's or notary's trust cheque unless otherwise agreed to in writing by the parties.
20. Notices: Any notice, document or communication required or permitted to be given under this Agreement shall be in writing and either delivered by hand, transmitted by facsimile or electronic mail, or sent by registered mail to the Vendor or the Vendor's Solicitor or to the Purchaser or the Purchaser's Solicitor as the case may be, at the above address. The time of giving such notice, document, or communication will be, if personally delivered, when delivered, if sent by facsimile or by electronic mail then on the day of transmission, and if mailed, then on the date recorded as the date of delivery by the postal service.
21. Voting on Certain Resolutions: The Purchaser agrees with the Vendor to vote in favour of any resolutions requested by the Vendor to be placed on an agenda for a special or annual general meeting that deals with amendments to the Form P - Declaration of Phased Strata Plan in respect of the order of the phases, the number of strata lots in each phase, construction schedules, unit entitlement of the strata lots, and the phase boundaries. The Purchaser further agrees, if requested by the Vendor, to deliver to the Vendor in advance of such meeting its written proxy so the Vendor may exercise such votes on the Purchaser's behalf. In the absence of such a proxy, the Vendor may present this Agreement to the meeting as evidence of the Purchaser's proxy in favour of the Vendor and the Vendor's unfettered discretion to exercise the Purchaser's proxy on these matters.
22. Number and Gender: All words in this Agreement may be read and construed in the singular or plural, masculine or feminine, or body corporate, as the context requires. Where there is more than one Purchaser, the obligations of the Purchaser will be construed as joint and several obligations.
23. Binding Effect: This Agreement will enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and permitted assigns. All covenants and agreements herein will survive the Completion Date and not merge.
24. Entire Agreement:
 - a. This Agreement is the entire agreement between the parties with respect to the purchase and sale of the Strata Lot and there are no other representations, warranties conditions or collateral agreements, express or implied, whether made by the Vendor, any agent, employee or representative of the Vendor or any other person including, without limitation, anything arising out of any marketing material

including sales brochures, models, representative view sets, show room displays, photographs, illustrations, renderings, revenue projections or pro-forms provided to the Purchaser other than those contained in this Agreement or in the Disclosure Statement and any amendments to the Disclosure Statement.

- b. This Agreement may not be altered or amended except by an amendment in writing signed by both parties. The Purchaser hereby waives the right of the Purchaser to pursue any action in negligent misrepresentation or collateral contract against the Vendor arising from any marketing activity of the Vendor as set out above.
25. Major Delays: If the Purchaser or Vendor are unable to perform any of their obligations under this Agreement by reason of major events outside the parties' control, including but not limited to, strikes, riots, equipment failure, natural disaster, war, pandemic, government shutdown, civil unrest, et cetera, then the parties shall be relieved from their obligations during the delay and the parties shall complete their obligations within a reasonable period after the delay.
 26. Governing Law: It is expressly agreed between the Vendor and the Purchaser that this Agreement and each and every part thereof will be governed and construed in accordance with the laws of the Province of British Columbia.
 27. Waiver: A waiver by either party of the strict performance by the other of any provision of this agreement will not constitute waiver of any subsequent breach of such provision or any other provision of this agreement.
 28. Building Permit
 - a. Building permits for the Strata Lot have been obtained. Copies of the building permit are available in the Second Amendment of the Disclosure Statement.
 29. Satisfactory Financing
 - a. The Vendor has received a satisfactory financing commitment. Information on the satisfactory financing commitment is available in the Second Amendment of the Disclosure Statement.
 30. Ongoing Development: The Purchaser acknowledges that the Property is part of an ongoing phased development and that further units will be constructed adjacent to the Property, with attendant construction noise, dust, dirt tracks on roadways, and coming and going of vehicular traffic association with the development. The Purchaser hereby waives all claims it may have now or in the future against the Vendor, and its successors and assigns relating to the ongoing development and the inconveniences attendant on it.

31. Legal Advice: The parties acknowledge that Columbia Valley Law Corporation prepared this contract and represents the Vendor only. The Purchaser is recommended to obtain independent legal advice on this contract.
32. Construction of Agreement: This Agreement shall be construed as though the parties participated equally in drafting it. Any rule of construction that a document be construed against the drafting party, including the *contra proferentem* doctrine, shall not apply to the construction of this Agreement.
33. Execution: This Agreement may be executed and delivered electronically and in counterpart.

Schedule B

Acknowledgment of Disclosure Statement Receipt

1. The Purchaser consents to receiving a copy of the disclosure statement for the Development and all amendments to it that have been filed (the “Disclosure Statement”) by electronic means.
2. The Purchaser hereby acknowledges receiving and having a reasonable opportunity to read, prior to the execution of this Agreement, the Disclosure Statement dated June 30, 2022, the First Amendment to Disclosure Statement dated July 09, 2022, and the Second Amendment to Disclosure Statement dated June 30, 2023.
3. The execution of this Acknowledgment of Disclosure Statement Receipt shall constitute a receipt by the Purchaser in respect of the Disclosure Statement.
4. The Disclosure Statement relates to a development property that is not yet completed. The Purchase acknowledges that the information in section 7.2 of the Disclosure Statement regarding this Agreement has been drawn to the attention of the Purchaser.

Dated: ___ day of _____, 20__.

Print Purchaser’s name:

Print Purchaser’s name:

Exhibit K

NELSON
AND TITLE OFFICE

DF

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XG025633

(plan)

SRW

IMAGED '93 SEP 17 AM 10 26

LAND TITLE ACT
FORM C

(Section 219.81)
(REV. 05/92)

Province of
British Columbia

GENERAL INSTRUMENT - PART 1

(This area for Land Title Office use)

PAGE 1 of 7 pages

1. APPLICATION: (Name, address, phone number and signature of applicant, applicant's solicitor or agent)

RANDALL K. MCROBERTS
BARRISTER & SOLICITOR
P.O. BOX 1049
INVERMERE, B.C. VOA 1K0
(604) 342-6975

TERRA REGISTRY SERVICES LTD.

4/7

2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND:

(PID)

(LEGAL DESCRIPTION)

CT 013-506-722

Lot 1, District Lot 1092, Kootenay District, Plan 8385
except part included in Plan NEP 20703

CT SECURITY

SRW
PT PL NEP

3. NATURE OF INTEREST:

DESCRIPTION

DOCUMENT REFERENCE
(page and paragraph)

PERSON ENTITLED TO INTEREST

Statutory Right of Way
Section 214

Page 4 - Para A

Transferee

09/17/93 A7906 DT/PLAN 50.00
09/17/93 A7906 CHARGE 50.00

4. TERMS: Part 2 of this Instrument consists of (select one only)

- (a) Filed Standard Charge Terms D.F. No.
- (b) Express Charge Terms Annexed as Part 2
- (c) Release There is no Part 2 of this Instrument

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument. If (c) is selected, the charge described in Item 3 is released or discharged as a charge on the land described in Item 2.

5. TRANSFEROR(S):

LEO PATRICK KIENITZ and DIANNE YVONNE KIENITZ

6. TRANSFEREE(S): (Including postal address(es) and postal code(s))

DISTRICT OF INVERMERE, A Municipality having an office at and postal address of 709 - 10th Street, P.O. Box 339, Invermere, B.C. VOA 1K0.

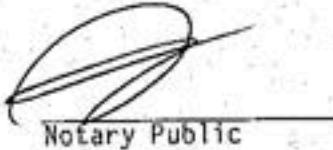
7. ADDITIONAL OR MODIFIED TERMS:

N/A

XG025632
XG025633

8. EXECUTION(S): This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Officer Signature(s)



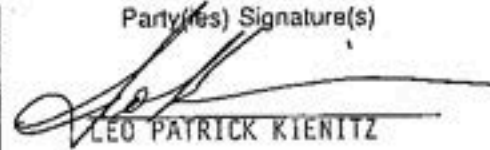
Notary Public

RANDALL K. McROBERTS
BARRISTER & SOLICITOR
P.O. Box 1049
613 - 12th Street
Invermere, British Columbia
VOA 1K0 (604) 342-6975

Execution Date

Y	M	D
93	07	29

Party(ies) Signature(s)


LEO PATRICK KIENTITZ
DIANNE YVONNE KIENTITZ

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1979, c. 116, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

* If space insufficient, enter "SEE SCHEDULE" and attach schedule in Form E.

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LAND TITLE ACT
FORM D

EXECUTIONS CONTINUED

Page 3

Officer Signature(s)

Execution Date

Transferor/Borrower/
Party Signature(s)

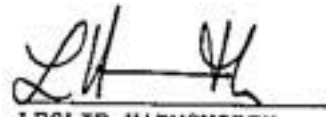

NOTARY PUBLIC

RANDALL K. McROBERTS
BARRISTER & SOLICITOR
P.O. Box 1049
613 - 12th Street
Invermere, British Columbia
VOA IK0 (604) 342-6975

Y	M	D
93	07	21

DISTRICT OF INVERMERE
by its authorized
signatory(ies)


WILLIAM LINDSAY


LESLIE HARMSWORTH
(ACTING MAYOR)

AS TO BOTH SIGNATURES

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C., 1979, c. 116, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

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XG025633

Part 2 of Terms of Instrument

Page 4

STATUTORY RIGHT OF WAY
Land Title Act - Section 214

THIS AGREEMENT is dated for reference the 29 day of July, 1993.

BETWEEN:

LEO PATRICK KIENITZ
DIANNE YVONNE KIENITZ
P.O. Box 2035
Invermere, British Columbia, V0A 1K0

(the "Grantors")

OF THE FIRST PART

AND:

DISTRICT OF INVERMERE
709 - 10th Street
P.O. Box 339
Invermere, British Columbia, V0A 1K0

(the "Municipality")

OF THE SECOND PART

WHEREAS:

- (a) The Grantors are the registered owners in fee simple of land within the District of Invermere, legally described as:

Parcel Identifier: 013-506-722
Lot 1, District Lot 1092, Kootenay District, Plan 8385
except part included in Plan NEP 20703
(the "Lands")

- (b) To facilitate the establishment, construction, operation, maintenance, repair, extension, addition, alteration, protection or improvement of one or more systems of:

- (i) sewer works and related fixtures and equipment for the collection and conveyance of sewage, and
- (ii) water works and related fixtures and equipment for the collection and distribution of water

(collectively the "Sewer Works and Water Works")

the Grantors have agreed to grant a statutory right of way to the Municipality.

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XG025633

Part 2 of Terms of Instrument

Page 5

- (c) The statutory right of way is necessary for the operation and maintenance of the Municipality's undertaking.

NOW THEREFORE in consideration of \$1.00 paid by the Municipality to the Grantors (the receipt and sufficiency whereof is acknowledged) and in consideration of the terms herein:

1. THE GRANTORS:

(1) Grant in perpetuity unto the Municipality, the full, free and uninterrupted right to lay down, install, construct, entrench, maintain, inspect, alter, remove, replace, bury, use, protect and otherwise establish and operate one or more systems of:

- (a) Sewer Works for the collection and conveyance of sewage, and
(b) Water Works for the collection and distribution of water,

in, upon, under and across that part or parts of the Lands within the area shown outlined in heavy black on the Reference Plan of a portion of Lot 1, District Lot 1092, Kootenay District, Plan 9319 and a portion of Lots 13, 14, 15 and 16, District Lot 7882, Kootenay District, Plan NEP **20703** deposited in the Nelson Land Title Office under section 99 (1)(e) of the Land Title Act and certified correct on the 31st day of May, 1993 by M. Bruce Paterson, B.C.L.S. (the "Right of Way Area").

(2) Agree that for the purposes of section 1(1), the Municipality by its employees, agents, workers, contractors and licensees is entitled at all times to enter the Lands with or without machinery, vehicles, equipment or materials and to remove soil and clear trees or other obstruction, as may be necessary or convenient in relation to the Sewer Works and Water Works.

(3) Will not erect, place, install, or maintain any building, structure, mobile home, concrete, asphalt or other surfacing, pipe, wire or other conduit on, over, or under any portion of the Right of Way Area that interferes with, damages, or obstructs access to, or is likely to cause harm to the Sewer Works and Water Works.

(4) Will not do nor knowingly permit to be done anything which will interfere with or injure the Sewer Works and Water Works and in particular will not carry out any blasting on or adjacent to the Right of Way Area without prior consent in writing of the Municipality, provided that such consent shall not be unreasonably withheld.

(5) Will not substantially diminish the soil cover over any of the Sewer Works and Water Works installed in the Right of Way Area and in particular, without limiting the generality of the foregoing, will not construct open drains or ditches along or across any of the Sewer Works and Water Works.

(6) Will upon reasonable request and at the cost of the Municipality do and execute all further lawful acts, deeds and assurances for the better assuring unto the Municipality of the rights hereby granted.

2. THE MUNICIPALITY:

(1) Will not bury any debris or rubbish of any kind in excavation or backfill and will remove shoring and like temporary structures as backfilling proceeds.

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Part 2 of Terms of Instrument

Page 6

(2) Will thoroughly clean the Lands of all rubbish and construction debris created or placed thereon by the Municipality.

(3) Will, as soon as weather and soil conditions permit, and so often as it may exercise its right of entry to the Lands, replace the surface soil as nearly as may be reasonably possible to the same condition as it was prior to such entry, in order to restore the natural drainage to such lands, provided however, that nothing herein contained shall require the Municipality to restore any trees or other surface growth, but the Municipality shall leave such lands in a condition which will not inhibit natural regeneration of such growth.

(4) Will, as far as reasonably possible, carry out all work in a proper and workerlike manner so as to do as little injury to the Lands as possible.

(5) Will make good, at its own expense, all damage or disturbances which may be caused to the surface soil of the Lands in the exercise of its rights hereunder.

3. THE PARTIES AGREE as follows:

(1) Notwithstanding any rule of law or equity to the contrary the Sewer Works and Water Works within the Right of Way Area shall remain the property of the Municipality and may be removed in whole or in part by the Municipality.

(2) In the event that the Municipality abandons the Sewer Works and Water Works or any part thereof, the Municipality may with the consent of the Grantors, leave the whole or any part of the Sewer Works and Water Works in place and will, at its expense, file the required documentation to release this Agreement and any related charge against the title to the Lands in the Nelson Land Title Office.

(3) No part of the title in fee simple to the Lands shall be vested in the Municipality under this Agreement and the Grantors may fully use and enjoy all of the Lands subject only to the rights and restrictions herein.

(4) The covenants herein shall run with the land and none of the covenants herein shall be personal or binding upon the Grantors, save and except during the Grantors' ownership of the Lands.

(5) If at the date hereof the Grantors are not the sole registered owners of the Lands, this Agreement shall nevertheless bind the Grantors to the full extent of its interest in fee simple, and this Agreement shall extend to any after acquired interest.

(6) This Agreement shall enure to the benefit of and be binding upon the parties and their respective heirs, administrators, executors, successors, and assigns.

(7) This Agreement is a Statutory Right of Way as provided for in section 214 of the Land Title Act of British Columbia.

IN WITNESS WHEREOF the parties have caused their hands and seals to be affixed and caused its corporate seal to be affixed in the presence of its duly authorized officers as of the day and year first above written.


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XG025633

ENO

Part 2 of Terms of Instrument

Page 7

SIGNED, SEALED and DELIVERED by
LEO PATRICK KIENITZ in the presence
of:

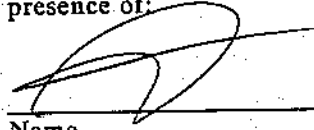

Name


LEO PATRICK KIENITZ

Address **RANDALL K. McROBERTS**
BARRISTER & SOLICITOR
P.O. Box 1049
613 - 12th Street
Invermere, British Columbia
VOA 1K0 (604) 342-6975

Occupation

SIGNED, SEALED and DELIVERED by
DIANNE YVONNE KIENITZ in the
presence of:

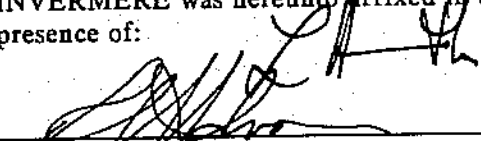

Name


DIANNE YVONNE KIENITZ

Address **RANDALL K. McROBERTS**
BARRISTER & SOLICITOR
P.O. Box 1049
613 - 12th Street
Invermere, British Columbia
VOA 1K0 (604) 342-6975

Occupation

The Corporate Seal of the DISTRICT OF
INVERMERE was hereunto affixed in the
presence of:


MAYOR


CLERK

c/s

END OF DOCUMENT

KAMLOOPS LAND TITLE OFFICE

DECLARATION(S) ATTACHED
CA1641649

LAND TITLE ACT
FORM C (Section 233) CHARGE

Jul-05-2010 09:50:31.001

PAGE 1 OF 3 PAGES

GENERAL INSTRUMENT - PART 1 Province of British Columbia

Your electronic signature is a representation that you are a subscriber as defined by the Land Title Act, RSBC 1996 c.250, and that you have applied your electronic signature in accordance with Section 168.3, and a true copy, or a copy of that true copy, is in your possession.

Randall Keith McRoberts HLGZC3	Digitally signed by Randall Keith
	McRoberts HLGZC3
	DN: c=CA, ou=Randall Keith
	McRoberts HLGZC3, o=Lawyer,
	ou=Verify ID at www.juricert.com/ LKUP:cfm?id=HLGZC3 Date: 2010.06.30 08:49:59 -08'00'

1. APPLICATION: (Name, address, phone number of applicant, applicant's solicitor or agent)

Randall K. McRoberts Law Corporation

Randy McRoberts, Barrister and Solicitor

613-12th Street, P.O. Box 1049

Invermere

BC VOA 1K0

Telephone: (250) 342-6975

LTO # 10809

File #11368

Document Fees: \$71.90

Deduct LTSA Fees? Yes

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:

[PID]

[LEGAL DESCRIPTION]

013-506-722

LOT 1 DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN 8385, EXCEPT PART INCLUDED IN PLAN NEP20703

STC? YES

3. NATURE OF INTEREST

CHARGE NO.

ADDITIONAL INFORMATION

Restrictive Covenant

4. TERMS: Part 2 of this instrument consists of (select one only)

(a) Filed Standard Charge Terms D.F. No.

(b) Express Charge Terms Annexed as Part 2

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument.

5. TRANSFEROR(S):

LEO PATRICK KIENITZ AND DIANNE YVONNE KIENITZ

6. TRANSFEREE(S): (including postal address(es) and postal code(s))

DISTRICT OF INVERMERE

P.O. BOX 339

INVERMERE

BRITISH COLUMBIA

VOA 1K0

CANADA

7. ADDITIONAL OR MODIFIED TERMS:

N/A

8. EXECUTION(S): This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Officer Signature(s)

Execution Date

Transferor(s) Signature(s)

RANDALL K. MCROBERTS
Barrister & Solicitor
P.O. Box 1049
613-12th Street
Invermere, B.C.
VOA 1K0
250-342-6975

Y	M	D
10	06	22

LEO PATRICK KIENITZ

DIANNE YVONNE KIENITZ

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

TERMS OF INSTRUMENT—PART 2

SECTION 219 COVENANT

BETWEEN:

LEO PATRICK KIENITZ and DIANNE YVONNE KIENITZ

(the “Grantor”)

OF THE FIRST PART

AND:

DISTRICT OF INVERMERE

(the “Grantee”)

OF THE SECOND PART

WHEREAS:

- A. The Grantor is the registered owner in fee simple of the lands situate in the Province of British Columbia, more particularly known and described as:

Lot 1 District Lot 1092 Kootenay District Plan 8385, Except Part Included
in Plan NEP20703

(hereinafter referred to as the “Lands”);

- B. The Grantor proposes to subdivide the Lands and as a condition to the approval of the subdivision, the Grantee requires this Covenant to be registered against the Lands restricting the height of any future buildings to be built on the Lands;
- C. Section 219 of the Land Title Act provides that there may be registered as a charge against the title to any land a covenant in favour of a municipality in respect of the use of the land or providing that such land is not to be built upon except in accordance with the covenant

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the sum of ONE (1.00) DOLLAR of lawful money of Canada and other good valuable consideration paid by the Grantee to the Grantor, the receipt of which is hereby acknowledged, the Grantor does hereby covenant and agree with the Grantee as follows:

1. The Grantor hereby covenants and agrees with the Grantee as a covenant in favor of the Grantee pursuant to Section 219 of the Land Title Act, it being the intention and agreement of the Grantor that the provisions hereof shall be annexed to and shall run with and be a charge upon the Lands, that from and after the date hereof no building shall be constructed or built upon the Lands with a height exceeding 7.5 metres as determined by the Grantees Zoning Bylaw No. 1145, dated as of November 2002.
2. The Grantor shall do or cause to be done all things and execute or cause to be executed all documents and give such further and other assurance which may be reasonably necessary to give proper effect to the intent of this Agreement.
3. Whenever the singular or masculine or neuter is used herein, the same shall be construed as including the plural, feminine, body corporate or politic unless the context requires otherwise.
4. If any section or any part of this Agreement is found to be illegal or unenforceable, then such sections or parts shall be considered to be separate and severable from this Agreement and the remaining sections or parts of this Agreement, as the case may be, shall be unaffected thereby and shall remain and be enforceable parts or sections had never been included in this Agreement.
5. This agreement shall be interpreted according to the laws of the Province of British Columbia.
6. Where there is a reference to an enactment of the Province of British Columbia in this Agreement, that reference shall include a reference to any subsequent enactment of the Province of British Columbia of like effect, and unless the context otherwise requires, all statutes referred to herein are enactments of the Province of British Columbia.

END OF DOCUMENT

**LAND TITLE ACT
FORM DECLARATION**Related Document Number: **CA1641649**

PAGE 1 OF 1 PAGES

Your electronic signature is a representation that: you are a subscriber as defined by the Land Title Act, RSBC 1996, C.250, the original or where designated by the Director, a true copy of the supporting document is in your possession and that the summary of the material facts set out in this declaration accurately reflects the material facts set out in each supporting document and if a supporting document is evidenced by an imaged copy the material facts of the supporting document are set out in the imaged copy of it attached. Each term used in the representation and declaration set out above is to be given the meaning ascribed to it in Part 10.1 of the Land Title Act.

Randall Keith McRoberts HLGZC3	Digitally signed by Randall Keith McRoberts HLGZC3 DN: c=CA, cn=Randall Keith McRoberts HLGZC3, o=Lawyer, ou=Verify.ID at www.juricert.com/ LKUP.cfm?id=HLGZC3 Date: 2010.07.09 11:11:45 -06'00'
---	--

I, Randall K. McRoberts, Barrister and Solicitor, declare that:

On document CA1641649

- 1) Under #3 Nature of Interest; I selected that this was a "Restrictive Covenant", rather than a "Covenant".
- 2) On the Terms of Instrument, (Page 3 of document CA1641649, under #1), I made reference to the "Grantees Zoning Bylaw No. 1145.

Please amend the the document by;

- a) Under #3 Nature of Interest, deleting "Restrictive Covenant" and replacing it with "Covenant".
- b) On the Terms of Instrument (Page 3 of document CA1641649, under #1) deleting the phrase "as determined by the Grantees Zoning Bylaw No.1145, dated as of November 2002."

I make this declaration, based on personal information.

Randall K. McRoberts

NOTE:

A Declaration cannot be used to submit a request to the Registrar for the withdrawal of a document.

Fee Collected for Document: \$32.70



Land Title Act
Charge
 General Instrument - Part 1

KAMLOOPS LAND TITLE OFFICE
 AUG 16 2022 10:55:15.001
CB155429-CB155430

1. Application

Document Fees: \$152.64

**Stephanie White, agent for
 British Columbia Hydro and Power Authority
 12th Floor, 333 Dunsmuir Street
 Vancouver BC V6B 5R3
 (604) 623-4241**

5 July 2022
 File: 153-1602.0(X242)
 WT: 1221 023
 TRIBUE (3m)

2. Description of Land

PID/Plan Number	Legal Description
013-506-722	LOT 1 DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN 8385, EXCEPT PART INCLUDED IN PLAN NEP20703

3. Nature of Interest

Type	Number	Additional Information
STATUTORY RIGHT OF WAY		Transferee (BC Hydro)
STATUTORY RIGHT OF WAY		Transferee (TELUS)

4. Terms

Part 2 of this instrument consists of:
(a) Filed Standard Charge Terms D F Number: **ST210004**
 Includes any additional or modified terms.

