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ASSOCIATES

SEALS

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REVISIONS + ISSUES

2023 04 02	ISSUED FOR
2023 04 02	RE-SUBMITTED FOR BUILDING PERMITS
2023 05 31	PERMITS
2024 03 07	ISSUED WALL ASSEMBLY

**Pinetree Meadows**  
**Phase 1, Lots 1,3,5**  
**15 Ave Invermere BC**

PROJECT TITLE

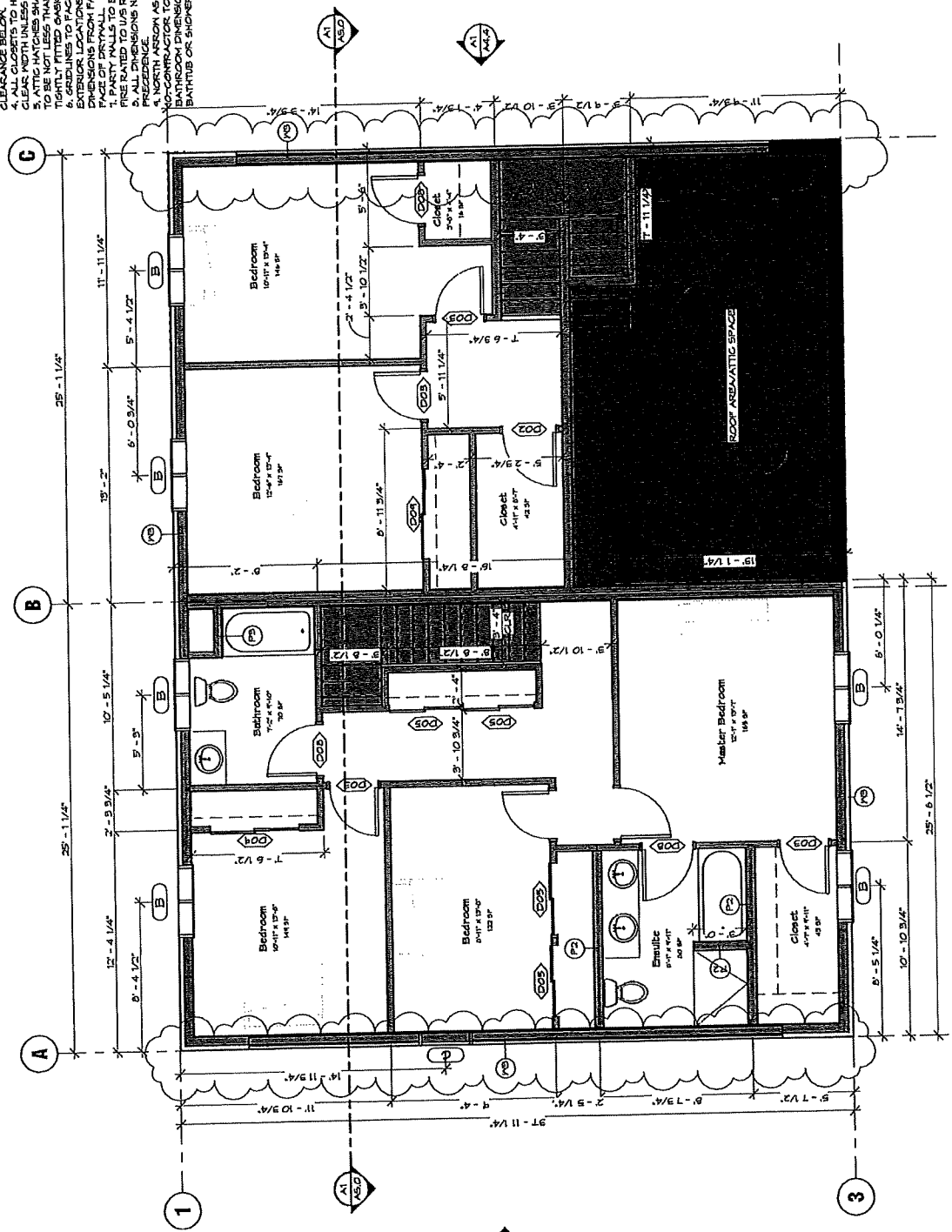
**SECOND FLOOR PLAN**

DRAWING TITLE

SCALE: As Indicated
DRAWN: RCD
CHECKED: JM/RR
OCT 21
21-070
<b>A3.2</b>

**GENERAL NOTES**

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTRED IN OPENING UNLESS NOTED OTHERWISE.
3. ALL BUILDINGS TO HAVE MIN. 10" CLEAR UNDER DOORS.
4. ALL CLOSETS TO HAVE 3'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE.
5. ATTIC HATCHES SHALL BE PROVIDED TO BE LIMITED MARKET AND LOWERS, AT GRIDLINES TO FACE OF EXTERIOR, AT EXTERIOR LOCATIONS. INTERIOR DIMENSIONS FROM FACE OF DRYWALL TO FACE RATED TO US ROOF DECK.
6. ALL DIMENSIONS NOTED "CLR" TO TAKE PRECEDENCE.
7. CONTRACTOR TO CONFIRM BATHROOM DIMENSION TO SUIT SUPPLIED BATHTUB OR SHOWER AND SURROUNDS.



**SECOND FLOOR PLAN**  
SCALE 1/8" = 1'-0"

1 2 3 4 5



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REVISIONS + ISSUES

NO.	DATE	ISSUE
0001	04.02	ISSUED FOR BUILDING PERMIT
0002	05.02	ISSUED FOR BUILDING PERMIT
0003	04.02	ISSUED FOR BUILDING PERMIT
0004	08.21	CONSTRUCTION