5. Transferor(s)

1345408 B.C. LTD., NO.BC1345408

6. Transferee(s)

BRITISH COLUMBIA HYDRO AND POWER AUTHORITY
 333 DUNSMUIR STREET
 VANCOUVER BC V6B 5R3

TELUS COMMUNICATIONS INC. BC1101218
 #1-15079-64TH AVENUE
 SURREY BC V3S 1X9

7. Additional or Modified Terms

SEE SCHEDULE



Land Title Act
Charge
General Instrument – Part 1

8. Execution(s)

This instrument creates, assigns, modifies, enlarges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Witnessing Officer Signature

Execution Date

Transferor / Transferee / Party Signature(s)

YYYY-MM-DD

1345408 B.C. LTD.
by its Authorized Signatory(ies)

2022-07-09

PRINT NAME: Christine Scott

Brittany Morrow
Lawyer

Columbia Valley Law Corporation
Box 639 - 1309 7th Avenue
Invermere BC V0A 1K0

Telephone: (250) 342-6904
E-Mail: brittany@columbialegal.ca
as to Christine Scott's signature

Officer Certification

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

Electronic Signature

Your electronic signature is a representation that you are a designate authorized to certify this document under section 168.4 of the *Land Title Act*, RSBC 1996 c.250, that you certify this document under section 168.41(4) of the act, and that an execution copy, or a true copy of that execution copy, is in your possession.

Alan Ives Chim
GBW49K

Digitally signed by
Alan Ives Chim GBW49K
Date: 2022-08-16
10:14:13 -07:00

SCHEDULE

PAGE 1 OF 1

7. ADDITIONAL OR MODIFIED TERMS:

7.1 The Standard Charge Terms ST210004 are amended by deleting the definition of “Area of the Works” in section 1.1 in its entirety and inserting the following therefor:

“1.1 **“Area of the Works”** means that portion of the Land located within 3 metres of either side of the centre of the alignment of the Works;”

7.2 The Standard Charge Terms ST210004 are amended by deleting the definition of “Works” in section 1.1 in its entirety and inserting the following therefor:

“1.1 **“Works”** means:

- (a) above ground, pad-mounted or underground transformers (including associated pads), underground wires and cables (including associated connectors), switchgear, controlgear, kiosks, the Underground Civil Works, all related fittings and components, including any associated protective installations, in any combination and using any type of technology or means, necessary or convenient for the purposes of transmitting and distributing electricity and for the purpose of communications, all as relating to the rights and responsibilities of BC Hydro in connection with BC Hydro’s distribution system; and
- (b) above ground, pad-mounted or underground transformers (including associated pads), fibre optic cables, underground wires and cables (including associated connectors), switchgear, controlgear, kiosks, the Underground Civil Works, all related fittings and components, including any associated protective installations, in any combination and using any type of technology or means, necessary or convenient for the purposes of telecommunications and data transmission, all as relating to the rights and responsibilities of TELUS in connection with TELUS’s telecommunication and data transmission system.”

END OF DOCUMENT

DECLARATION(S) ATTACHED



Land Title Act
Charge
General Instrument - Part 1

KAMLOOPS LAND TITLE OFFICE
MAR 03 2023 09:51:08.003
CB502444

1. Application

Document Fees: \$76.32

**Columbia Valley Law Corporation
Barristers & Solicitors
PO Box 639, 1309 7th Ave.
Invermere BC V0A 1K0
250-342-6904**

2. Description of Land

PID/Plan Number	Legal Description
013-506-722	LOT 1 DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN 8385, EXCEPT PART INCLUDED IN PLAN NEP20703 AND EPP120442

3. Nature of Interest

Type	Number	Additional Information
RESTRICTIVE COVENANT		

4. Terms

Part 2 of this instrument consists of:
(b) Express Charge Terms Annexed as Part 2

5. Transferor(s)

1345408 B.C. LTD., NO.1345408

6. Transferee(s)

**DISTRICT OF INVERMERE
MUNICIPAL HALL
BOX 339, 914 -8TH AVENUE
INVERMERE BC V0A 1K0**

7. Additional or Modified Terms



Land Title Act
Charge
General Instrument - Part 1

8. Execution(s)

This instrument creates, assigns, modifies, enlarges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Witnessing Officer Signature	Execution Date	Transferor / Transferee / Party Signature(s)
<p>_____</p> <p>Katelynn O'Neill Barrister & Solicitor Columbia Valley Law Corporation PO Box 639, 1309 - 7th Ave. Invermere BC VOA 1 K0</p>	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;"> <p>YYYY-MM-DD</p> <p>2023-03-01</p> </div>	<p>1345408 B.C. LTD. By their Authorized Signatory</p> <p>_____</p> <p>Christine Scott</p>

Officer Certification

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

Witnessing Officer Signature	Execution Date	Transferor / Transferee / Party Signature(s)
<p>_____</p> <p>Katelynn O'Neill Barrister & Solicitor Columbia Valley Law Corporation PO Box 639, 1309 - 7th Ave. Invermere BC VOA 1 K0</p>	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;"> <p>YYYY-MM-DD</p> <p>2023-03-03</p> </div>	<p>District of Invermere By their Authorized Signatory</p> <p>_____</p> <p>Rory Hromadnik</p>

Officer Certification

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

Electronic Signature

Your electronic signature is a representation that you are a designate authorized to certify this document under section 168.4 of the *Land Title Act*, RSBC 1996 c.250, that you certify this document under section 168.41(4) of the act, and that an execution copy, or a true copy of that execution copy, is in your possession.

<p>Katelynn Marie O'Neill EQ3CQF</p>	<p>Digitally signed by Katelynn Marie O'Neill EQ3CQF Date: 2023-03-03 09:47:52 -08:00</p>
---	--

TERMS OF INSTRUMENT—PART 2
SECTION 219 COVENANT

THIS AGREEMENT dated for reference January 26, 2023, is

BETWEEN:

1345408 B.C. LTD.
PO Box 639
Invermere, B.C., V0A 1K0

(the "Owner")

AND:

DISTRICT OF INVERMERE
Municipal Hall
Box 339, 914 - 8th Avenue
Invermere, B.C., V0A 1K0

(the "Municipality")

WHEREAS:

- A. The Owner is the registered owner in fee simple of the lands in Invermere, British Columbia, legally described as LOT 1 DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN 8385, EXCEPT PART INCLUDED IN PLAN NEP20703 AND EPP120442; PID: 013-506-722 (the "**Remainder Lot**");
- B. The Municipality is a municipality incorporated pursuant to the laws of the Province of British Columbia;
- C. The Owner has provided the Municipality with the report of the engineer, which report is attached to this Agreement as Schedule A (the "**Report**");
- D. Page 4 of the Report details a geotechnical covenant area, outlined in purple and pink (the "**Geotechnical Covenant Area**");
- E. Section 219 of the *Land Title Act* provides that a covenant, whether of a negative or positive nature, in respect of land that is not to be built on, used, or subdivided except in accordance with the covenant, may be granted in favour of a municipality and may be registered as a charge against title to that land; and

F. The Owner wishes to grant, and the Municipality accepts, the section 219 covenant contained in this Agreement over the Geotechnical Covenant Area on the Remainder Lot.

THIS AGREEMENT is evidence that in consideration of payment of \$1.00 by the Municipality to the Owner (the receipt and sufficiency of which is acknowledged by the Owner), and in consideration of the promises exchanged below, the Owner covenants and agrees with the Municipality as follows:

1. The Owner shall not place, install, construct, or maintain any embankment, fill, improvement, building, or any structure of any kind in the Geotechnical Covenant Area on the Remainder Lot, except in accordance with the Report or an additional geotechnical report conducted by a Geotechnical P. Engineer on the Geotechnical Covenant Area on the Remainder Lot.
2. The Owner will reimburse the Municipality for any expense that may be incurred by the Municipality as a result of a breach of a covenant under this Agreement by the Owner.
3. The Owner and the Municipality agree that the enforcement of this Agreement will be entirely within the discretion of the Municipality and that the execution and registration of this covenant against the title to the Remainder Lot will not be interpreted as creating any duty on the part of the Municipality to the Owner or to any other person to enforce any provision of this Agreement.
4. The Owner releases and must indemnify and save harmless, the Municipality, its elected and appointed officials and employees, from and against all liability, actions, causes of action, claims, damages, expenses, costs, debts, demands or losses suffered or incurred by the Owner, or anyone else, arising from the granting or existence of this Agreement, from the performance by the Owner of this Agreement, or any default of the Owner under or in respect of this Agreement.
5. The parties agree that this Agreement creates only contractual obligations and obligations arising out of the nature of this document as a covenant under seal. The parties agree that no tort obligations or liabilities of any kind exist between the parties in connection with the performance of, or any default under or in respect of, this Agreement. The intent of this section is to exclude tort liability of any kind and

to limit the parties to their rights and remedies under the law of contract and under the law pertaining to covenants under seal.

6. Every obligation and covenant of the Owner in this Agreement constitutes both a contractual obligation and a covenant granted under s. 219 of the *Land Title Act* in respect of the Remainder Lot and this Agreement burdens the Remainder Lot and runs with it and binds the successors in title to the Remainder Lot. This Agreement burdens and charges all of the Remainder Lot and any parcel into which it is subdivided by any means and any parcel into which the Remainder Lot is consolidated. The Owner is only liable for breaches of this Agreement that occur while the Owner is the registered owner of the Remainder Lot.
7. The parties agree that this Agreement shall not be modified or discharged except in accordance with the provisions of Section 219 of the *Land Title Act*.
8. An alleged waiver of any breach of this Agreement is effective only if it is an express waiver in writing of the breach in respect of which the waiver is asserted. A waiver of a breach of this Agreement does not operate as a waiver of any other breach of this Agreement.
9. If any part of this Agreement is held to be invalid, illegal, or unenforceable by a court having the jurisdiction to do so, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.
10. This Agreement shall be interpreted according to the laws of the Province of British Columbia.
11. Where there is a reference to an enactment of the Province of British Columbia in this Agreement, that reference shall include a reference to any subsequent enactment of the Province of British Columbia of like effect, and unless the context otherwise requires, all statutes referred herein are enactments of the Province of British Columbia.
12. This Agreement is the entire agreement between the parties regarding its subject.
13. This Agreement binds the parties to it and their respective successors, heirs, executors and administrators.

14. The parties must do everything reasonably necessary to give effect to the intent of this Agreement, including execution of further instruments.
15. This Agreement may be executed in counterpart with the same effect as if all parties had signed the same document. Each counterpart shall be deemed to be an original. All counterparts shall be construed together and shall constitute one and the same Agreement. This Agreement may be delivered by electronic means.
16. No rule of construction shall apply to the disadvantage of the Owner on the basis that the Owner has prepared this Agreement.
17. By executing and delivering this Agreement each of the parties intends to create both a contract and a deed executed and delivered under seal.

IN WITNESS WHEREOF the parties acknowledge that this Agreement has been duly executed and delivered by the parties executing Part 1 of Form C attached to and forming part of this Agreement.

Schedule A— Report



Generation Homes

Retaining Wall Design

PINETREE MEADOWS

Invermere, BC.

LOT 1, PLAN NEP8385, DISTRICT LOT 1092, KOOTENAY LAND DISTRICT, EXCEPT PLAN NEP20703



SITE INFORMATION	
SITE NAME	PINETREE MEADOWS
CLIENT	GENERATION HOMES
STRUCTURE	PERIMETER WALL 2128 15TH AVE INVERMERE, BC
DESIGN SUMMARY	APPROX 90 M LONG TENSAR SIERRASCAPE MSE WALL. HEIGHT VARIES FROM 2 THROUGH 14 COURSES. DESIGN LIFE OF 75 YEARS

DRAWING SCHEDULE	
PAGE No.	DESCRIPTION
1	GENERAL NOTES
2	CONSTRUCTION DETAIL 1
3	CONSTRUCTION DETAIL 2
4	PROPOSED PLAN VIEW
5	PROPOSED STRUCTURE SECTION VIEW
6	SECTION VIEW 1
7	SECTION VIEW 2
8	SECTION VIEW 3
9	SECTION VIEW 4
10	SECTION VIEW 5
11	PROPOSED WALL ALIGNMENT
12	PLAN AND PRO 0+00.00 TO 0.20.00
13	PLAN AND PRO 0+20.00 TO 0.40.00
14	PLAN AND PRO 0+80.00 TO 0.60.00
15	PLAN AND PRO 0+60.00 TO 0.78.39

ISSUED FOR PERMITTING

Prepared By:



304 Industrial Road G, Cranbrook, BC V1C 7J4
 Tel. 877-426-5300 ext. 251 | Cell: 250-421-1141 | Fax 250-426-5311
www.vastresource.ca
 Engineers and Geoscientists of British Columbia Permit to Practice Number: 1000121

PLOT DATE: February 17, 2023

Materials and Specifications:

Retaining Wall System: Tensar SierraScape MSE Retaining Wall System
 Basket: Tensar SierraScape Facing Unit With Stone Facing
 Dimensions: Height - 457 mm
 Depth - 457 mm
 Width - 2,835 mm
 Face Area: 1.296 m²

- Batter: 50 mm per course; 6.3 degrees
- Facing Fill: 50 mm to 100 mm clear washed stone or equivalent pre-approved by Geotechnical Engineer.
- Compacted Fill: 75mm minus pit run gravel and sand or crushed gravel, < 5% passing the 0.075mm sieve. All backfill to comprise well-graded gravel and sand meeting specifications as Select Granular Sub-Base (SGSB) or pre-approved material by the Geotechnical Engineer.
- Backfill material is to be placed in 200mm (loose thickness) lifts and compacted with repeated passes of a vibrating drum roller or vibrating plate compactor. Use care when compacting close to the facing units to avoid displacement or excessive rotation. Target density is 100% Standard Proctor Maximum Dry Density (SPMDD). Moisture content not to exceed Optimum value by more than 2%. Additional field density testing may be required by the Engineer based on review of the previous test results or observed materials behaviors and placement methods.
- Native Subgrade: Silt/Clay, some Gravel, trace Sand (ML)
- Basket Base: 100 mm (min) of 25 mm crushed gravel
- Basket Placement: Set and place in accordance with manufacturer's guidelines.
- Subgrade soils to be clear of all organics, vegetation, fill, and other deleterious materials. Base surfaces to be leveled and proofed with several passes of a vibrating plate plate or drum roller. Loose or soft materials to be removed and replaced with crushed gravel, and compacted in place.
- Geogrid: Tensar UX1500 or approved equivalent, Ultimate Tensile Strength >= 114 kN/m and Long Term Design Tensile Strength > 41 kN/m.
- Geogrid to be set with High Strength direction perpendicular to the wall face at lengths and elevations as shown. Geogrids are not to be spliced or otherwise joined. Geogrid to be stretched taut after placement of each facing unit. Hold geogrid in place with stakes or pins, or use other means when placing gravel. Backfill is to be placed starting close to the wall, and spread back from there to avoid creating puckering or slack.
- Longer geogrid length for higher wall configuration is to be used within one metre of transitions or steps.
- Geogrid length is measured from the wire form connection point to the thick transverse elements. Geogrid length does not include the loose "tails".
- Where geogrids will overlap at outside wall corners, the geogrid layers are to be separated by min. 150 mm of compacted gravel.
- Geotextile: Nilex NW 67, Nilex 4545, Armtex 180, TC Mirafi 160N, or a pre-approved equivalent.
- Toe Drain: Piping, 100 mm perforated PVC, CSA B-182.1, perforations to be installed facing down, pipe to be fully encompassed by 19 - 25 mm clear washed gravel and wrapped in non woven geotextile
- Toe drain clean-outs and discharge points to be installed as per Geotechnical Engineer's Recommendations
- Install fence or guardrail at entire wall perimeter as per BC Building Code.
- Field Reviews by the Geotechnical Engineer are required to review the bearing surface prior to the placement of the first row of blocks, to review the placement of the first row of blocks, placement of geogrid, placement and compaction of backfill material, and approval of backfill material and geogrid.
- Field Review Schedule will be established following the issue of Issued for Construction Drawings.
- This is the conceptual design for the proposed retaining wall heights. The layout and location of the walls and the location and transition between different wall heights, corners, and curves is the responsibility of the contractor.
- This conceptual design assumes that the elevation of the first row of blocks is variable along the entire wall. The elevation at the top of the wall is variable along the length of the wall.

References

- Clapp, Douglas. March 1, 2022. "Geotechnical Site Investigation - Revised March 1, 2022 Proposed Multi-Family Units, 2128 15th/ Avenue District of Invermere, BC" Groundtech Engineering Ltd.
- Clapp, Douglas. May 27, 2022. "Geohazard Assessment Proposed Four-Lot Subdivision Pinetree Drive District of Invermere, BC" Groundtech Engineering Ltd.

Wall Design:

- Design of this retaining wall has been completed in accordance with EGBC Professional Practice Guidelines - Retaining Wall Design (February 25, 2022)..
- Design does not account for installation on bedrock. If bedrock is encountered during construction design will be modified to accommodate site conditions.
- Sloping and excavation are to be completed in accordance with WorkSafe BC Part 20 Guidelines or under direction of Geotechnical Engineer.
- Toe drain clean out and discharge points are to be established prior to construction in accordance with Civil Engineering Plan
- Static global stability exceeds a Factor of Safety of 1.5, and exceeds 1.1 under seismic conditions.
- Wall design meets or exceeds acceptable factors of safety in relation to soil bearing capacity, overturning, sliding at base, slip on reinforcement and reinforcement pull out under static and seismic conditions under anticipated surcharge and point loads.
- Bearing Capacity: Maximum static design load of 255 kPa for 15 course walls section. Assumed wall base width of 6.46 m provides allowable bearing capacity of 500 kPa and Serviceability Limit State of 335 kPa. Bearing details for shorter wall sections can be provided by the Geotechnical Engineer upon request
- Seismic: PGA for 2% probability of exceedance in 50 years is $K_v = K_h = 0.168 g$
- A preliminary estimated Geotechnical Setback Boundary has been illustrated within this design, final setback location is to be determined and verified by the Geotechnical Engineer during construction.
- Design is substantially complete, construction supervision and field review is required. Design may be subject to revision based on actual site conditions encountered during construction

Soil Properties	Phi' (Deg)	Cu (kN/m)	Unit Weight (kN/m)
Reinforced Fill	35°	0	21.0
Retained Fill	30°	2	19.0
Native Subgrade Soil	30°	2	19.0
Engineered Foundation Fill	35°	0	21.0

Surcharge:
 Vehicle point Loads: BCL625 loading, 70 kN/m²

Tensar UX1500 Uniaxial Geogrid Reinforcement	
Number of Courses (Includes one full buried course)	Embedment Distance (m)
2-3	1.0
4-5	2.0
6-8	3.0
9-12	4.0
13-14	5.5
15	6.0

ISSUED FOR PERMITTING



SITE: PINETREE MEADOWS
 CLIENT: GENERATION HOMES
 STRUCTURE NAME: PERIMETER WALL

REV	DATE	REVISIONS	INITIAL
2	23/02/17	ISSUED FOR PERMITTING	DX4
2	23/01/27	ISSUED FOR CLIENT REVIEW	DX4
1	22/12/21	ISSUED FOR CLIENT REVIEW	DX4
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4

DRAWING TITLE: CONSTRUCTION NOTES	
DESIGNED BY: S. BENDIG P.ENG	REVIEWED BY: E. KLEINDIENST P.ENG
FILE NUMBER: 22.0144.00.001	DRAWING FILE NAME: 02_WALLDESIGN.DWG
	PJ 01/15

Tensar

SIERRASCAPE STANDARD DETAILS

The electronic data file(s) ("Data Files") contained herein is/are provided by Tensar International ("TIC") expressly subject to the following terms and conditions:

While TIC has used due care and diligence to produce the Data Files, the person or entity acquiring the Data Files ("Receiver") recognizes that such Data Files may not include all information contained on the hard copy of the final report, Drawings, and/or Project Manual that contain TIC's professional engineering stamp. The Data Files have not been submitted for project owner review nor approved for use.

The hard copy of the final report, Drawings, and/or Project Manual containing the professional engineering stamp shall take precedence over the Data Files. TIC transfers these Data Files as-is. TIC makes no express or implied warranty as to the fitness or suitability of Data Files for any particular purpose whatsoever.

TIC makes no expressed or implied warranty as to the accuracy of data in the Data Files. The information contained on the electronic media was delivered by TIC to the Receiver. Receiver agrees that Data Files shall not be used on other projects nor transferred to any other party except by written agreement with TIC and with appropriate compensation and legal protection provided to TIC.

No other warranty or representation concerning the Data Files is made by TIC, and its use by any other person is solely at such person's risk.

TIC shall not be liable for claims, liabilities or losses arising out of or connected with (1) modification or misuse by Receiver or anyone authorized by Receiver of Data Files; or (2) decline in accuracy or readability of Data Files; or (3) any use by Receiver, or anyone authorized by Receiver, of Data Files for additions to this project, unless authorized in writing by TIC. Receiver agrees to defend and indemnify TIC for damages and liability resulting from modification or misuse of Data Files.

TIC disclaims any and all liability whatsoever to third parties who use the Data Files without authorization from TIC.

Any such unauthorized use shall be at the third party's sole risk and expense.

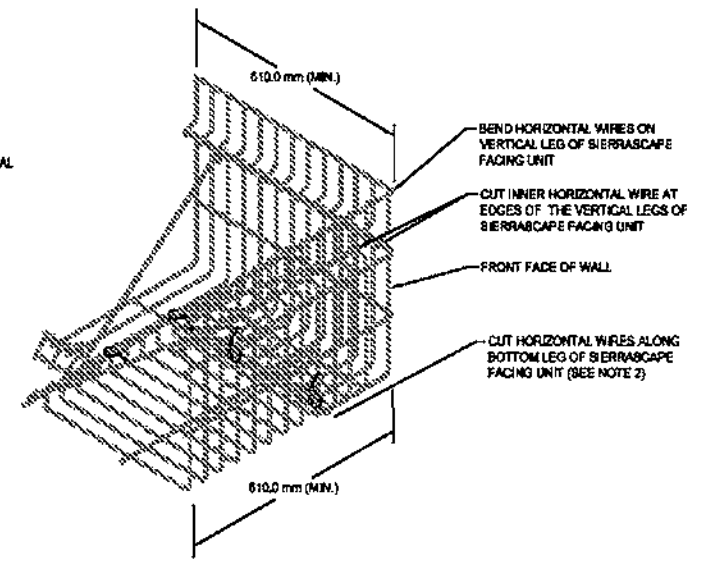
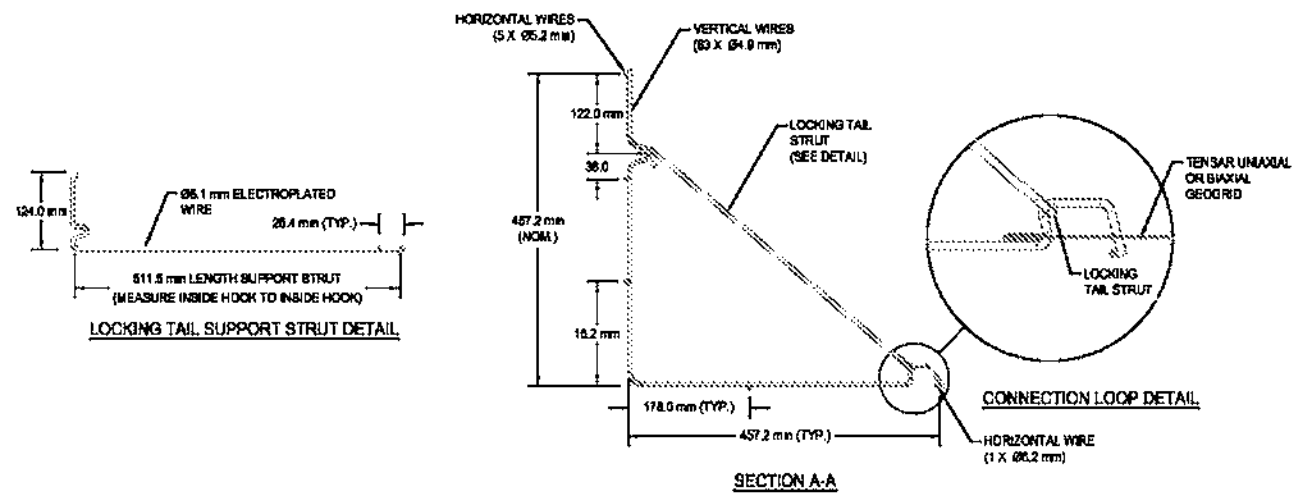
It shall be Receiver's responsibility to determine the compatibility of Data Files with the Receiver's computer software and hardware. Use of Data Files constitutes the agreement of the Receiver (or any other user) to the foregoing terms and conditions.