# Pinetree Meadows Phase 1, Lots 1,3,5 Generation Homes BC

PROJECT TITLE

# ROOF PLAN

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RMD

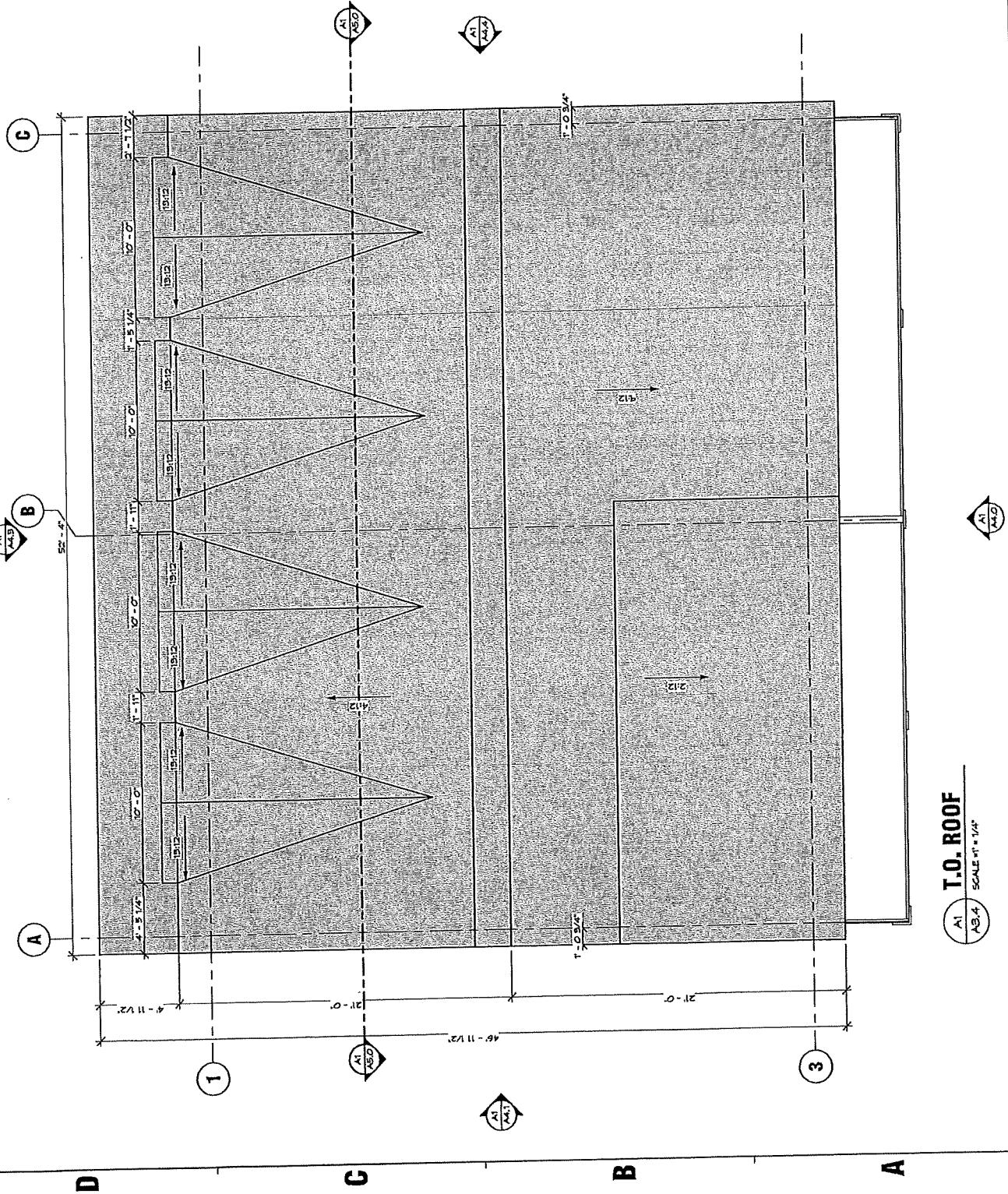
CHECKED: JM/RR

OCT 21

21-070

T.O. ROOF

SCALE: 1" = 1/4"





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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION
01	10/21/21	ISSUED FOR PERMIT
02	10/21/21	ISSUED FOR PERMIT
03	10/21/21	ISSUED FOR PERMIT
04	10/21/21	ISSUED FOR PERMIT
05	10/21/21	ISSUED FOR PERMIT