TIC's total liability to Receiver or anyone authorized by Receiver for any and all injuries, claims, losses, expenses or damages whatsoever from any cause or causes, including, but not limited to, TIC's negligence, strict liability or breach of contract or breach of warranty, shall not exceed the total amount of \$0.00.

DATA FILE DISCLOSURE



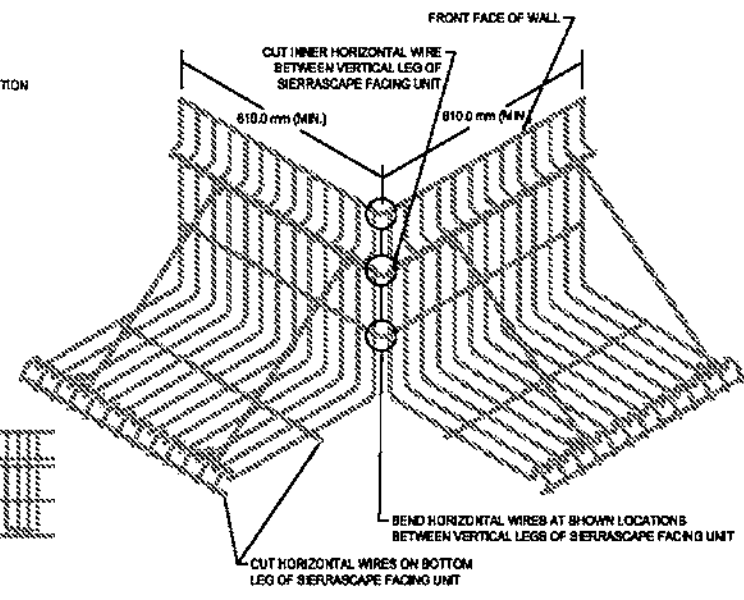
ISSUED FOR PERMITTING



- NOTE:
- SEE SIERRASCAPE FACING UNIT DETAIL FOR FACING MATERIALS AND DIMENSIONS.
 - CUT BOTTOM LEG FROM CONNECTION LOOPS TO SECOND HORIZONTAL WIRE TO ALLOW UNCUT LEG TO OVERLAP WHEN BENDING. SECURE WITH HOOD WIRE OR ZIP TIE.

SIERRASCAPE OUTSIDE CORNER UNIT

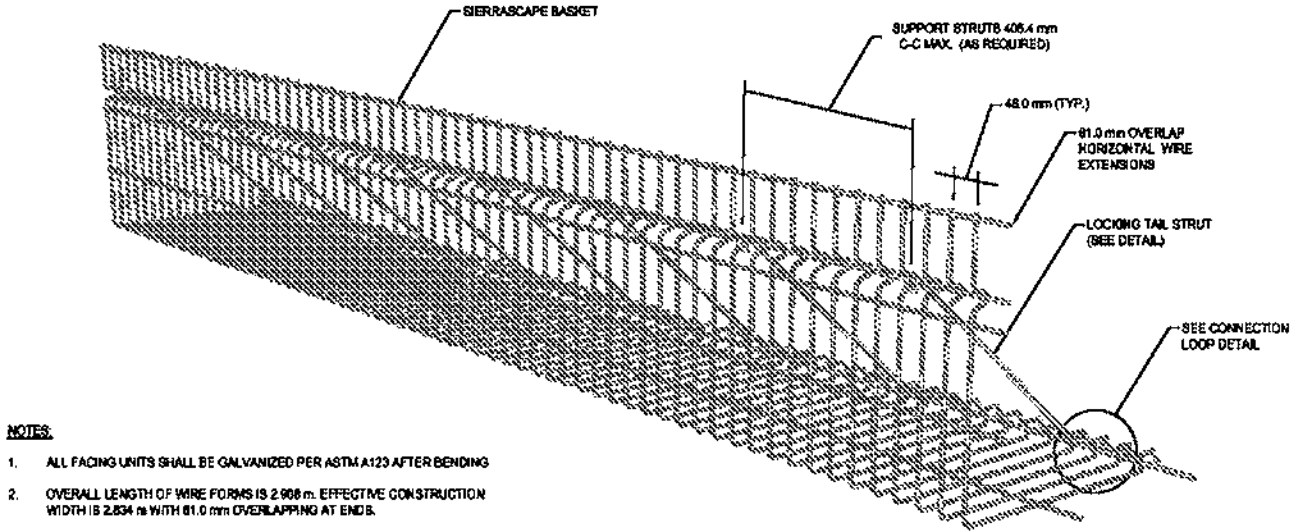
NOT TO SCALE



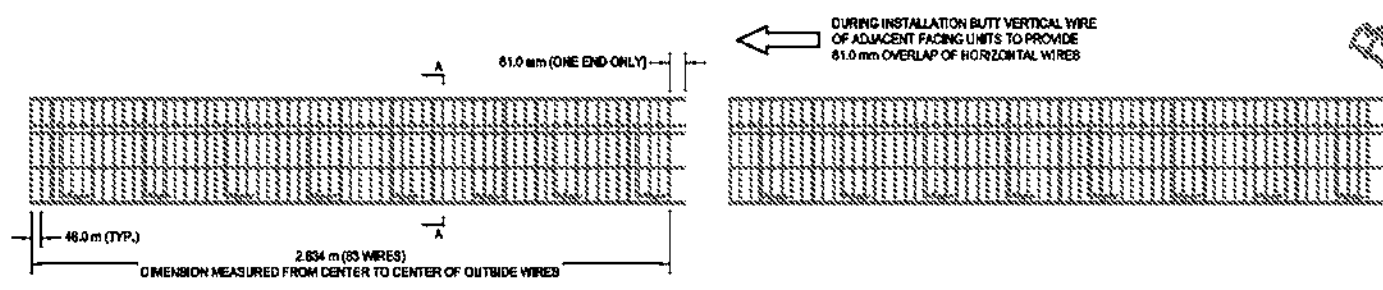
NOTE: SEE SIERRASCAPE FACING UNIT DETAIL FOR FACING MATERIALS AND DIMENSIONS

SIERRASCAPE INSIDE CORNER UNIT

NOT TO SCALE



- NOTES:
- ALL FACING UNITS SHALL BE GALVANIZED PER ASTM A123 AFTER BENDING.
 - OVERALL LENGTH OF WIRE FORMS IS 2.908 m. EFFECTIVE CONSTRUCTION WIDTH IS 2.834 m WITH 61.0 mm OVERLAPPING AT ENDS.



SIERRASCAPE FACING UNIT

NOT TO SCALE

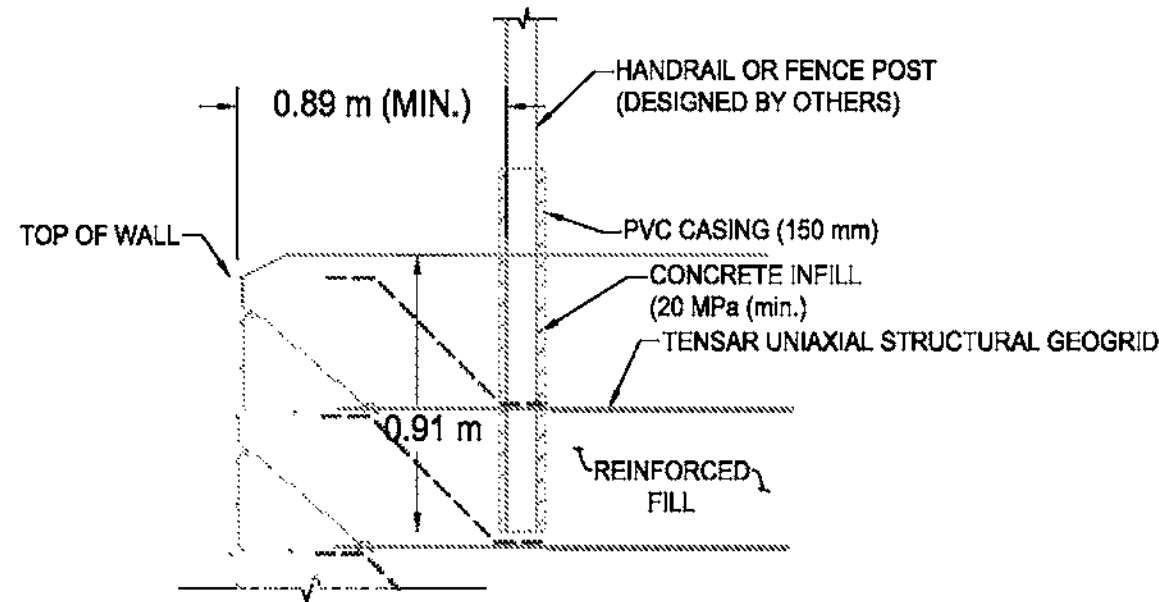


SITE: PINETREE MEADOWS
CLIENT: GENERATION HOMES
STRUCTURE NAME: PERIMETER WALL

REV.	DATE	REVISIONS	INITIAL
2	23/02/17	ISSUED FOR PERMITTING	DX4
2	23/01/27	ISSUED FOR CLIENT REVIEW	DX4
1	22/12/21	ISSUED FOR CLIENT REVIEW	DX4
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4

DRAWING TITLE:
CONSTRUCTION DETAIL 1
DESIGNED BY:
S. BENDIG P.ENG
FILE NUMBER:
22.0144.00.001

REVIEWED BY:
E. KLEINDIENST P.ENG
DRAWING FILE NAME:
02_WALLDESIGN.DWG
PJ
02/15

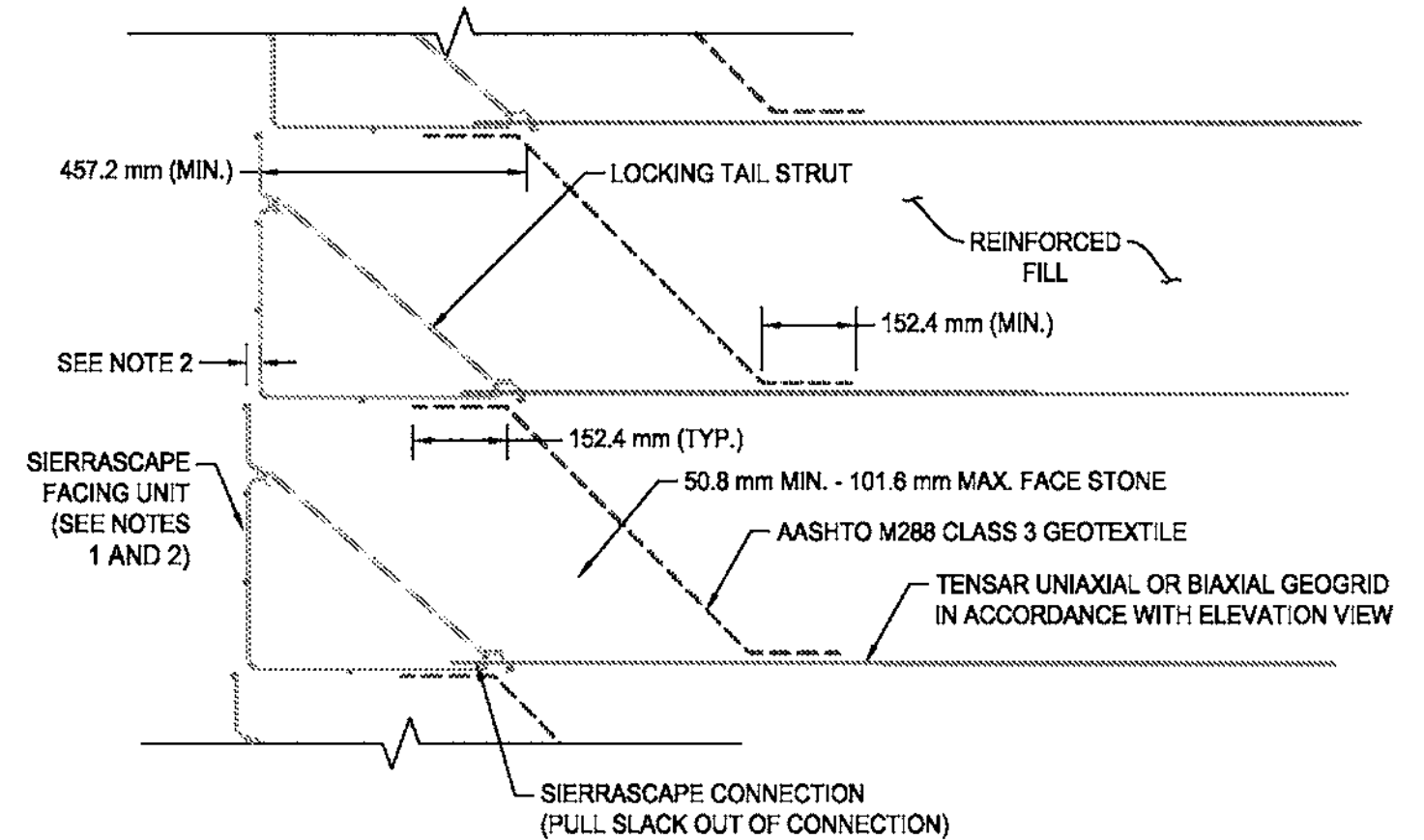


NOTES:

1. Place and compact wall structure and backfill to 0.91 m below finished grade.
2. Place a 1.2 m section of 150 mm PVC casing at desired spacing, a minimum of 0.89 m behind the face of the top wall course.
3. Construct remaining wall courses, placing geogrid over or around the PVC casing as required and compacting backfill adjacent to the casing
4. Install post, cut casing to the desired surface height and fill with 20 MPa (min.) concrete, or in accordance with project specifications.

**HANDRAIL OR FENCE POST DETAIL
AT TOP OF SIERRASCAPE WALL**

NOT TO SCALE



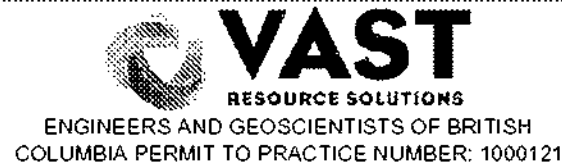
NOTES:

1. SEE SIERRASCAPE FACING UNIT DETAIL FOR FACING MATERIAL AND DIMENSIONS.
2. OFFSET AS NEEDED TO ACHIEVE OVERALL BATTER AS SHOWN IN THE CROSS-SECTIONS.
3. OPTIONAL - A THIN LAYER (50.8 mm MIN.) OF FINER STONE (6.1 mm - 25.4 mm) MAY BE PLACED AT THE TOP OF EACH UNIT TO PROVIDE A LEVEL SURFACE FOR THE UNIT ABOVE.

SIERRASCAPE STONE FACING DETAIL

NOT TO SCALE

ISSUED FOR PERMITTING

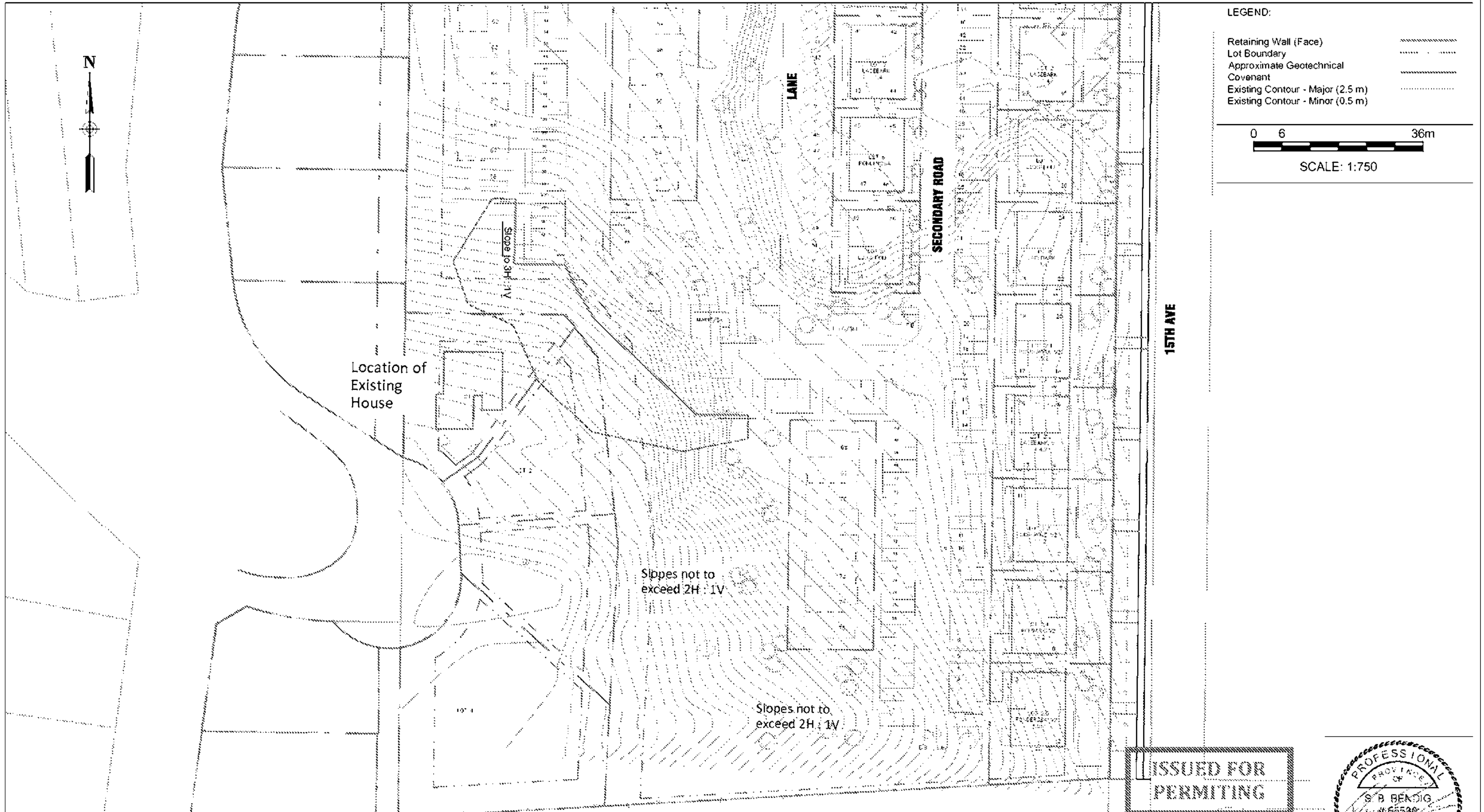


SITE: PINETREE MEADOWS
CLIENT: GENERATION HOMES
STRUCTURE NAME: PERIMETER WALL

REV	DATE	REVISIONS	INITIAL
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2	23/01/27	ISSUED FOR CLIENT REVIEW	DX
1	22/12/21	ISSUED FOR CLIENT REVIEW	DX
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX

DRAWING TITLE:
CONSTRUCTION DETAIL 2
DESIGNED BY:
S. BENDIG P.ENG
FILE NUMBER
22.0144.00.001

REVIEWED BY:
E. KLEINDIENST P.ENG
DRAWING FILE NAME:
02_WALLDESIGN.DWG
PJ
03/15

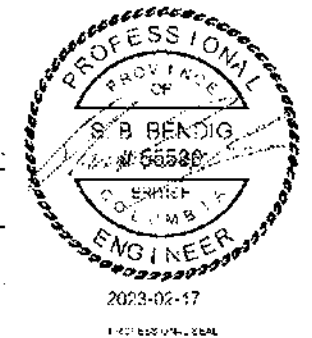


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0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4

DRAWING TITLE:
PROPOSED STRUCTURE PLAN VIEW
DRAWN BY:
S. BENDIG P.ENG
FILE NUMBER:
22.0144.00.001

REVIEWED BY:
E. KLEINDIENST P.ENG
DRAWING FILE NAME:
02_WALLDESIGN.DWG
PJ
04/15

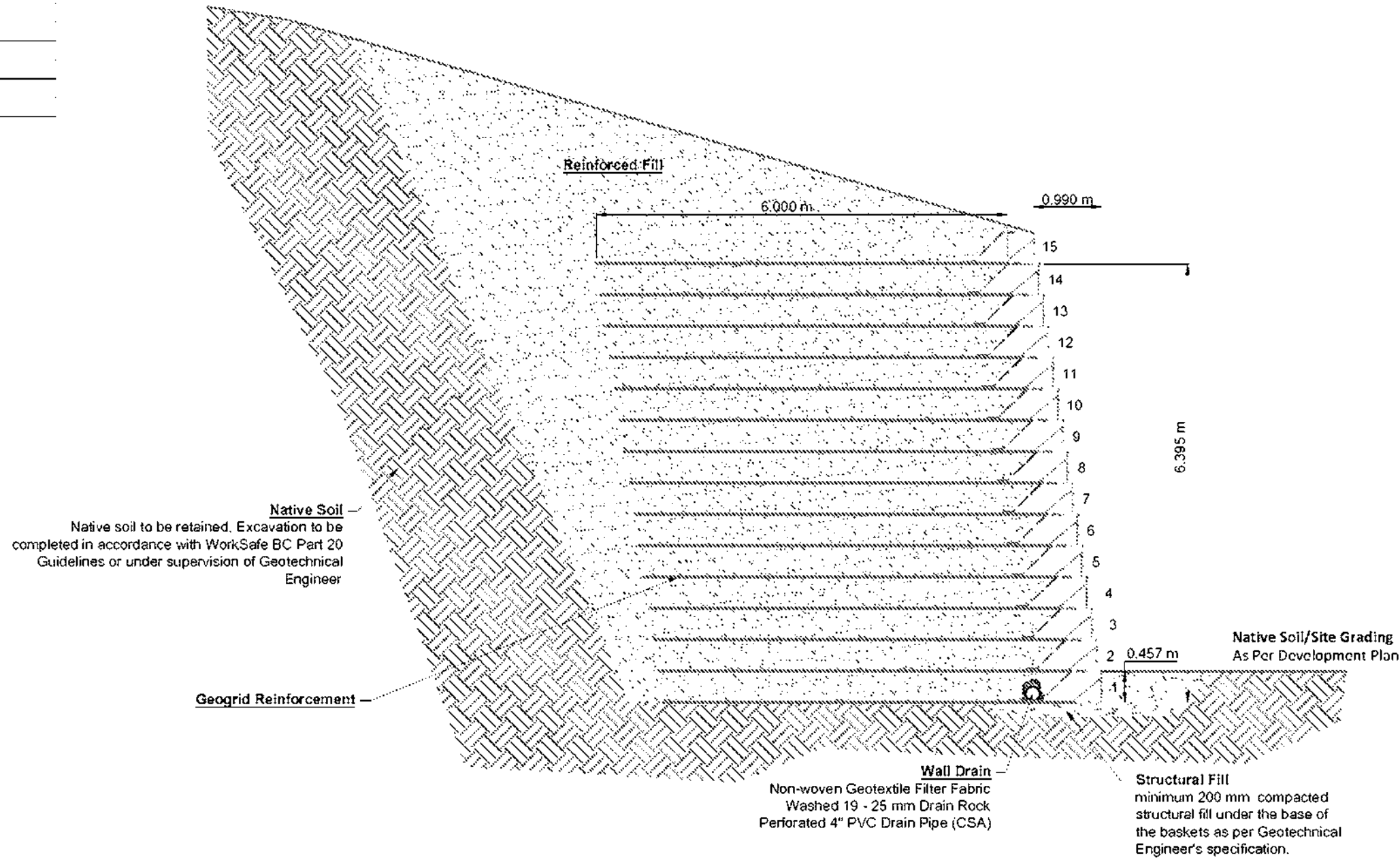


Tensar UX1500 Uniaxial Geogrid Reinforcement

Number of Courses (Includes one full buried course)	Embedment Distance (m)
2-3	1.0
4-5	2.0
6-8	3.0
9-12	4.0
13-14	5.5
15	6.0

LEGEND:

Geogrid Reinforcement	
Non-woven Geotextile Filter Fabric	
Native Soil	
Reinforced Fill	
Structural Fill	

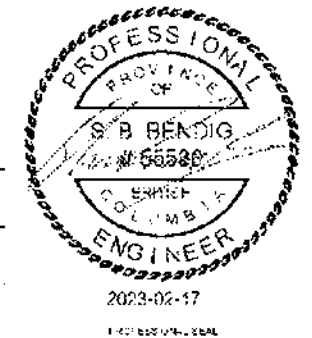


TYPICAL WALL SECTION AT MAXIMUM HEIGHT
(15 COURSES = 6.86 m)



SCALE: 1:75

ISSUED FOR PERMITTING



VAST
RESOURCE SOLUTIONS
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PERMIT TO PRACTICE NUMBER: 1000121



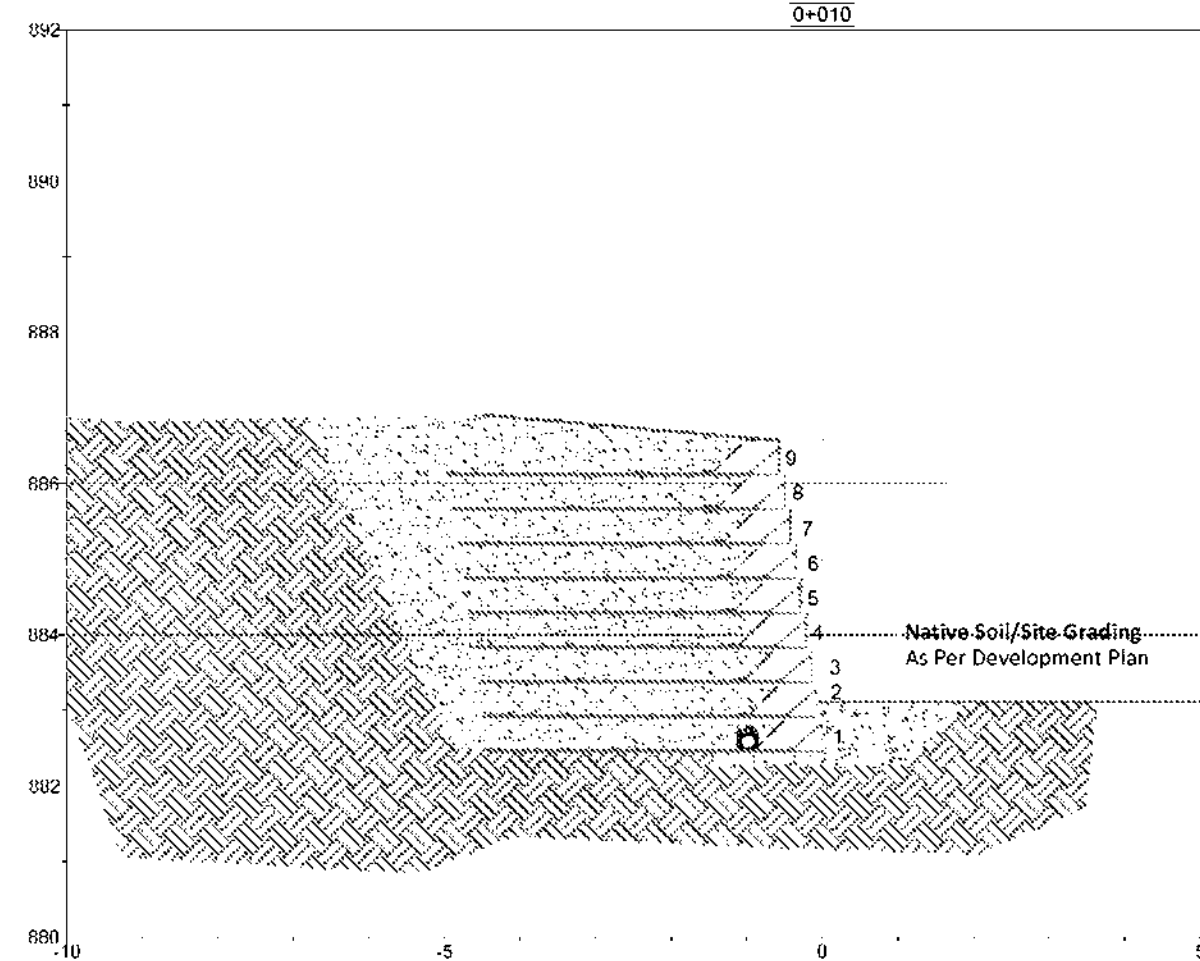
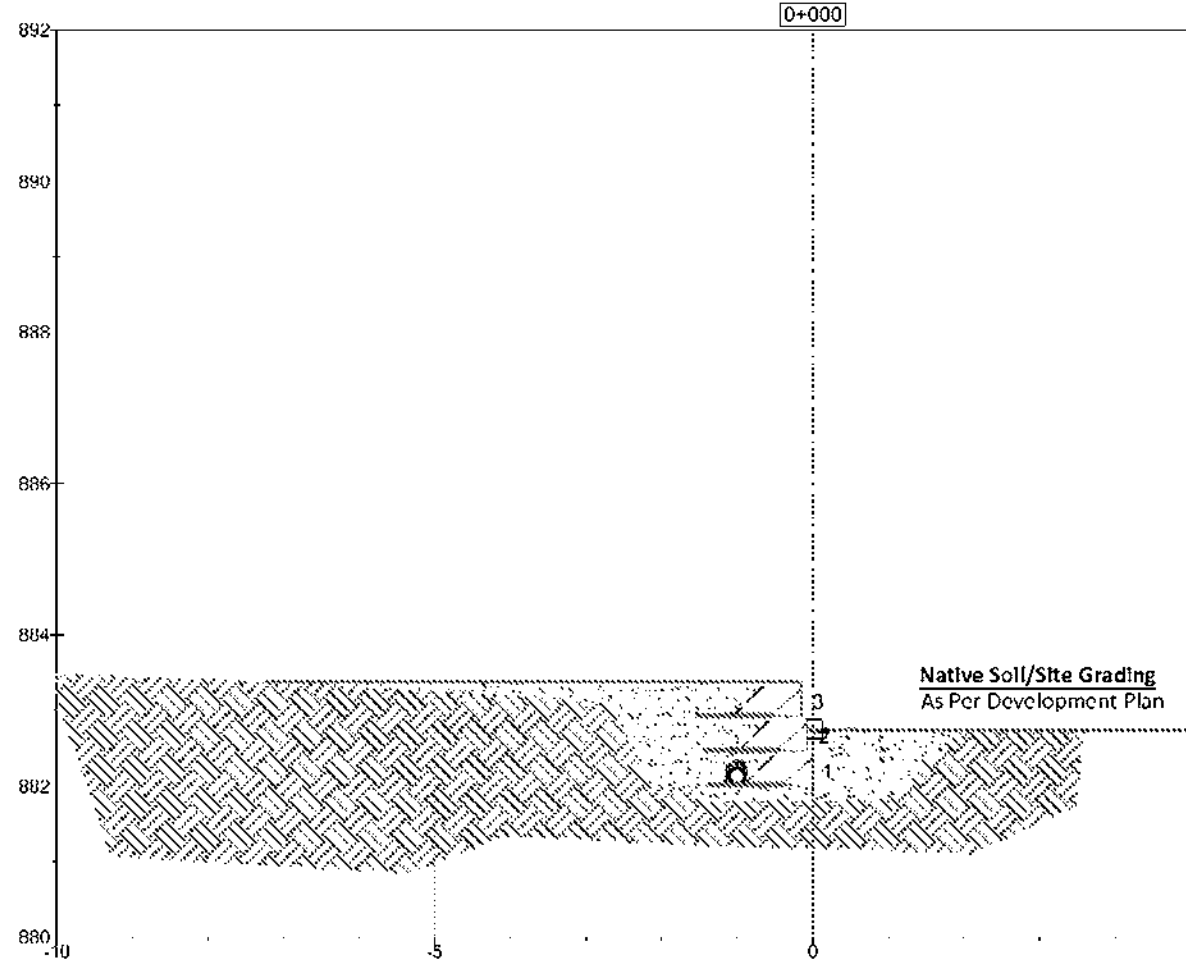
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CLIENT: GENERATION HOMES
STRUCTURE NAME: PERIMETER WALL

REV	DATE	REVISIONS	INITIAL
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2	23/01/27	ISSUED FOR CLIENT REVIEW	DX4
1	22/12/24	ISSUED FOR CLIENT REVIEW	DX4
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4

DRAWING TITLE:
PROPOSED STRUCTURE TYPICAL SECTION VIEW

DESIGNED BY:
S. BENDIG P.ENG
FILE NUMBER
22.0144.00.001

REVIEWED BY:
E. KLEINDIENST P.ENG
DRAWING FILE NAME:
02_WALLDESIGN.DWG
PJ
05/15

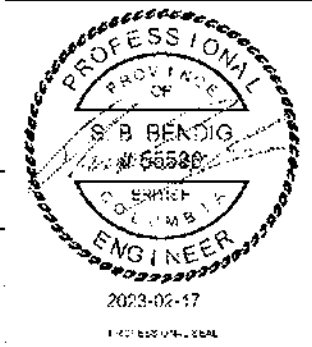


- Legend
- Original Surface Ground
 - Design Surface Grade
 - Geogrid Reinforcement Tensar UX1500
 - Non-Woven Geotextile Filter Fabric
 - Native Soil
 - Reinforced Fill
 - Structural Fill

WALL SECTION AT 0+000
(3 COURSES = 1.37 m)
0 0.6 3.6 m
SCALE: 1:75

WALL SECTION AT 0+010
(7 COURSES = 3.20 m)
0 0.6 3.6 m
SCALE: 1:75

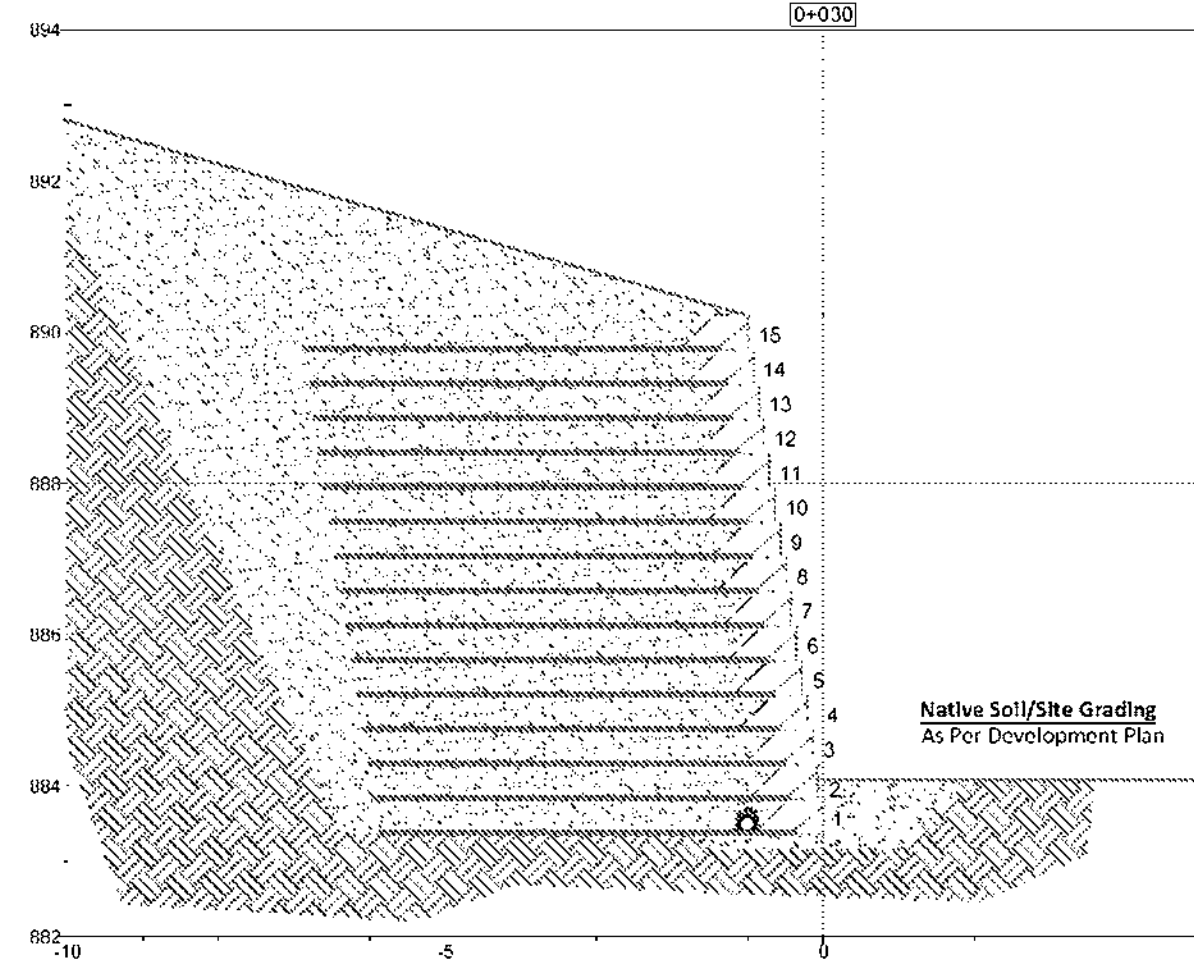
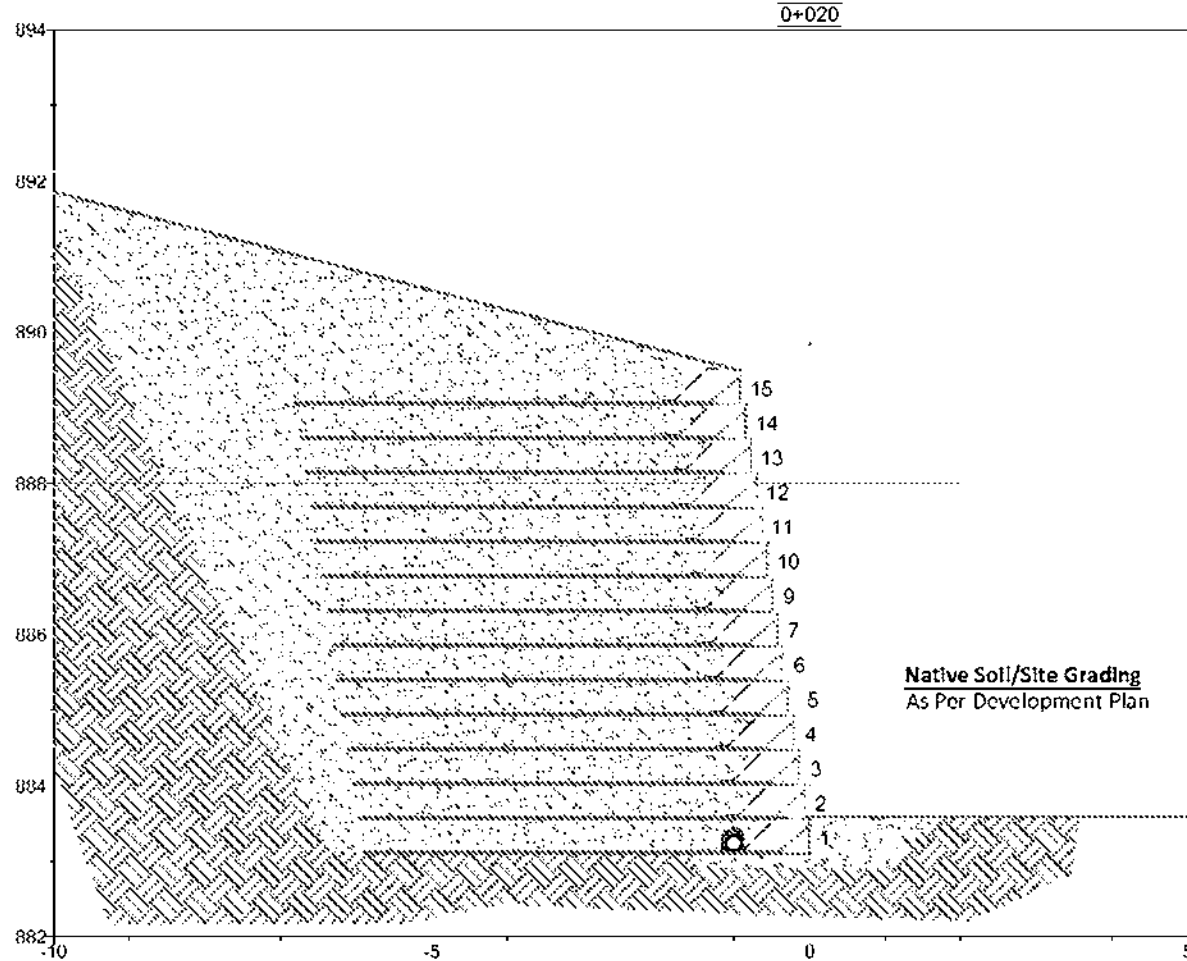
ISSUED FOR PERMITTING



SITE: PINETREE MEADOWS
CLIENT: GENERATION HOMES
STRUCTURE NAME: PERIMETER WALL

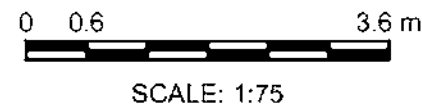
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2	23/01/27	ISSUED FOR CLIENT REVIEW	DX4
1	22/12/21	ISSUED FOR CLIENT REVIEW	DX4
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4

DRAWING TITLE:
PROPOSED STRUCTURE SECTION VIEW 0+000 AND 0+010
DRAWN BY:
S. BENDIG P.ENG
FILE NUMBER
22.0144.00.001
REVIEWED BY:
E. KLEINDIENST P.ENG
DRAWING FILE NAME:
02_WALLDESIGN.DWG
PJ
06/15



- Legend
- Original Surface Ground
 - Design Surface Grade
 - Geogrid Reinforcement Tensar UX1500
 - Non-Woven Geotextile Filter Fabric
 - Native Soil
 - Reinforced Fill
 - Structural Fill

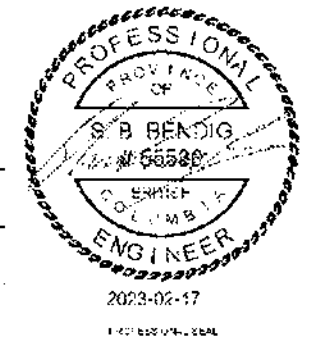
WALL SECTION AT 0+020
(15 COURSES = 6.86 m)



WALL SECTION AT 0+030
(15 COURSES = 6.86 m)



ISSUED FOR PERMITTING



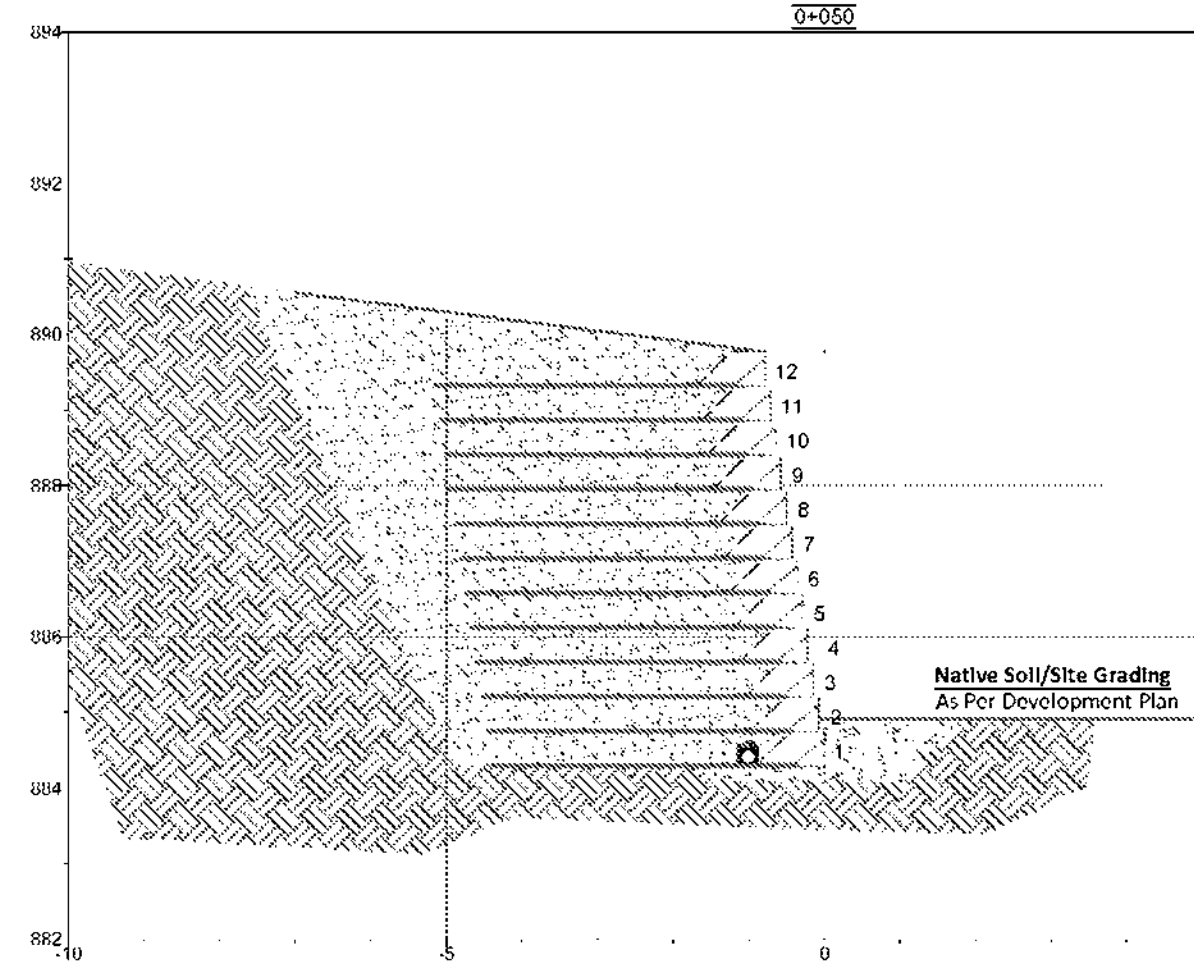
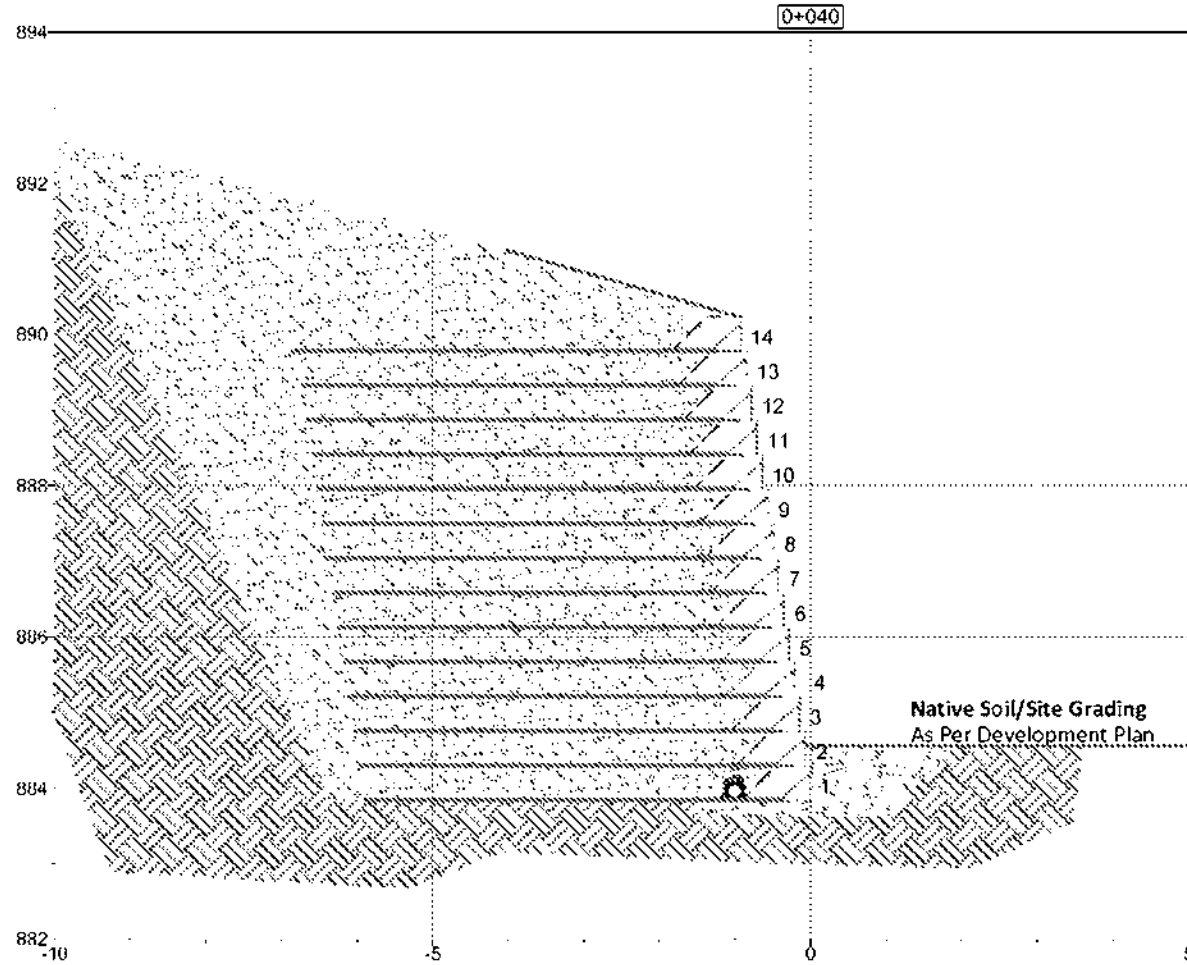
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ENGINEERS AND GEOSCIENTISTS OF BRITISH COLUMBIA
PERMIT TO PRACTICE NUMBER: 1000121