**Pinetree Meadows  
Phase 1, Lots 1,3,5**  
Generation Homes BC  
15 Ave Invermere BC

PROJECT TITLE

**EXTERIOR  
BUILDING  
ELEVATIONS**

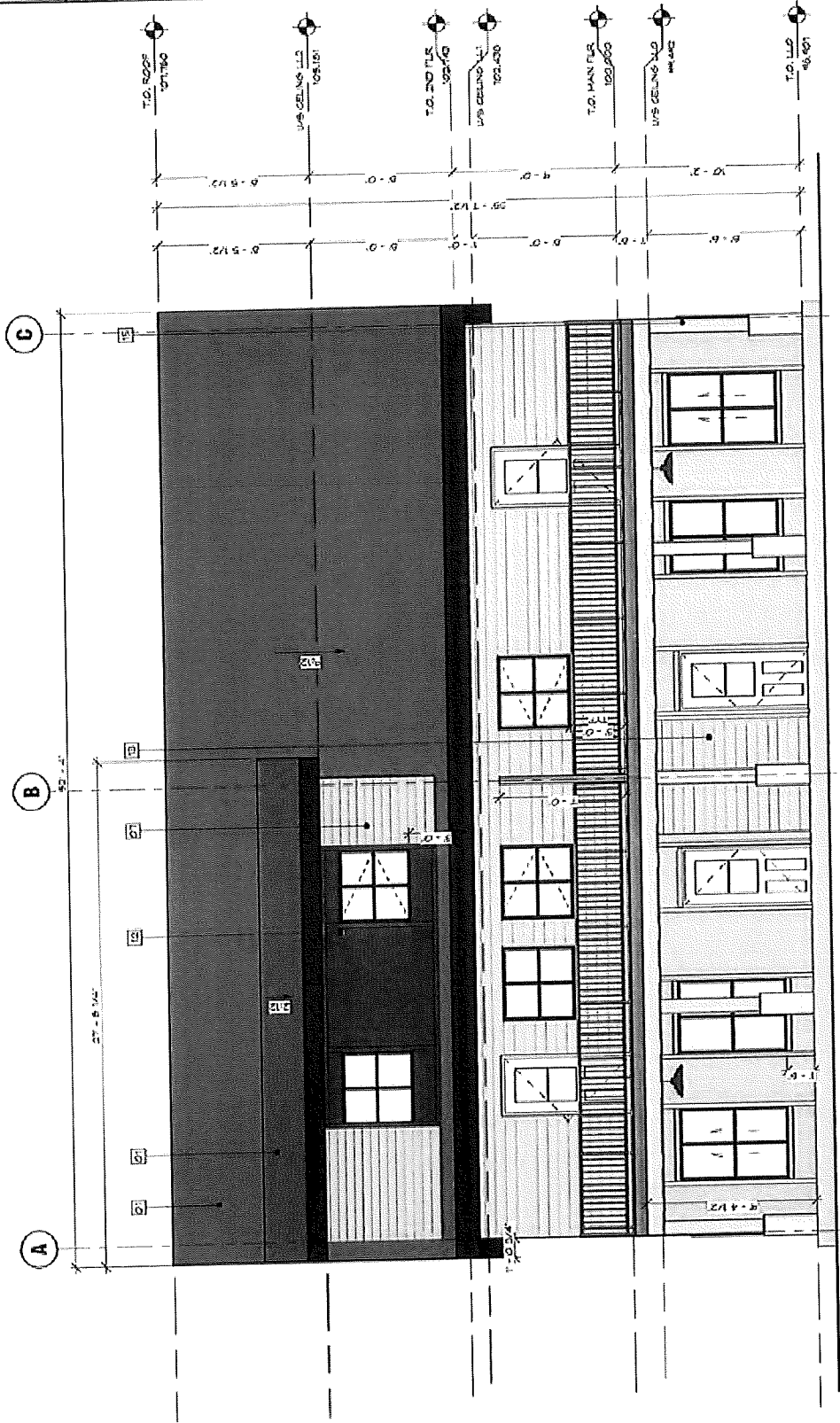
DRAWING TITLE

SCALE: 1" = 1/4"
DRAWN: RMD/JJE
CHECKED: IM/RR
OCT 21
21-070

**A4.0**

KEYNOTE LEGEND

- 01 ASPHALT SHINGLE
- 02 HD LVS HORIZONTAL 1/2" MANOE LAM
- 03 DARK TONE MANOE BOARD AND BATTEN
- 04 MD TONE MANOE BOARD AND BATTEN
- 05 SOLID WOOD COLUMN WITH PINNED MANOE BASE



**ELEVATION A**  
A1 SCALE: 1/4" = 1'

1 2 3 4 5



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REVISIONS + ISSUES

REVISED FOR	DATE
ISSUING SET	
FOR PERMITTING	
FOR CONSTRUCTION	

Pinetree Meadows  
Phase 1, Lots 1,3,5  
Generation Homes BC  
15 Ave Invermere BC

PROJECT TITLE

EXTERIOR  
BUILDING  
ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: R/C/A/E