SITE: PINETREE MEADOWS
CLIENT: GENERATION HOMES
STRUCTURE NAME: PERIMETER WALL

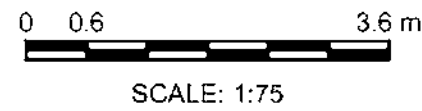
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2	23/01/27	ISSUED FOR CLIENT REVIEW	DX4
1	22/12/24	ISSUED FOR CLIENT REVIEW	DX4
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4

DRAWING TITLE:	
PROPOSED STRUCTURE SECTION VIEW AT 0+020 AND 0+030	
DESIGNED BY:	REVIEWED BY:
S. BENDIG P.ENG	E. KLEINDIENST P.ENG
FILE NUMBER:	DRAWING FILE NAME:
22.0144.00.001	02_WALLDESIGN.DWG
	PJ 07/15



- Legend**
- Original Surface Ground
 - Design Surface Grade
 - Geogrid Reinforcement Tensar UX1500
 - Non-Woven Geotextile Filter Fabric
 - Native Soil
 - Reinforced Fill
 - Structural Fill

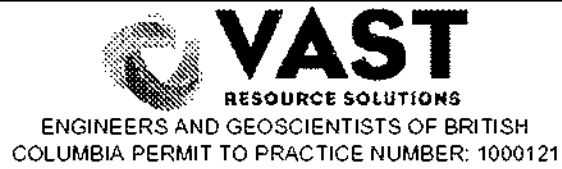
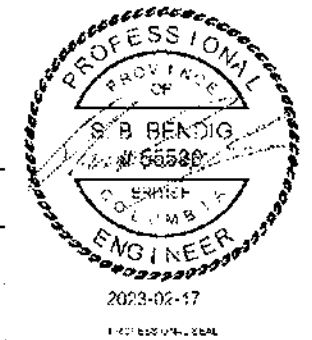
WALL SECTION AT 0+040
(13 COURSES = 5.944 m)



WALL SECTION AT 0+050
(11 COURSES = 5.03 m)



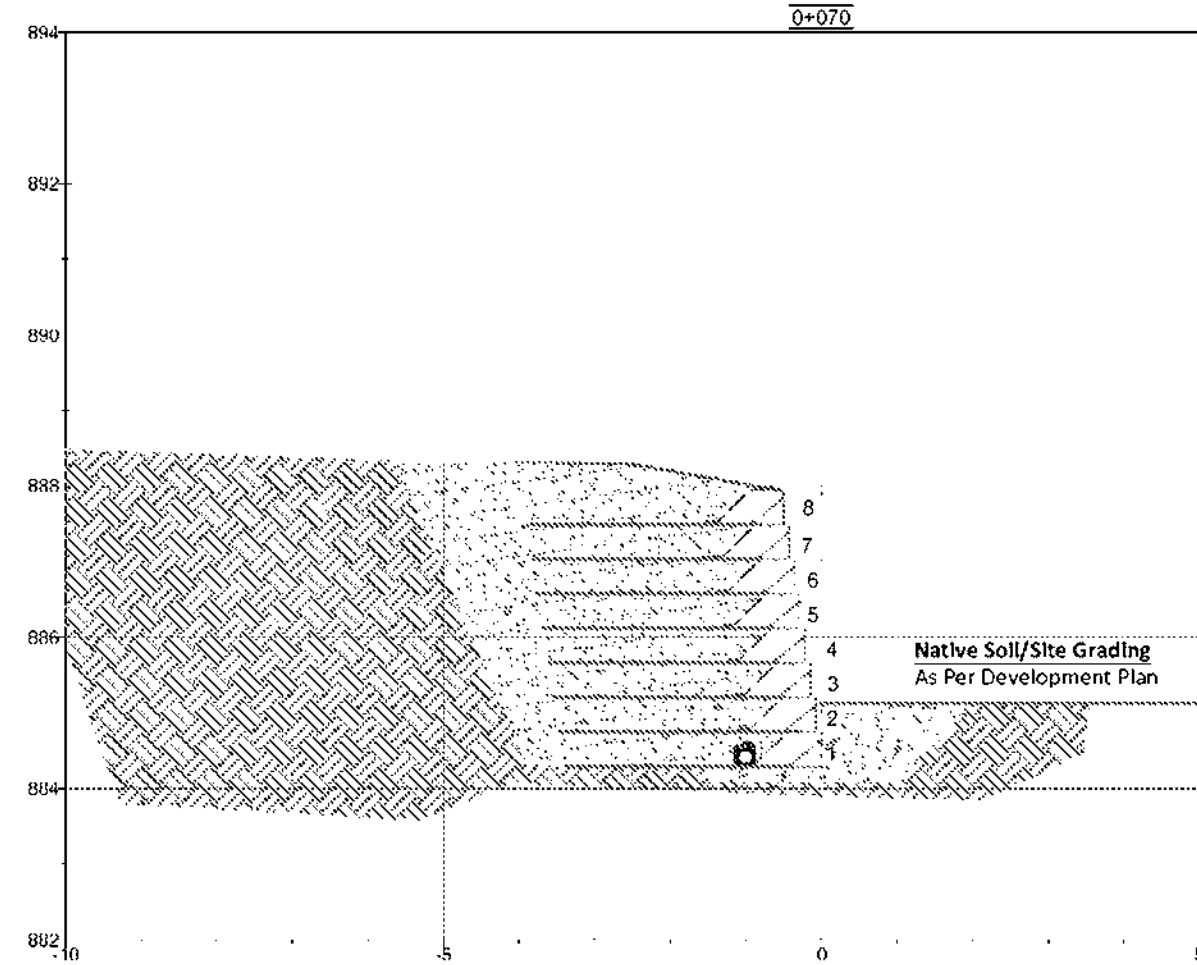
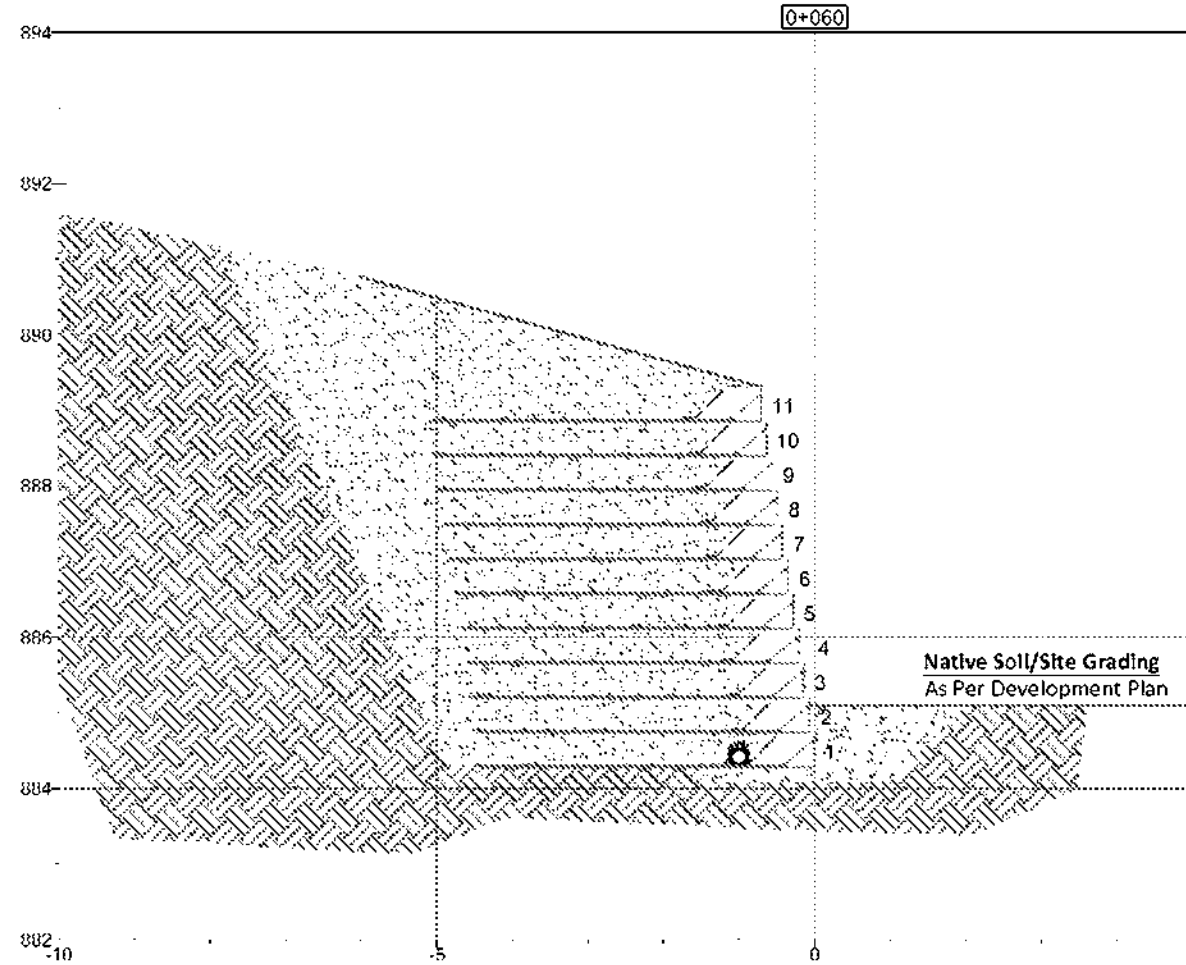
ISSUED FOR PERMITTING



SITE: PINETREE MEADOWS
CLIENT: GENERATION HOMES
STRUCTURE NAME: PERIMETER WALL

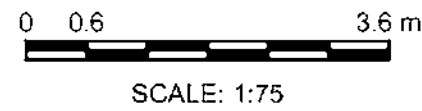
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2	23/01/27	ISSUED FOR CLIENT REVIEW	DX4
1	22/12/21	ISSUED FOR CLIENT REVIEW	DX4
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4

DRAWING TITLE: PROPOSED STRUCTURE SECTION VIEW AT 0+040 AND 0+050	
DESIGNED BY: S. BENDIG P.ENG	REVIEWED BY: E. KLEINDIENST P.ENG
FILE NUMBER: 22.0144.00.001	DRAWING FILE NAME: 02_WALLDESIGN.DWG
	PJ 06/15



- Legend
- Original Surface Ground
 - Design Surface Grade
 - Geogrid Reinforcement Tensar UX1500
 - Non-Woven Geotextile Filter Fabric
 - Native Soil
 - Reinforced Fill
 - Structural Fill

WALL SECTION AT 0+060
(10 COURSES = 4.58 m)



WALL SECTION AT 0+070
(8 COURSES = 3.66 m)



ISSUED FOR PERMITTING



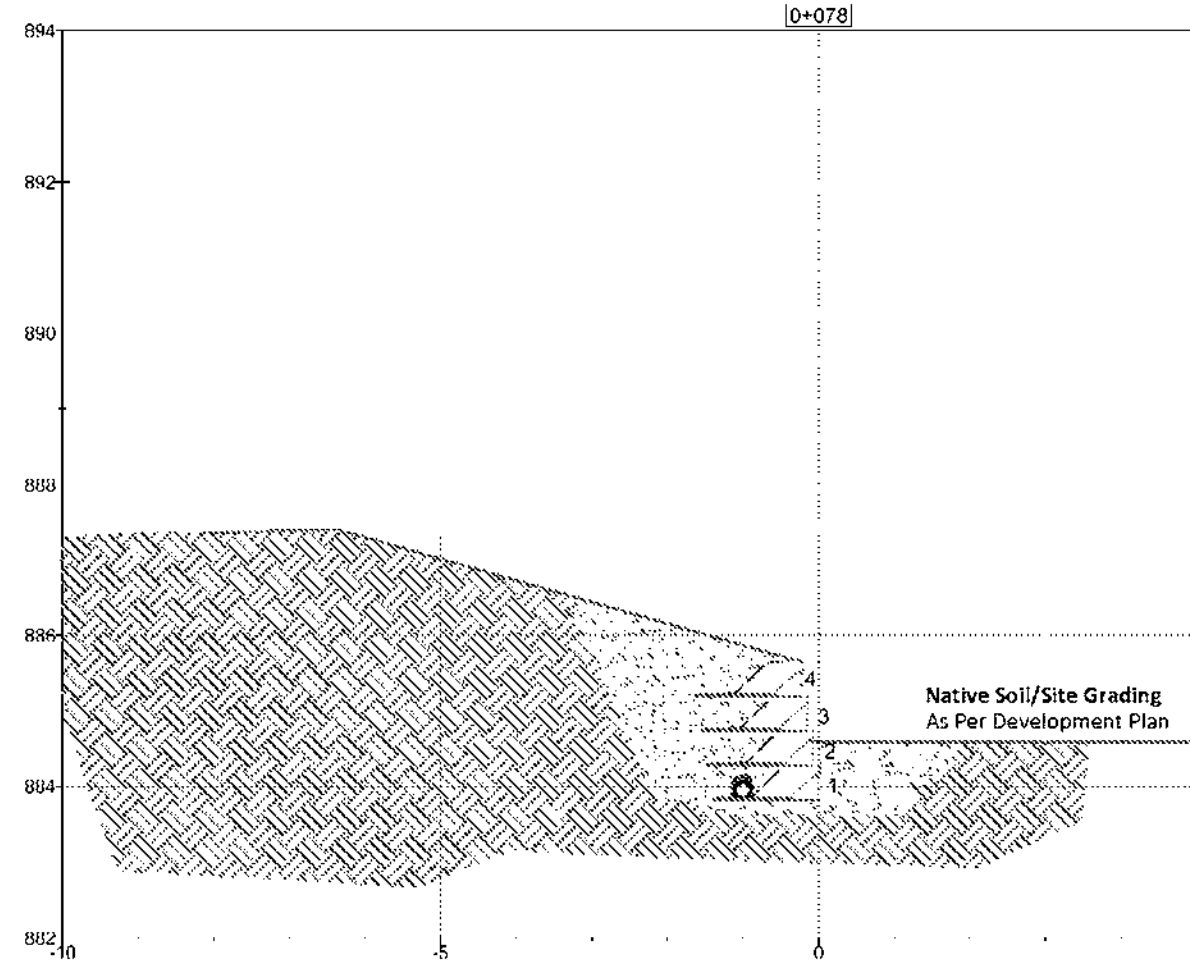
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ENGINEERS AND GEOSCIENTISTS OF BRITISH COLUMBIA
PERMIT TO PRACTICE NUMBER: 1000121



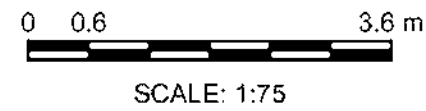
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CLIENT: GENERATION HOMES
STRUCTURE NAME: PERIMETER WALL

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1	22/12/24	ISSUED FOR CLIENT REVIEW	DX4
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4

DRAWING TITLE:	
PROPOSED STRUCTURE SECTION VIEW AT 0+060 AND 0+070	
DESIGNED BY:	REVIEWED BY:
S. BENDIG P.ENG	E. KLEINDIENST P.ENG
FILE NUMBER:	DRAWING FILE NAME:
22.0144.00.001	02_WALLDESIGN.DWG
	DATE:
	09/15



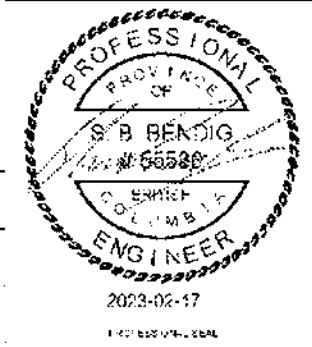
WALL SECTION AT 0+078
(3 COURSES = 1.38 m)



Legend

Original Surface Ground
Design Surface Grade
Geogrid Reinforcement Tensar UX1500
Non-Woven Geotextile Filter Fabric
Native Soil	
Reinforced Fill	
Structural Fill	

ISSUED FOR PERMITTING



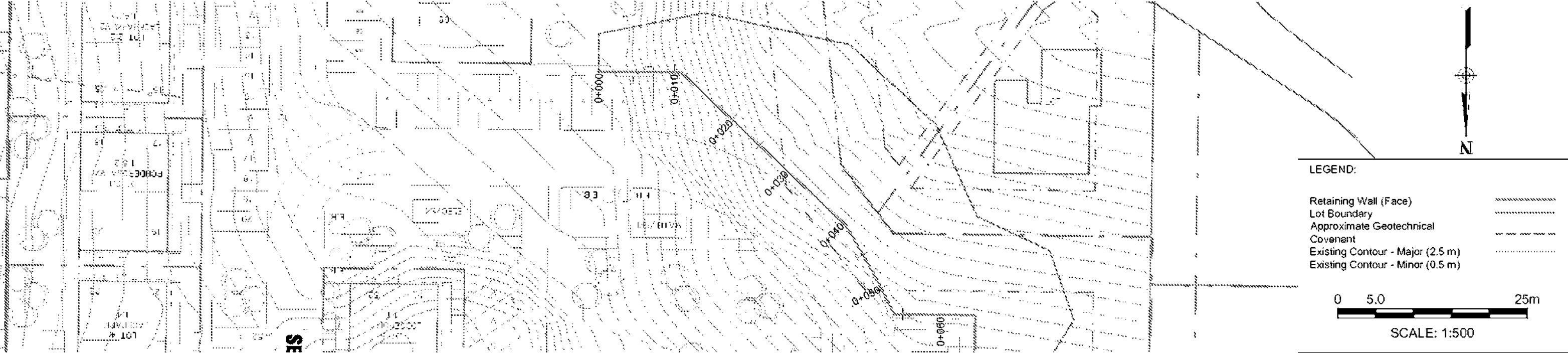
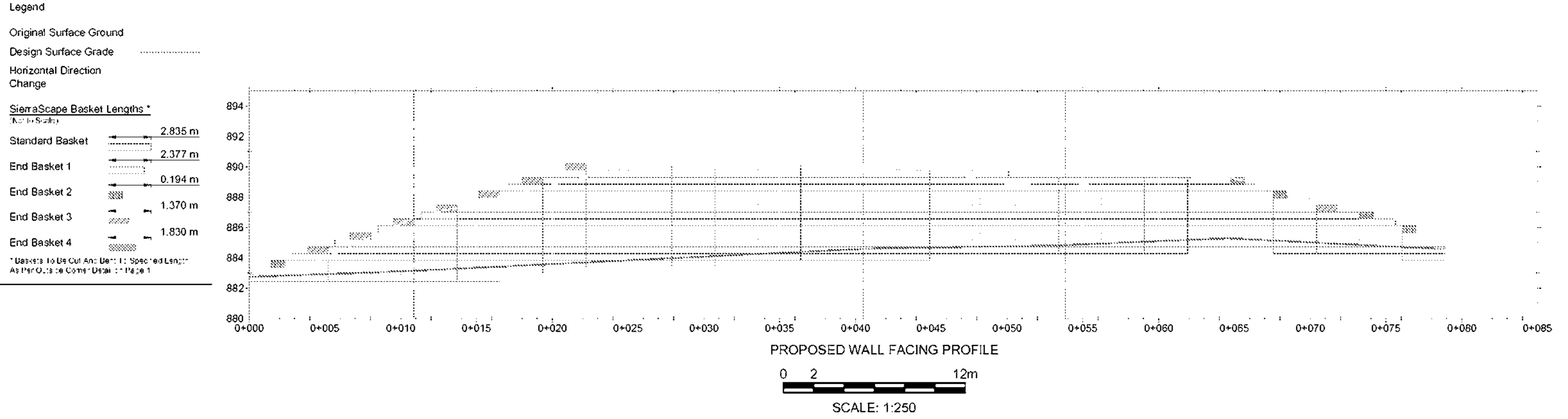
VAST
RESOURCE SOLUTIONS
ENGINEERS AND GEOSCIENTISTS OF BRITISH COLUMBIA
PERMIT TO PRACTICE NUMBER: 1000121



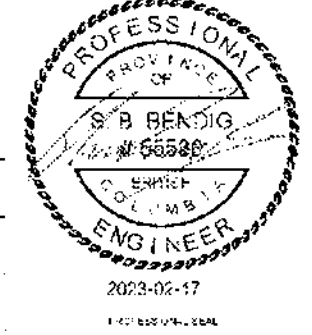
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CLIENT: GENERATION HOMES
STRUCTURE NAME: PERIMETER WALL

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2	23/01/27	ISSUED FOR CLIENT REVIEW	DX4
1	22/12/21	ISSUED FOR CLIENT REVIEW	DX4
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4

DRAWING TITLE: PROPOSED STRUCTURE SECTION VIEW 0+078	
DESIGNED BY: S. BENDIG P.ENG	REVIEWED BY: E. KLEINDIENST P.ENG
FILE NUMBER 22.0144.00.001	DRAWING FILE NAME: 02_WALLDESIGN.DWG
	PJ 10/15



ISSUED FOR PERMITTING



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 RESOURCE SOLUTIONS
 ENGINEERS AND GEOSCIENTISTS OF BRITISH COLUMBIA
 PERMIT TO PRACTICE NUMBER: 1000121

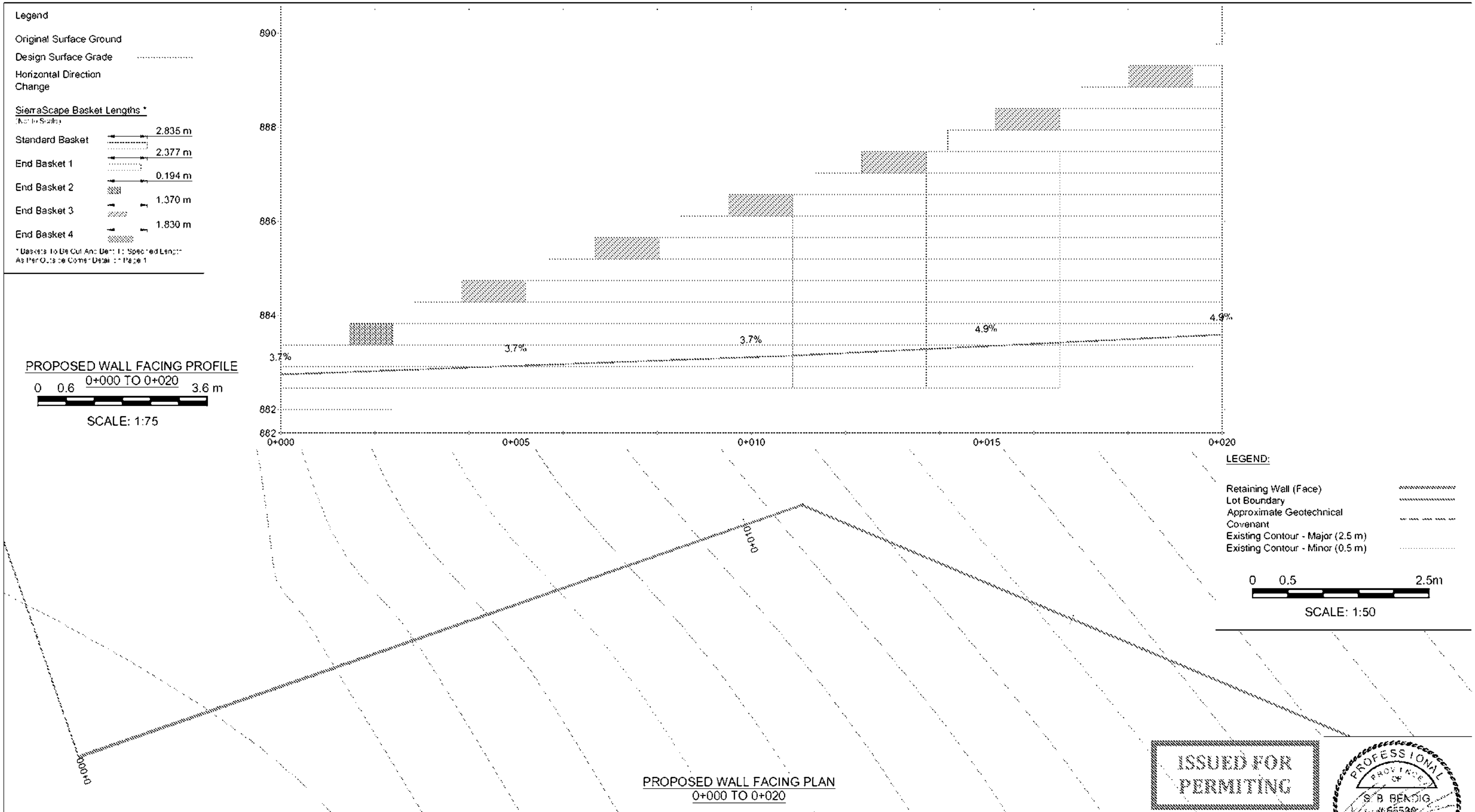


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2	23/01/27	ISSUED FOR CLIENT REVIEW	DX4		
1	22/12/21	ISSUED FOR CLIENT REVIEW	DX4		
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4		

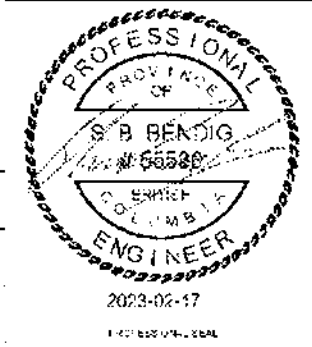
SITE: PINETREE MEADOWS
 CLIENT: GENERATION HOMES
 STRUCTURE NAME: PERIMETER WALL

SIGNED BY: S. BENDIG P. ENG
 FILE NUMBER: 22.0144.00.001

DRAWING FILE NAME: 02_WALLDESIGN.DWG
 PJ: 11/15



ISSUED FOR PERMITTING



VAST
 RESOURCE SOLUTIONS
 ENGINEERS AND GEOSCIENTISTS OF BRITISH COLUMBIA
 PERMIT TO PRACTICE NUMBER: 1000121



SITE: PINETREE MEADOWS
 CLIENT: GENERATION HOMES
 STRUCTURE NAME: PERIMETER WALL

REV	DATE	REVISIONS	INITIAL
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2	23/01/27	ISSUED FOR CLIENT REVIEW	DX4
1	22/12/21	ISSUED FOR CLIENT REVIEW	DX4
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4

DRAWING TITLE:
PROPOSED WALL PROFILE AND PLAN VIEW - 0+000 TO 0+020

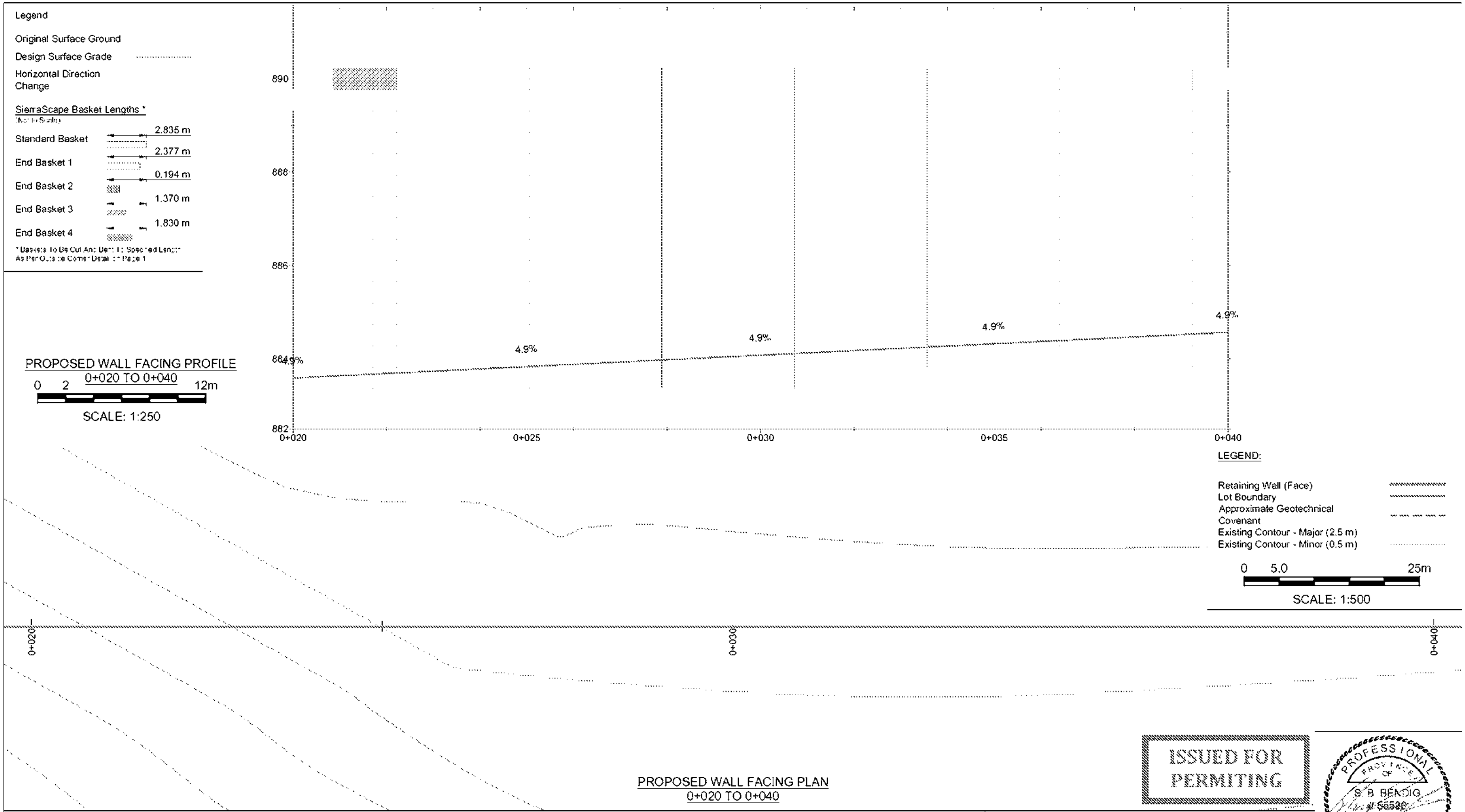
DESIGNED BY:
S. BENDIG P.ENG

FILE NUMBER:
 22.0144.00.001

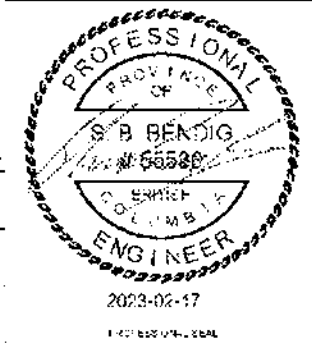
REVIEWED BY:
E. KLEINDIENST P.ENG

DRAWING FILE NAME:
 02_WALLDESIGN.DWG

PJ
 12/15



ISSUED FOR PERMITTING



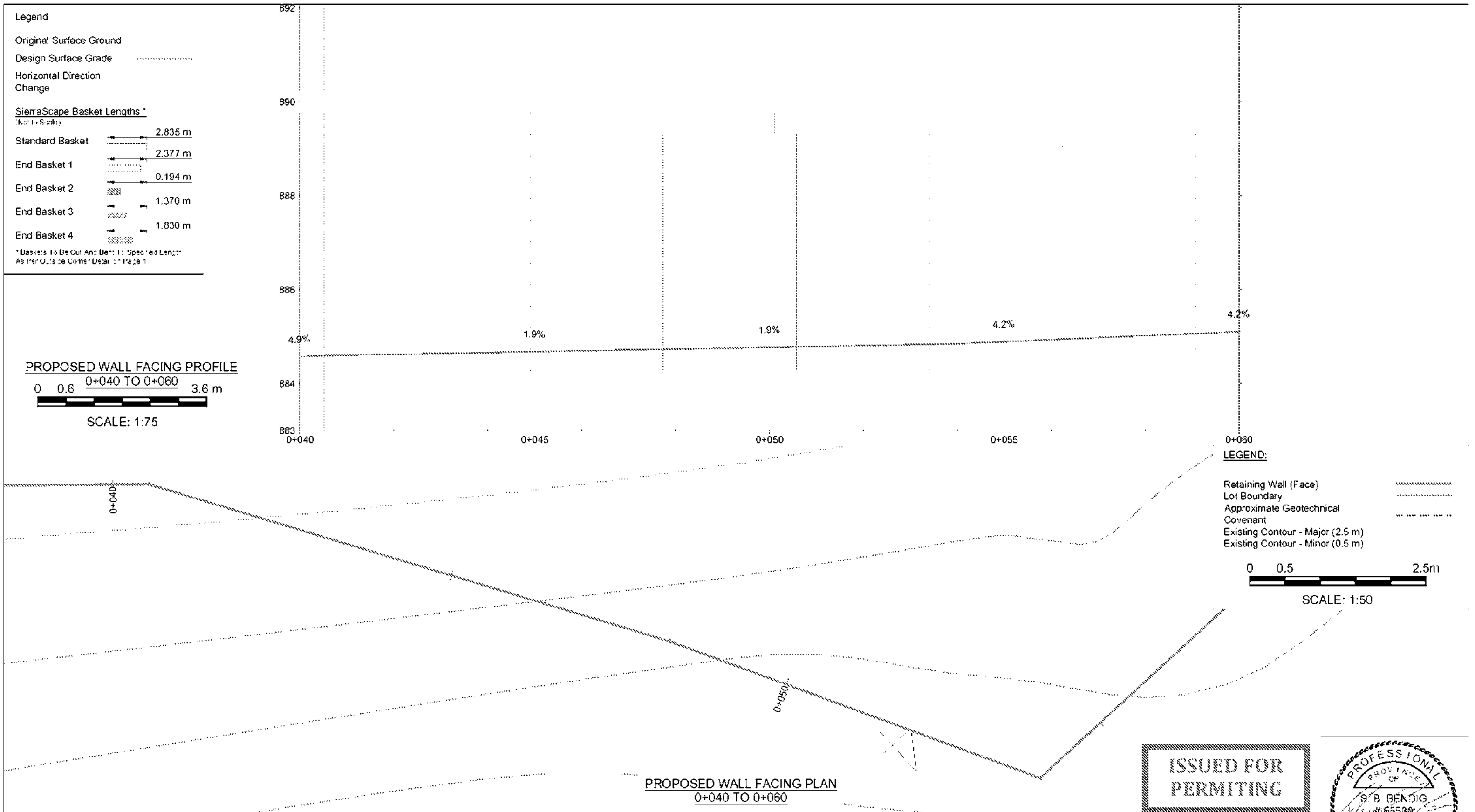
VAST
RESOURCE SOLUTIONS
ENGINEERS AND GEOSCIENTISTS OF BRITISH COLUMBIA
PERMIT TO PRACTICE NUMBER: 1000121



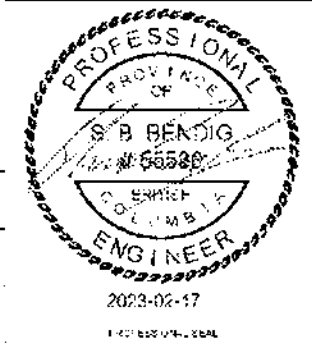
SITE: PINETREE MEADOWS
CLIENT: GENERATION HOMES
STRUCTURE NAME: PERIMETER WALL

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1	22/12/21	ISSUED FOR CLIENT REVIEW	DX4
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4

DRAWING TITLE: PROPOSED WALL PROFILE AND PLAN VIEW - 0+020 TO 0+040	
DESIGNED BY: S. BENDIG P.ENG	REVIEWED BY: E. KLEINDIENST P.ENG
FILE NUMBER: 22.0144.00.001	DRAWING FILE NAME: 02_WALLDESIGN.DWG
	PJ 13/15



ISSUED FOR PERMITTING



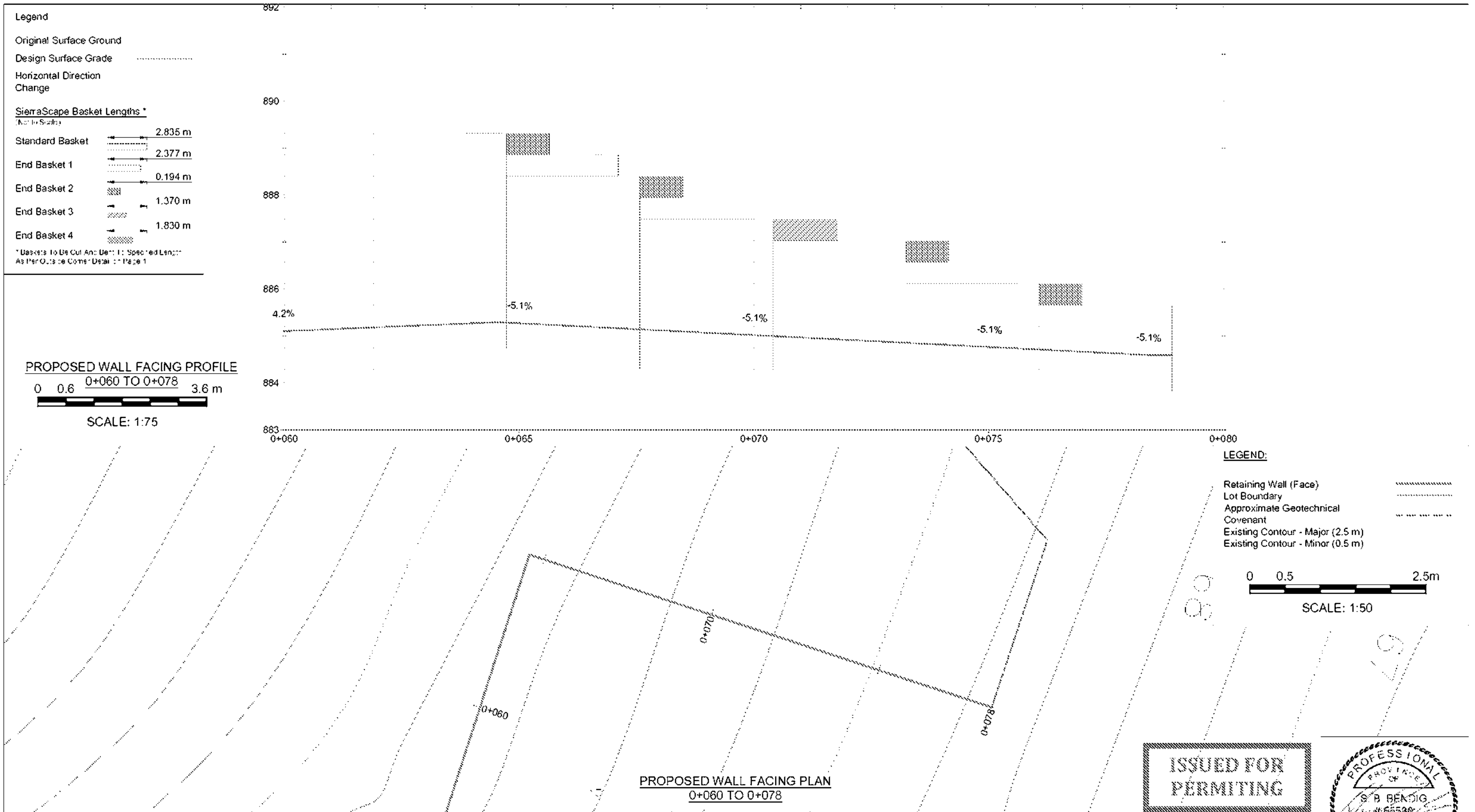
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 ENGINEERS AND GEOSCIENTISTS OF BRITISH COLUMBIA
 PERMIT TO PRACTICE NUMBER: 1000121



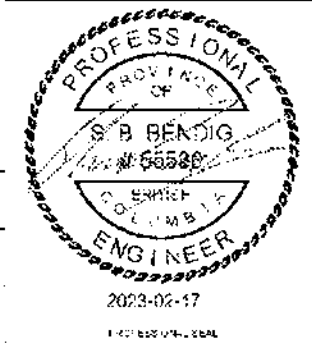
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 CLIENT: GENERATION HOMES
 STRUCTURE NAME: PERIMETER WALL

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1	22/12/24	ISSUED FOR CLIENT REVIEW	DX4
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4

DRAWING TITLE: PROPOSED WALL PROFILE AND PLAN VIEW - 0+040 TO 0+060	
DESIGNED BY: S. BENDIG P.ENG	REVIEWED BY: E. KLEINDIENST P.ENG
FILE NUMBER 22.0144.00.001	DRAWING FILE NAME: 02_WALLDESIGN.DWG
	PJ 14/15



ISSUED FOR PERMITTING



VAST
 RESOURCE SOLUTIONS
 ENGINEERS AND GEOSCIENTISTS OF BRITISH COLUMBIA
 PERMIT TO PRACTICE NUMBER: 1000121



SITE: PINETREE MEADOWS
 CLIENT: GENERATION HOMES
 STRUCTURE NAME: PERIMETER WALL

REV	DATE	REVISIONS	INITIAL
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2	23/01/27	ISSUED FOR CLIENT REVIEW	DX4
1	22/12/21	ISSUED FOR CLIENT REVIEW	DX4
0	22/11/25	ISSUED FOR CLIENT REVIEW	DX4

DRAWING TITLE: PROPOSED WALL PROFILE AND PLAN VIEW - 0+060 TO 0+078
 DESIGNED BY: S. BENDIG P.ENG
 FILE NUMBER: 22.0144.00.001
 REVIEWED BY: E. KLEINDIENST P.ENG
 DRAWING FILE NAME: 02_WALLDESIGN.DWG
 PJ 15/15



Related Document Number: **CB502444**
 Fee Collected for Document: **\$0.00**

I, Katelynn O'Neill, Lawyer, declare that:

1. The covenant granted in paragraph 1 of the terms of instrument only charges part of the lands, but the area has not been adequately defined.

Reference Plan EPP128126 has been submitted for registration.

Part 3 of the Form C has been amended to include the following under Additional Information:

"That Part of Lot 1 District Lot 1092 Kootenay District Plan 8385, Except Part Included in Plan NEP20703 and EPP120442 as Shown on Plan EPP128126"

Recital D of Part 2 Terms of Instrument has been amended to read as follows:

"Plan EPP128126 details the covenant area, outlined in bold, over a part of the Remainder Lot (the "Geotechnical Covenant Area")."

2. The nature of interest applied for in Item 3 of the Land Title Act Form C (Charge) is not the same as the interest granted in paragraph 1 of Part 2 Terms of Instrument. The interest in land applied for in Item 3 has been amended from "Restrictive Covenant" to "Covenant".

3. We have received consent to amend the covenant. The original of the instrument in our possession has been amended and the parties have consented to the amendment.

<p>Electronic Signature</p> <p>Your electronic signature is a representation that</p> <ul style="list-style-type: none"> (a) You are a subscriber under section 168.6 of the <i>Land Title Act</i>, RSBC 1996 c.250, and that you are authorized to electronically sign this document by an e-filing direction made under section 168.22(2) of the act, or (b) You are a designate authorized to certify this application under section 168.4 of the <i>Land Title Act</i>, RSBC 1996, c.250, that you certify this application under section 168.43(3) of the act, and that the supporting document or a true copy of the supporting document, if a true copy is allowed under an e-filing direction, is in your possession, or (c) If the purpose of this declaration is to bring to the attention of the registrar an error, omission or misdescription in a previously submitted document under section 168.55 of the act, you certify that, based on your personal knowledge or reasonable belief, this declaration sets out the material facts accurately. 	<div style="border: 1px solid black; padding: 5px; display: inline-block;"> <p>Katelynn Marie O'Neill EQ3CQF</p> <p>Digitally signed by Katelynn Marie O'Neill EQ3CQF Date: 2023-05-24 11:28:48 -07:00</p> </div>
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Note: A Declaration cannot be used to submit a request to the Registrar for the withdrawal of a document.

Exhibit L

District of Invermere



Date: 28-Mar-2023 Page: 1
Issue Date: 17-Mar-2023 Time: 8:52 am

Folio No.: Neighborhood Code:

Permit Type: Permit #: Estimated Value of Construction: SQ Meters:

Pursuant to the bylaws applicable to the District of Invermere I, being the owner or acting with the consent of the owner, hereby make application

Description of Work:

Address/Location: Unit: Street #: Street Name:
Legals: Lot: Dist. Lot: Block: Plan No: Section: Township: Land District: PID:
Proposed Use: District: Area: Zone: No. of Units:

OWNER Name:
Phone: Add:
Fax: City: Prov: Postal Code:

CONTRACTOR Name:
Phone: Add:
Fax: City: Prov: Postal Code:

Date: Signature Of Applicant:

Conditions: ALL CONDITIONS NOTED ON THE ATTACHED COVER LETTER ARE APPLICABLE TO THE BUILDING PERMIT.
INSPECTIONS ARE REQUIRED AS OULINED WITH YOUR PERMIT.
PLEASE CONTACT THE BUILDLING DEPARTMENT WITH ANY QUESTIONS YOU MAY HAVE FOR DIRECTION.

Building Inspector:

Building Permit Application Fee Date: <input type="text"/> By: <input type="text"/> <input type="checkbox"/> CASH <input type="checkbox"/> CHEQUE RECEIPT # <input type="text"/>	Water Application No. Date: <input type="text"/> By: <input type="text"/> <input type="checkbox"/> CASH <input type="checkbox"/> CHEQUE RECEIPT # <input type="text"/>
Building Permit Fee Received Date: <input type="text"/> By: <input type="text"/> <input type="checkbox"/> CASH <input type="checkbox"/> CHEQUE RECEIPT # <input type="text"/>	Sewer Application No. Date: <input type="text"/> By: <input type="text"/> <input type="checkbox"/> CASH <input type="checkbox"/> CHEQUE RECEIPT # <input type="text"/>

Description Of Rate:	Fees:
PLAN CHECK DEPOSIT	-400.00
INSPECTION FEE	5,608.75
BUILDING PERMIT FEE	60.00
PLUMBING FIXTURE FEE	288.00
LETTERS OF ASSURANCE DISCOUNT	-500.00
Total Fees:	\$ 5,056.75

GST Reg. No. : 10702 1271RT

March 23, 2023

1345408 BC Ltd.
PO Box 639
Invermere, BC V0A 1K0

Folio: 248.070

Re: Building Permit # 2023010 - "Multi- Family Dwelling, Units 21-24)"
Legal: Lot 1, District Lot 1092, Plan NEP8385
Civic: 2128 – 15th Avenue, Invermere, BC

Attached is a building permit for the above titled construction. All materials and construction to comply with the 2018 BC Building and Plumbing Codes.

The building permit fees have been reduced in accordance with Section 12.3 of the District of Invermere Building Bylaw No. 1319 and the permit issued in accordance with Section 16 of the District of Invermere Building Bylaw No. 1319 and Section 55 of the Community Charter of BC and Section 743 of the Local Government Act of BC. The District of Invermere is relying on this certification.

The professional disciplines engaged on the project are to submit copies of all inspections / site visit reports to the Building Inspector within 7 days when requested.

All materials and construction will be subject to on-site inspections at stages indicated with your building permit. A copy of this permit must be posted in a visible location on the property upon entrance to site and remain posted until the Building Inspector issues an Occupancy Permit. Also ensure that plans and/or specifications on which the permit is based are available on site. **It is the owner's and/or builder's responsibility to notify the District office for the necessary inspections indicated with the building permit.**

It is the owner's responsibility to ensure that their building plans conform with any prospectus, restrictive covenants or building schemes that may be registered against the title by other parties. In addition to any comments or notations that appear on your copy of the building plans, please note the following:

- 1) **Development Cost Charges** have been assessed at \$ 34,520.00 and are due before a building permit can be issued;
- 2) **Development Permit 22,01** issued is applicable and to be complied with;
- 3) **Schedule "C" – Letter of Assurance** from those registered professionals engaged on the project are to be submitted to the building Inspector prior to occupancy and use of the dwelling;
- 4) **No unsafe condition** shall exist, be created, or permitted;
- 5) **All Construction must** comply with the New Energy Efficiency requirements in housing;
- 6) **All Outside Hose Taps** shall incorporate hose connection vacuum breakers pursuant to section 30 of the District of Invermere Bylaw 1198. Maintenance and winterizing of these vacuum breakers are the responsibility of the owner;
- 7) **Maximum Building Height** is 7.5m. The height is taken from finished grade of the building to the mid point between the roof eaves and the ridge of the primary roof structure;

continued

1345408 BC Ltd.
Building Permit
Multi-Family Dwelling

- 8) **Foundation Walls** that will be backfilled greater than 2.3m (7.5ft) will require an engineered drawing prepared by a BC Registered Engineer with submittal to the Building Official prior to a foundation inspection;
- 9) **Retaining Walls** forming part of the dwelling exceeding 1.5m (4.9ft) in height shall be designed, sealed, and signed by a registered **British Columbia Professional Engineer** and the drawing submitted to the building official prior to construction of such;
- 10) **Community Water & Sewer Systems** to be installed in accordance with the District of Invermere subdivision and Servicing Bylaw 902. of Invermere office with sufficient notice;
- 11) **Occupancy** of the dwelling will not be granted until water meter installation and water and sewer inspections have been approved by the District of Invermere Municipal Works Department;
- 12) **Driveways** crossing an open ditch are required to have a steel corrugated culvert installed for storm water flows;
- 13) **Soil Removed or Deposited** shall not cause a dust or dirt nuisance affecting any neighbouring property, highway, or right – of – way;
- 14) **Storm Drainage** to sanitary sewage connection is not permitted. **Storm Water Management** is the responsibility of the homeowner and is to be contained on site. No negative impact to the natural storm drainage course is permitted;
- 15) **Whenever it is found** by the "authority having jurisdiction" that work is not being performed in accordance with the BC Building or Plumbing Codes or Bylaws, a Stop Work Order may be posted, and all work will not progress other than the required remedial measures until further notice by the "authority having jurisdiction";
- 16) **No alterations and/or revisions** are permitted to the construction drawings submitted or construction on site unless proposed changes are submitted to Building Inspector for review, comment and/or approval prior;
- 17) **All materials to be disposed of** from the construction site are to be disposed of at the Windermere Landfill site. Hours of operation are 9:00 a.m. to 6:00 p.m. If you require additional information, please contact the R.D.E.K. at 1-888-478-7335.

You must notify the Municipal Office at least three days prior to the proposed date of connection to the sewer and water laterals so that this work may be inspected and recorded. The District requires that connections are not covered and that all trenching complies with W.C.B. regulation and standards. If these requirements are not met District will not approve connections.

The elevation of the basement should be higher than the sewer line abutting the property in order to achieve the minimum 2% grade. In certain situations, it is necessary for the owner to install a sewer pump in the basement of the building.

Pursuant to Section 4.5 (4) of Zoning Bylaw No. 1145, each multi-family dwelling requires 1.5 off-street parking spaces with minimum dimensions of 2.7 m x 6 m.

continued

1345408 BC Ltd.
Building Permit
Multi-Family Dwelling

Any contractor employed during the construction of this building must have a valid Business Licence for the current year. In British Columbia, it is compulsory to hold a Trades Qualification Certificate to work in the following trades: Plumbing, Refrigeration, and Roofing (Damp and waterproofing), Sheet Metal Work, Sprinkler Fitting and Steam Fitting/Pipe Fitting.

The recipient of this Building Permit is reminded that a Notice of Project is required to be completed and submitted to the Workers' Compensation Board of British Columbia prior to commencing certain building projects. Contractors should contact the Workers' Compensation Board for any interpretation of regulations or procedures that have been established by this body.

The Invermere Noise Control Bylaw No. 1117, 2002 stipulates:

- 1) No person shall make or cause, or permit to be made or caused, in or on a highway or elsewhere in the municipality, any noise or sound which disturbs or tends to disturb the quiet, peace, rest, enjoyment, comfort or convenience of a person in the vicinity;
- 2) No owner or occupier of real property shall allow such real property to be used so that a noise or sound which originates from that property disturbs or tends to disturb the quiet, peace, rest, enjoyment, comfort, or convenience of a person in the vicinity;

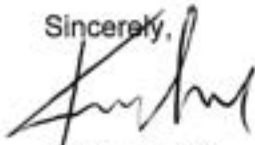
The provisions of this Bylaw do not apply to:

- 1) Construction, demolition, maintenance, repair, or excavation activities carried on between 8:00 am and 8:00 PM on Saturdays, Sundays, and Holidays;
- 2) Construction, demolition, maintenance, repair, or excavation activities carried on between 7:00 am and 9:00PM from Monday to Friday.

All electrical work is to be inspected/approved by the Electrical Inspector. Contact the Government Agent (250) 342-4260 or Safety Engineering Services (250) 426-1279 to arrange for electrical permits and inspections.

If you have any questions before or during construction, please contact the building department at the District of Invermere office (250) 342 – 9281.

Sincerely,



Kim A. Leibel
Manager of Building and Protective Services

KAL/ki

DCC Calculation: Pinetree Meadows Phase 1 Lot 4 Units 21-24
 2128-15th Ave
 Lot 1, DL 216, KD Plan NEP8385
 Folio 248.0705 - Multi Family Four Plex Residential
 PID 013-506-722
 DCC Bylaw No.1598, 2021

22-Mar-23

COPY

Generation Homes DP22.01

DCC'S PAYABLE							
	Unit #	Water DCC	Sewer DCC	Transport DCC	Parks DCC	Total DCC/unit	TOTAL DCCs
Multi Family Residential	4	\$185.00	\$5,520.00	\$2,804.00	\$121.00	\$8,630.00	\$34,520.00
	DCC due	\$740.00	\$22,080.00	\$11,216.00	\$484.00		\$34,520.00

Note: One Parent Parcel Low Density DCC Credit carried forward



ENGINEERING SECURITY REPORT



COPY

Address: LOT 3 2128 15TH AVE Folio# 248 070
Lqt 1 Block: DL: 1092 KD Plan: 8385 (NEP20703)
(EIP 12042)

Applicants Name: Phone:

Utilities Required: Water Sewer D/W Culvert None

Building permits with a construction value of:
 \$50,000 and \$200,000
 \$200,001 and \$500,000
 \$500,000 and over
 Building moving permit / Demolition

Security Deposit:
 \$ 500.00
 \$ 1,000.00
 \$ 1,500.00
 \$ 1,500.00

Total No. S/W Panels Damaged: N/A Total No. Cracks in Curb: N/A Painted: Yes No

Comments: _____

Boulevard Trees: Condition: N/A Caliper Size: N/A None:

Comments: _____

Proposed Culvert Crossing: Yes No Culvert Installed Yes No

Comments: CULVERTS ARE REQUIRED ON ALL ACCESS ROADS
INTO DEVELOPMENT

District of Invermere water curb stop, located at property line "will not" be turned On /Off at any time by any person other than District of Invermere Employee. Contact (250) 342-9281 (Bylaw 1198 section (34) \$100.00 for each offence, per day)

Please read box above before signing.

Applicant's Signature: _____ Date: _____

Date of Inspection: MAY 30/23 Inspector: [Signature]

Remarks: Occupancy can't be granted until servicing is completed

Date of Final Inspection: _____ Inspector: _____

Remarks: _____
Estimated Cost of Damages \$ _____
Amount Charged \$ _____
Refund \$ _____
Amount Due \$ _____

District of Invermere



Folio No.: 532 00248.070

Neighborhood Code: 532111

Permit Type: MFD - MULTI FAMILY DWELLING PERMIT

Permit #: 2023025

Estimated Value of Construction: 896,000.00

SQ Meters: 340

Pursuant to the bylaws applicable to the District of Invermere I, being the owner or acting with the consent of the owner, hereby make application

Description of Work: CONSTRUCTION OF AN UP AND DOWN 4 -PLEX (PHASE 1, LOT 3)

Address/Location: Unit: Street #: Street Name: Lot: Dist. Lot: Block: Plan No: Section: Township: Land District: PID: Legal: Proposed Use: MULTI-FAMILY District: Area: Zone: No. of Units:

OWNER Name: 1345408 B.C. LTD. Phone: (250) 409-4203 Add: BOX 639 City: INVERMERE Prov: BC Postal Code: V0A 1K0

CONTRACTOR Name: GENERATION HOMES Add: City: Prov: Postal Code:

Date: Signature Of Applicant: Conditions: ALL CONDITIONS NOTED ON THE ATTACHED COVER LETTER ARE APPLICABLE TO THE BUILDING PERMIT. INSPECTIONS ARE REQUIRED AS OUTLINED WITH YOUR BUILDING PERMIT. PLEASE DIRECT ANY QUESTIONS YOU MAY HAVE TO THE BUILDING DEPARTMENT.

Building Inspector: Building Permit Application Fee Date: By: Building Permit Fee Received Date: By: Water Application No. Date: By: Sewer Application No. Date: By:

Table with 2 columns: Description Of Rate, Fees. Rows include PLAN CHECK DEPOSIT, INSPECTION FEE, BUILDING PERMIT FEE, PLUMBING FIXTURE FEE, and Total Fees: \$ 7,661.00

GST Reg. No. : 10702 1271RT

District of Invermere PAID JUN 16 2023 COLLECTOR

June 14, 2023

1345408 BC Ltd.
PO Box 639
Invermere, BC V0A 1K0

Folio: 248.070

Re: Building Permit # 2023025 - "Multi- Family Dwelling, 4 – Plex, (Phase 1, Lot 3)
Legal: Lot 1, District Lot 1092, Plan NEP8385
Civic: 2128 – 15th Avenue, Invermere, BC

Attached is a building permit for the above titled construction. All materials and construction to comply with the 2018 BC Building and Plumbing Codes.

All materials and construction will be subject to on-site inspections at stages indicated with your building permit. A copy of this permit must be posted in a visible location on the property upon entrance to site and remain posted until the Building Inspector issues an Occupancy Permit. Also ensure that plans and/or specifications on which the permit is based are available on site. **It is the owner's and/or builder's responsibility to notify the District office for the necessary inspections indicated with the building permit.**

It is the owner's responsibility to ensure that their building plans conform with any prospectus, restrictive covenants or building schemes that may be registered against the title by other parties. In addition to any comments or notations that appear on your copy of the building plans, please note the following:

- 1) **Development Cost Charges** have been assessed at \$ 34,520.00 and are due before a building permit can be issued;
- 2) **Development Permit 22.01** issued is applicable and to be complied with;
- 3) **No unsafe condition** shall exist, be created, or permitted;
- 4) **All Construction must** comply with the New Energy Efficiency requirements in housing;
- 5) **All Outside Hose Taps** shall incorporate hose connection vacuum breakers pursuant to section 30 of the District of Invermere Bylaw 1198. Maintenance and winterizing of these vacuum breakers are the responsibility of the owner;
- 6) **Maximum Building Height** is 7.5m. The height is taken from finished grade of the building to the mid point between the roof eaves and the ridge of the primary roof structure;
- 7) **Foundation Walls** that will be backfilled greater than 2.3m (7.5ft) will require an engineered drawing prepared by a BC Registered Engineer with submittal to the Building Official prior to a foundation inspection;
- 8) **Retaining Walls** forming part of the dwelling exceeding 1.5m (4.9ft) in height shall be designed, sealed, and signed by a registered **British Columbia Professional Engineer** and the drawing submitted to the building official prior to construction of such;
- 9) **Community Water & Sewer Systems** to be installed in accordance with the District of Invermere subdivision and Servicing Bylaw 902. of Invermere office with sufficient notice;
- 10) **Occupancy** of the dwelling will not be granted until water meter installation and water and sewer inspections have been approved by the District of Invermere Municipal Works Department;

continued

1345408 BC Ltd.
Building Permit
Multi-Family Dwelling

- 11) **Driveways** crossing an open ditch are required to have a steel corrugated culvert installed for storm water flows;
- 12) **Soil Removed or Deposited** shall not cause a dust or dirt nuisance affecting any neighbouring property, highway, or right – of – way;
- 13) **Storm Drainage** to sanitary sewage connection is not permitted. **Storm Water Management** is the responsibility of the homeowner and is to be contained on site. No negative impact to the natural storm drainage course is permitted;
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You must notify the Municipal Office at least three days prior to the proposed date of connection to the sewer and water laterals so that this work may be inspected and recorded. The District requires that connections are not covered and that all trenching complies with W.C.B. regulation and standards. If these requirements are not met District will not approve connections.

The elevation of the basement should be higher than the sewer line abutting the property in order to achieve the minimum 2% grade. In certain situations, it is necessary for the owner to install a sewer pump in the basement of the building.

Pursuant to Section 4.5 (4) of Zoning Bylaw No. 1145, each multi-family dwelling requires 1.5 off-street parking spaces with minimum dimensions of 2.7 m x 6 m.

Any contractor employed during the construction of this building must have a valid Business Licence for the current year. In British Columbia, it is compulsory to hold a Trades Qualification Certificate to work in the following trades: Plumbing, Refrigeration, and Roofing (Damp and waterproofing), Sheet Metal Work, Sprinkler Fitting and Steam Fitting/Pipe Fitting.

The recipient of this Building Permit is reminded that a Notice of Project is required to be completed and submitted to the Workers' Compensation Board of British Columbia prior to commencing certain building projects. Contractors should contact the Workers' Compensation Board for any interpretation of regulations or procedures that have been established by this body.

continued

1345408 BC Ltd.
Building Permit
Multi-Family Dwelling

The Invermere Noise Control Bylaw No. 1117, 2002 stipulates:

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The provisions of this Bylaw do not apply to:

- 1) Construction, demolition, maintenance, repair, or excavation activities carried on between 8:00 am and 8:00 PM on Saturdays, Sundays, and Holidays;
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All electrical/gas work is to be inspected/approved by the Electrical/Gas Inspector. Contact the Technical Safety BC to arrange for permits and inspections.

If you have any questions before or during construction, please contact the building department at the District of Invermere office (250) 342 – 9281.

Sincerely,



Kim A. Leibel
Manager of Building and Protective Services

KAL/kl

District of Invermere



Date: 19-Jun-2023 Page: 1
 Issue Date: 19-Jun-2023 Time: 2:43 pm

Folio No.: Neighborhood Code:

Permit Type: Permit #: Estimated Value of Construction: SQ Meters:

Pursuant to the bylaws applicable to the District of Invermere I, being the owner or acting with the consent of the owner, hereby make application

Description of Work:

Address/Location: Unit: Street #: Street Name:

Legals: Lot: Dist. Lot: Block: Plan No.: Section: Township: Land District: PID:

Proposed Use: District: Area: Zone: No. of Units:

OWNER
 Name:
 Phone: Add:
 Fax: Add:
 City: Prov: Postal Code:

CONTRACTOR
 Name:
 Phone: Add:
 Fax: Add:
 City: Prov: Postal Code:

Date: Signature Of Applicant:

Conditions: ALL CONDITIONS NOTED ON THE ATTACHED COVER LETTER ARE APPLICABLE AND TO BE COMPLIED WITH. INSPECTIONS ARE REQUIRED AS OUTLINED WITH YOUR PERMIT AND IN THE BUILDING BYLAW. PLEASE DIRECT YOUR QUESTIONS TO THE BUILDING DEPARTMENT.

Building Inspector:

Building Permit Application Fee Date: <input type="text"/> By: <input type="text"/> <input type="checkbox"/> CASH <input type="checkbox"/> CHEQUE RECEIPT # <input type="text"/> Building Permit Fee Received Date: <input type="text"/> By: <input type="text"/> <input type="checkbox"/> CASH <input type="checkbox"/> CHEQUE RECEIPT # <input type="text"/>	Water Application No. Date: <input type="text"/> By: <input type="text"/> <input type="checkbox"/> CASH <input type="checkbox"/> CHEQUE RECEIPT # <input type="text"/> Sewer Application No. Date: <input type="text"/> By: <input type="text"/> <input type="checkbox"/> CASH <input type="checkbox"/> CHEQUE RECEIPT # <input type="text"/>
---	--

Description Of Rate:	Fees:
PLAN CHECK DEPOSIT	-200.00
INSPECTION FEE	6,274.43
BUILDING PERMIT FEE	60.00
PLUMBING FIXTURE FEE	333.00
Total Fees:	\$ 6,467.43

GST Reg. No. : 10702 1271RT

June 19, 2023

1345408 BC Ltd.
PO Box 639
Invermere, BC V0A 1K0

Folio: 248.070

Re: Building Permit # 2023025 - "Multi- Family Dwelling, 4 – Plex, (Phase 1, Lot 2)
Legal: Lot 1, District Lot 1092, Plan NEP8385
Civic: 2128 – 15th Avenue, Invermere, BC

Attached is a building permit for the above titled construction. All materials and construction to comply with the 2018 BC Building and Plumbing Codes.

All materials and construction will be subject to on-site inspections at stages indicated with your building permit. A copy of this permit must be posted in a visible location on the property upon entrance to site and remain posted until the Building Inspector issues an Occupancy Permit. Also ensure that plans and/or specifications on which the permit is based are available on site. **It is the owner's and/or builder's responsibility to notify the District office for the necessary inspections indicated with the building permit.**

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- 4) **All Construction must** comply with the New Energy Efficiency requirements in housing;
- 5) **All Outside Hose Taps** shall incorporate hose connection vacuum breakers pursuant to section 30 of the District of Invermere Bylaw 1198. Maintenance and winterizing of these vacuum breakers are the responsibility of the owner;
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continued

1345408 BC Ltd.
Building Permit
Multi-Family Dwelling

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continued

1345408 BC Ltd.
Building Permit
Multi-Family Dwelling

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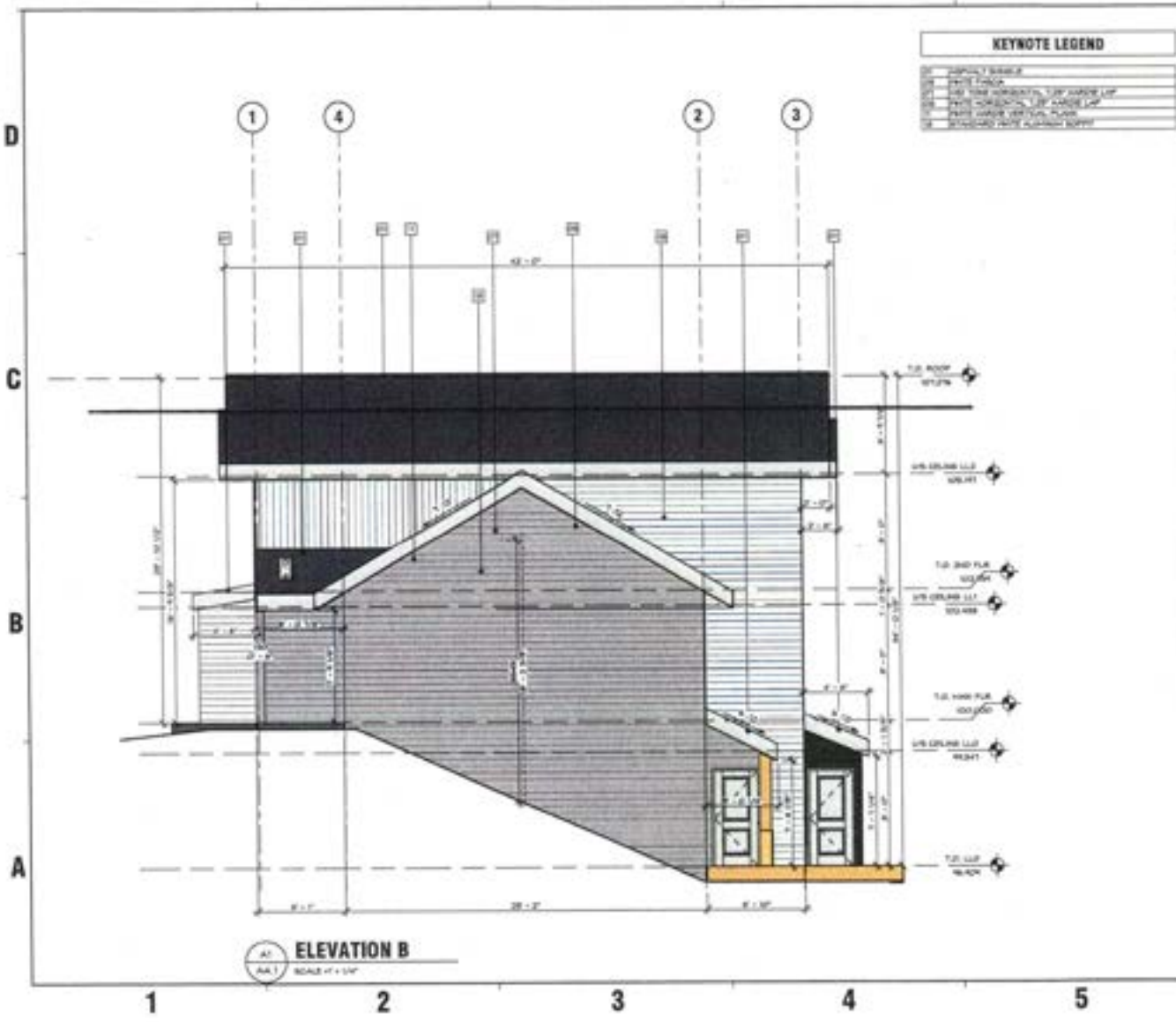
Sincerely,



Kim A. Leibel
Manager of Building and Protective Services

KAL/kl

Save as elevation D
 $= \frac{1}{4} = 7.5m$ (max)



KEYNOTE LEGEND	
1	ROOFING
2	WALLS
3	FLOORS
4	DOORS
5	WINDOWS
6	CLADDING
7	LANDSCAPE
8	OTHER



berry architecture
ASSOCIATES

NO. 1

© THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION OF BERRY ARCHITECTURE

REVISIONS & ISSUES

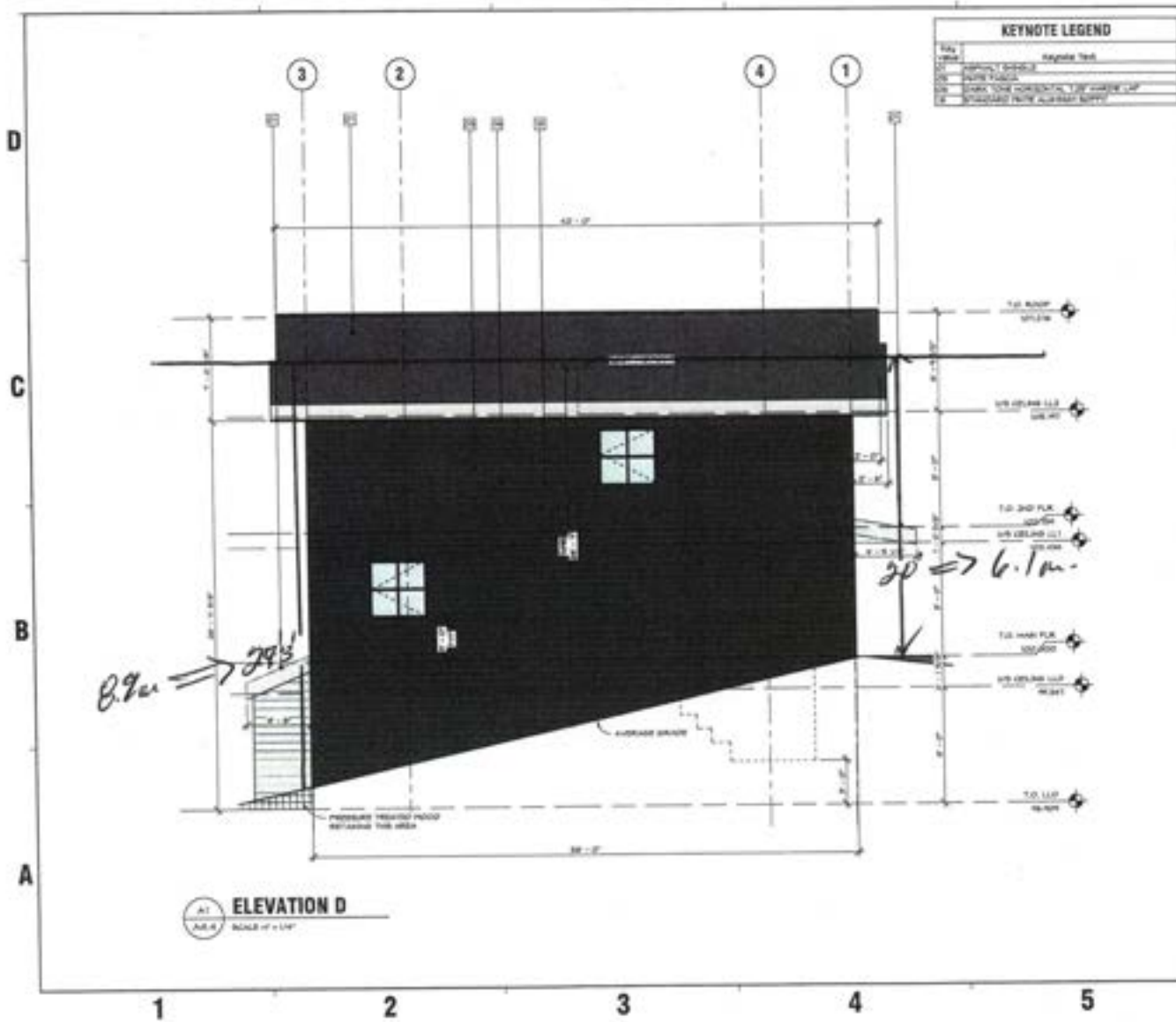
NO.	DATE	DESCRIPTION

Pinetree Meadows
Phase 1, Lot 2
 Generation Homes
 15 Ave Invermere BC

EXTERIOR BUILDING ELEVATIONS

DATE	T + UV
DESIGN	RKD
DRAWING	SH/SH
DATE	OCT 21
NO.	21-070

A4.1



KEYNOTE LEGEND	
1	Keynote Text
2	Keynote Symbol
3	Keynote Symbol
4	Keynote Symbol


 berry architecture
 ASSOCIATES

SCALE

* THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION OF BERRY ARCHITECTURE

REVISIONS & ISSUES
 DATE: 20-07-20
 BY: [unclear]
 CHECKED: [unclear]

PROJECT TITLE
**Pinetree Meadows
 Phase 1, Lot 2**
 Generation Homes
 15 Ave Invermere BC

DRAWING TITLE
**EXTERIOR
 BUILDING
 ELEVATIONS**

SCALE: 1/4"
 DATE: 20-07-20
 DRAWN: [unclear]
 OCT 21
 20-070 **A4.4**

Scale 2 1:100
 1 unit = 465'

$$\bar{H} = \frac{8.9m + 6.1m}{2}$$

Elevation D and Elevation B
 are the same in the
 Foot corner Ave. $\bar{H} = 7.5m$ ok.

$H = 7.5m$ ✓ ok (at limit).

[Handwritten signature]

DCC Calculation: Pinetree Meadows Phase 1 Lot 2 Units 29-32
 2128-15th Ave
 Lot 1, DL 216, KD Plan NEP8385
 Folio 248.0705 - Multi Family Four Plex Residential
 PID 013-506-722
 DCC Bylaw No.1598, 2021

20-Jun-23

COPY

Generation Homes DP22.01

DCC'S PAYABLE							
	Unit #	Water DCC	Sewer DCC	Transport DCC	Parks DCC	Total DCC/unit	TOTAL DCCs
Multi Family Residential Building Lot 2 Units 29-32	4	\$185.00	\$5,520.00	\$2,804.00	\$121.00	\$8,630.00	\$34,520.00
	DCC due	\$740.00	\$22,080.00	\$11,216.00	\$484.00		\$34,520.00



ENGINEERING SECURITY REPORT



Address: 2128 15TH AVE Folio# 248.070 (New Lot 2)

Lot: 1 Block: _____ DL: 1092 KD Plan: 8385

COPY

Applicants Name: GENERATION HOMES Phone: _____

Utilities Required: Water Sewer D/W Culvert None

Building permits with a construction value of:

- \$50,000 and \$200,000
- \$200,001 and \$500,000
- \$500,000 and over
- Building moving permit / Demolition

Security Deposit:

- \$ 500.00
- \$ 1,000.00
- \$ 1,500.00
- \$ 1,500.00

Total No. S/W Panels Damaged: N/A Total No. Cracks in Curb: N/A Painted: Yes No

Comments: _____

Boulevard Trees: Condition: N/A Caliper Size: N/A None:

Comments: _____

Proposed Culvert Crossing: Yes No Culvert Installed Yes No

Comments: CULVERTS REQUIRED ON ALL ACCESS ROADS.

District of Invermere water curb stop, located at property line "will not" be turned On /Off at any time by any person other than District of Invermere Employee. Contact (250) 342-9281 (Bylaw 1198 section (34) \$100.00 for each offence, per day)

Please read box above before signing.

Applicant's Signature: _____ Date: _____

Date of Inspection: JUNE 23/23 Inspector: [Signature]

Remarks: _____

Date of Final Inspection: _____ Inspector: _____

Remarks: _____	Estimated Cost of Damages	\$ _____
_____	Amount Charged	\$ _____
_____	Refund	\$ _____
_____	Amount Due	\$ _____



DISTRICT OF INVERMERE UTILITY SERVICE CONNECTION APPLICATION

A

APPLICANT GENERATION HOMES PHONE 250-341-5591 EMAIL _____

CIVIC ADDRESS OF PROPERTY 2128 15TH AVE

LOT 1 BLOCK _____ D.L. 1092 K.D. PLAN 8385

REGISTERED OWNER GENERATION HOMES

ADDRESS _____

<input type="checkbox"/> Install New	<input type="checkbox"/> Pre-serviced	<input type="checkbox"/> Renew	<input type="checkbox"/> Remove	<input checked="" type="checkbox"/> Water	<input type="checkbox"/> Sewer	<input checked="" type="checkbox"/> Meters	<input type="checkbox"/> Waste/Recycle
<input type="checkbox"/> 5/8" x 3/4" meter to be pick up at District Office \$774.04 R.F. Meter (Actual cost of meter tax incl.)						X 4	\$ 3096.16
<input type="checkbox"/> 3/4" x 3/4" meter to be pick up at District Office \$ _____ R.F. Meter (Actual cost of meter)							\$
<input type="checkbox"/> 1" meter to be picked up at District Office \$1,073.77 R.F. Meter (Actual cost of meter)							\$
<input type="checkbox"/> 1 1/2" meter to be picked up at District Office \$ _____ R.F. Meter (Actual cost of meter)							\$
<input type="checkbox"/> Water Turn On / Turn Off \$50.00							\$
<input type="checkbox"/> 1 Waste and 1 Recycle cart \$230.00							\$
<input checked="" type="checkbox"/> Security Deposit							\$ 1500 ⁰⁰
<input type="checkbox"/> Installation of Water/Sewer Service: Pursuant to the attached estimate form							\$
<input type="checkbox"/> Water Inspection Fee (\$200.00 per inspection)							\$
<input type="checkbox"/> Sewer Inspection Fee (\$200.00 per inspection)							\$
Sub Total \$							
Balance Owing \$							4596.16

It is mutually agreed that all works will conform with approved engineering practices and material and the installation will comply with the Bylaws, conditions and regulations of the District of Invermere.

District of Invermere water curb stop, located at property line "will not" be turned On/Off at any time by any person other than District of Invermere employee. Contact 250-342-9281 (Bylaw 1198 (34) \$100.00 for each offence per, day)

Please read box above before signing.

Signature of Applicant: _____ Date: _____

OFFICE USE ONLY

Date of connection/inspection: _____

Inspected by: _____

CUSTOMER SIGNATURE

Meter date of pick up: _____

Picked up by: _____

District of Invermere



Folio No.: Neighborhood Code:

Permit Type: Permit #: Estimated Value of Construction: SQ Meters:

Pursuant to the bylaws applicable to the District of Invermere I, being the owner or acting with the consent of the owner, hereby make application

Description of Work:

Address/Location: Unit: Street #: Street Name:

Legals: Lot: Dist. Lot: Block: Plan No.: Section: Township: Land District: PID:

Proposed Use: District: Area: Zone: No. of Units:

OWNER
 Name: 1345408 B.C. LTD
 Phone: 250
 Add: BOX 639
 Fax:
 City: INVERMERE Prov: BC Postal Code: V0A 1K0

CONTRACTOR
 Name: GENERATION HOMES
 Phone:
 Add:
 Fax:
 City: Prov: Postal Code:

Date: Signature Of Applicant:

Conditions: ALL CONDITIONS NOTED ON THE ATTACHED COVER LETTER ARE APPLICABLE AND TO BE COMPLIED WITH. INSPECTIONS ARE REQUIRED AS OUTLINED WITH YOUR PERMIT AND IN THE BUILDING BYLAW. PLEASE DIRECT YOUR QUESTIONS TO THE BUILDING DEPARTMENT.

Building Inspector:

Building Permit Application Fee Date: By: <input type="checkbox"/> CASH <input type="checkbox"/> CHEQUE RECEIPT # Building Permit Fee Received Date: By: <input type="checkbox"/> CASH <input type="checkbox"/> CHEQUE RECEIPT #	Water Application No. Date: By: <input type="checkbox"/> CASH <input type="checkbox"/> CHEQUE RECEIPT # Sewer Application No. Date: By: <input type="checkbox"/> CASH <input type="checkbox"/> CHEQUE RECEIPT #
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Description Of Rate:	Fees:
PLAN CHECK DEPOSIT	-200.00
INSPECTION FEE	7,434.57
BUILDING PERMIT FEE	60.00
PLUMBING FIXTURE FEE	369.00
Total Fees:	\$ 7,663.57

June 19, 2023

1345408 BC Ltd.
PO Box 639
Invermere, BC V0A 1K0

Folio: 248.070

Re: Building Permit # 2023025 - "Multi- Family Dwelling, 4 – Plex, (Phase 1, Lot 1)
Legal: Lot 1, District Lot 1092, Plan NEP8385
Civic: 2128 – 15th Avenue, Invermere, BC

Attached is a building permit for the above titled construction. All materials and construction to comply with the 2018 BC Building and Plumbing Codes.

All materials and construction will be subject to on-site inspections at stages indicated with your building permit. A copy of this permit must be posted in a visible location on the property upon entrance to site and remain posted until the Building Inspector issues an Occupancy Permit. Also ensure that plans and/or specifications on which the permit is based are available on site. **It is the owner's and/or builder's responsibility to notify the District office for the necessary inspections indicated with the building permit.**

It is the owner's responsibility to ensure that their building plans conform with any prospectus, restrictive covenants or building schemes that may be registered against the title by other parties. In addition to any comments or notations that appear on your copy of the building plans, please note the following:

- 1) **Development Cost Charges** have been assessed at \$ 34,520.00 and are due before a building permit can be issued;
- 2) **Development Permit 22.01** issued is applicable and to be complied with;
- 3) **No unsafe condition** shall exist, be created, or permitted;
- 4) **All Construction must** comply with the New Energy Efficiency requirements in housing;
- 5) **All Outside Hose Taps** shall incorporate hose connection vacuum breakers pursuant to section 30 of the District of Invermere Bylaw 1198. Maintenance and winterizing of these vacuum breakers are the responsibility of the owner;
- 6) **Maximum Building Height** is 7.5m. The height is taken from finished grade of the building to the mid point between the roof eaves and the ridge of the primary roof structure;
- 7) **Foundation Walls** that will be backfilled greater than 2.3m (7.5ft) will require an engineered drawing prepared by a BC Registered Engineer with submittal to the Building Official prior to a foundation inspection;
- 8) **Retaining Walls** forming part of the dwelling exceeding 1.5m (4.9ft) in height shall be designed, sealed, and signed by a registered **British Columbia Professional Engineer** and the drawing submitted to the building official prior to construction of such;
- 9) **Community Water & Sewer Systems** to be installed in accordance with the District of Invermere subdivision and Servicing Bylaw 902. of Invermere office with sufficient notice;
- 10) **Occupancy** of the dwelling will not be granted until water meter installation and water and sewer inspections have been approved by the District of Invermere Municipal Works Department;

continued

1345408 BC Ltd.
Building Permit
Multi-Family Dwelling

- 11) **Driveways** crossing an open ditch are required to have a steel corrugated culvert installed for storm water flows;
- 12) **Soil Removed or Deposited** shall not cause a dust or dirt nuisance affecting any neighbouring property, highway, or right – of – way;
- 13) **Storm Drainage** to sanitary sewage connection is not permitted. **Storm Water Management** is the responsibility of the homeowner and is to be contained on site. No negative impact to the natural storm drainage course is permitted;
- 14) **Whenever it is found** by the "authority having jurisdiction" that work is not being performed in accordance with the BC Building or Plumbing Codes or Bylaws, a Stop Work Order may be posted, and all work will not progress other than the required remedial measures until further notice by the "authority having jurisdiction";
- 15) **No alterations and/or revisions** are permitted to the construction drawings submitted or construction on site unless proposed changes are submitted to Building Inspector for review, comment and/or approval prior;
- 16) **All materials to be disposed of** from the construction site are to be disposed of at the Windermere Landfill site. Hours of operation are 9:00 a.m. to 6:00 p.m. If you require additional information, please contact the R.D.E.K. at 1-888-478-7335.

You must notify the Municipal Office at least three days prior to the proposed date of connection to the sewer and water laterals so that this work may be inspected and recorded. The District requires that connections are not covered and that all trenching complies with W.C.B. regulation and standards. If these requirements are not met District will not approve connections.

The elevation of the basement should be higher than the sewer line abutting the property in order to achieve the minimum 2% grade. In certain situations, it is necessary for the owner to install a sewer pump in the basement of the building.

Pursuant to Section 4.5 (4) of Zoning Bylaw No. 1145, each multi-family dwelling requires 1.5 off-street parking spaces with minimum dimensions of 2.7 m x 6 m.

Any contractor employed during the construction of this building must have a valid Business Licence for the current year. In British Columbia, it is compulsory to hold a Trades Qualification Certificate to work in the following trades: Plumbing, Refrigeration, and Roofing (Damp and waterproofing), Sheet Metal Work, Sprinkler Fitting and Steam Fitting/Pipe Fitting.

The recipient of this Building Permit is reminded that a Notice of Project is required to be completed and submitted to the Workers' Compensation Board of British Columbia prior to commencing certain building projects. Contractors should contact the Workers' Compensation Board for any interpretation of regulations or procedures that have been established by this body.

continued

1345408 BC Ltd.
Building Permit
Multi-Family Dwelling

The Invermere Noise Control Bylaw No. 1117, 2002 stipulates:

- 1) No person shall make or cause, or permit to be made or caused, in or on a highway or elsewhere in the municipality, any noise or sound which disturbs or tends to disturb the quiet, peace, rest, enjoyment, comfort or convenience of a person in the vicinity;
- 2) No owner or occupier of real property shall allow such real property to be used so that a noise or sound which originates from that property disturbs or tends to disturb the quiet, peace, rest, enjoyment, comfort, or convenience of a person in the vicinity;

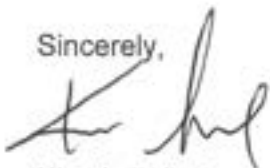
The provisions of this Bylaw do not apply to:

- 1) Construction, demolition, maintenance, repair, or excavation activities carried on between 8:00 am and 8:00 PM on Saturdays, Sundays, and Holidays;
- 2) Construction, demolition, maintenance, repair, or excavation activities carried on between 7:00 am and 9:00PM from Monday to Friday.

All electrical/gas work is to be inspected/approved by the Electrical/Gas Inspector. Contact the Technical Safety BC to arrange for permits and inspections.

If you have any questions before or during construction, please contact the building department at the District of Invermere office (250) 342 – 9281.

Sincerely,



Kim A. Leibel
Manager of Building and Protective Services

KAL/ki

DCC Calculation: Pinetree Meadows Phase 1 Lot 1 Units 33-36
2128-15th Ave

15-Jun-23

Lot 1, DL 216, KD Plan NEP8385
Folio 248.0705 - Multi Family Four Plex Residential
PID 013-606-722
DCC Bylaw No.1598, 2021

Generation Homes DP22.01

DCC'S PAYABLE

Multi Family Residential	Unit #	Water DCC	Sewer DCC	Transport DCC	Parks DCC	Total DCC/unit	TOTAL DCCs
	4	\$185.00	\$5,520.00	\$2,804.00	\$121.00	\$8,630.00	\$34,520.00
	DCC due	\$740.00	\$22,080.00	\$11,216.00	\$484.00		\$34,520.00



ENGINEERING SECURITY REPORT

COPY



Address: 2128 15TH AVE

Folio# 248.070

(New Lot 1)

Lot: 1

Block:

DL: 1092

KD Plan: 8385

Applicants Name: GENERATION HOMES Phone:

Utilities Required: Water Sewer D/W Culvert None

Building permits with a construction value of:

\$50,000 and \$200,000

\$200,001 and \$500,000

\$500,000 and over

Building moving permit / Demolition

Security Deposit:

\$ 500.00

\$ 1,000.00

\$ 1,500.00

\$ 1,500.00

Total No. S/W Panels Damaged: N/A Total No. Cracks in Curb: N/A Painted: Yes No

Comments:

Boulevard Trees: Condition: N/A

Calliper Size: N/A

None:

Comments:

Proposed Culvert Crossing: Yes No

Culvert Installed Yes No

Comments: CULVERTS REQUIRED ON ALL ACCESS ROADS.

District of Invermere water curb stop, located at property line "will not" be turned On /Off at any time by any person other than District of Invermere Employee. Contact (250) 342-9281 (Bylaw 1198 section (34) \$100.00 for each offence, per day)

Please read box above before signing.

Applicant's Signature: _____

Date: _____

Date of Inspection: JUNE 23/23

Inspector:

Remarks: _____

Date of Final Inspection: _____

Inspector: _____

Remarks: _____	Estimated Cost of Damages	\$ _____
_____	Amount Charged	\$ _____
_____	Refund	\$ _____
_____	Amount Due	\$ _____



DISTRICT OF INVERMERE UTILITY SERVICE CONNECTION APPLICATION

COPY

APPLICANT GENERATION HOMES PHONE _____ EMAIL _____

CIVIC ADDRESS OF PROPERTY 2128 15TH AVE

LOT 1 BLOCK _____ D.L. 1092 K.D PLAN 8385

REGISTERED OWNER _____

ADDRESS _____

<input type="checkbox"/> Install New	<input type="checkbox"/> Pre-serviced	<input type="checkbox"/> Renew	<input type="checkbox"/> Remove	<input checked="" type="checkbox"/> Water	<input checked="" type="checkbox"/> Sewer	<input checked="" type="checkbox"/> Meters	<input type="checkbox"/> Waste/Recycle
<input type="checkbox"/> 5/8" x 3/4" meter to be pick up at District Office							\$774.04 R.F. Meter (Actual cost of meter tax incl.) x 4 \$ 3096.16
<input type="checkbox"/> 3/4" x 3/4" meter to be pick up at District Office							\$ _____ R.F. Meter (Actual cost of meter) \$
<input type="checkbox"/> 1" meter to be picked up at District Office							\$1,073.77 R.F. Meter (Actual cost of meter) \$
<input type="checkbox"/> 1 1/2" meter to be picked up at District Office							\$ _____ R.F. Meter (Actual cost of meter) \$
<input type="checkbox"/> Water Turn On / Turn Off							\$50.00 \$
<input type="checkbox"/> 1 Waste and 1 Recycle cart							\$230.00 \$
<input checked="" type="checkbox"/> Security Deposit							\$ 1500
<input type="checkbox"/> Installation of Water/Sewer Service:							\$
Pursuant to the attached estimate form							
<input type="checkbox"/> Water Inspection Fee (\$200.00 per inspection)							\$
<input type="checkbox"/> Sewer Inspection Fee (\$200.00 per inspection)							\$
Sub Total \$							
Balance Owing \$							<u>4596.16</u>

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OFFICE USE ONLY

Date of connection/inspection: _____

Inspected by: _____

CUSTOMER SIGNATURE

Meter date of pick up: _____

Picked up by: _____