CHECKED: M/R/R

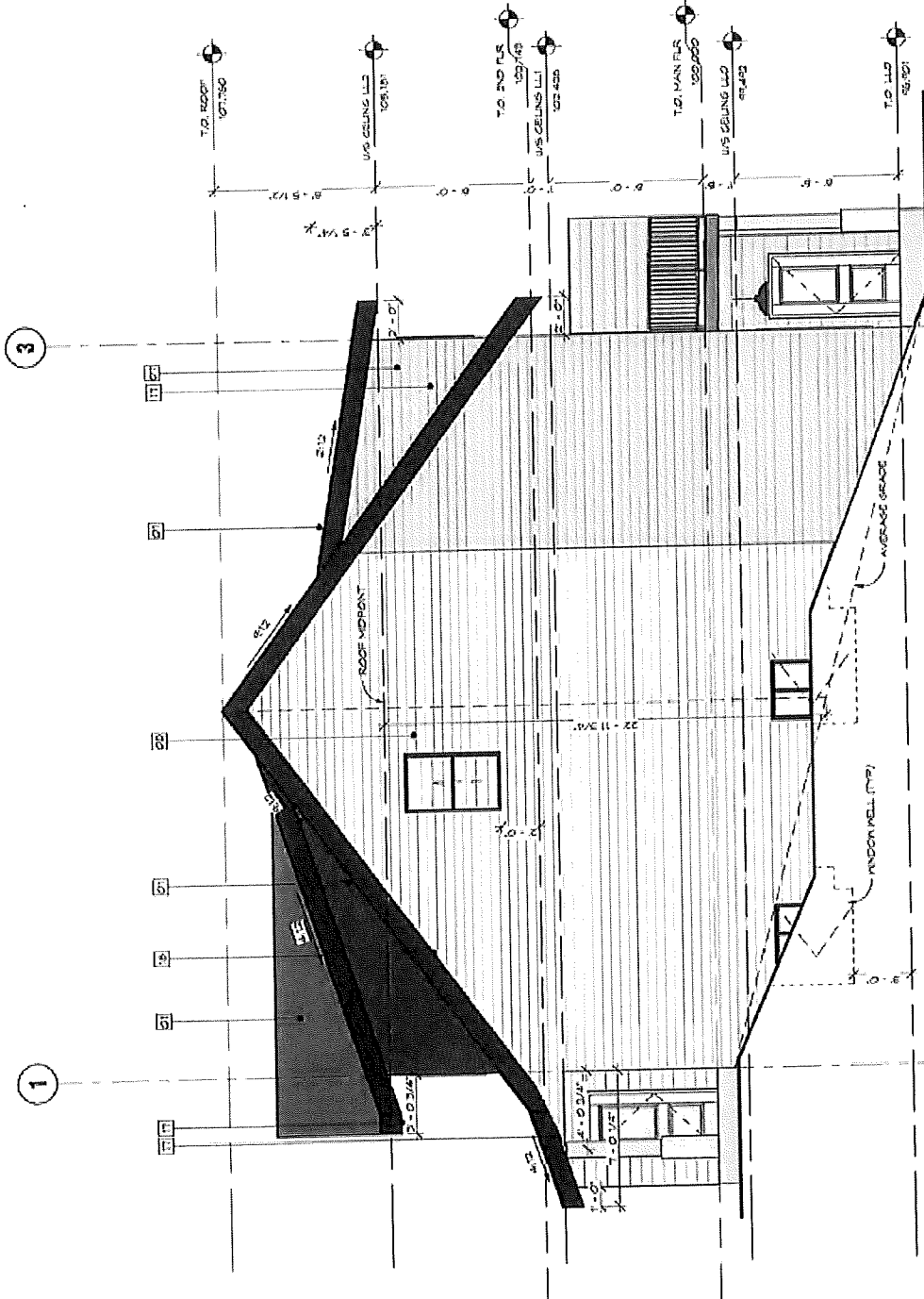
OCT 21

21-070

A4.1

KEYNOTE LEGEND

- 01 ASPHALT SHINGLE
- 02 1/2" X 1/2" HORIZONTAL 1/2" HARGE LAP
- 03 1/2" X 1/2" HORIZONTAL 1/2" HARGE LAP
- 04 1/2" X 1/2" HORIZONTAL 1/2" HARGE LAP
- 05 1/2" X 1/2" HORIZONTAL 1/2" HARGE LAP
- 06 1/2" X 1/2" HORIZONTAL 1/2" HARGE LAP
- 07 1/2" X 1/2" HORIZONTAL 1/2" HARGE LAP
- 08 1/2" X 1/2" HORIZONTAL 1/2" HARGE LAP
- 09 1/2" X 1/2" HORIZONTAL 1/2" HARGE LAP
- 10 1/2" X 1/2" HORIZONTAL 1/2" HARGE LAP
- 11 1/2" X 1/2" HORIZONTAL 1/2" HARGE LAP
- 12 1/2" X 1/2" HORIZONTAL 1/2" HARGE LAP



ELEVATION B  
SCALE 1/4" = 1'-0"

1 2 3 4 5

D C B A



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REVISIONS + ISSUES

DATE	ISSUE
10/21/21	ISSUED FOR PERMITS
10/21/21	REVISED PERMITS
10/21/21	CONSTRUCTION

**Pinetree Meadows**  
Phase 1, Lots 1,3,5  
Generation Homes BC  
15 Ave Invermere BC

**EXTERIOR BUILDING ELEVATIONS**

DRAWING TITLE

SCALE: 1" = 1/4"

DATE: 10/21/21

DESIGNED BY: RMD/JE

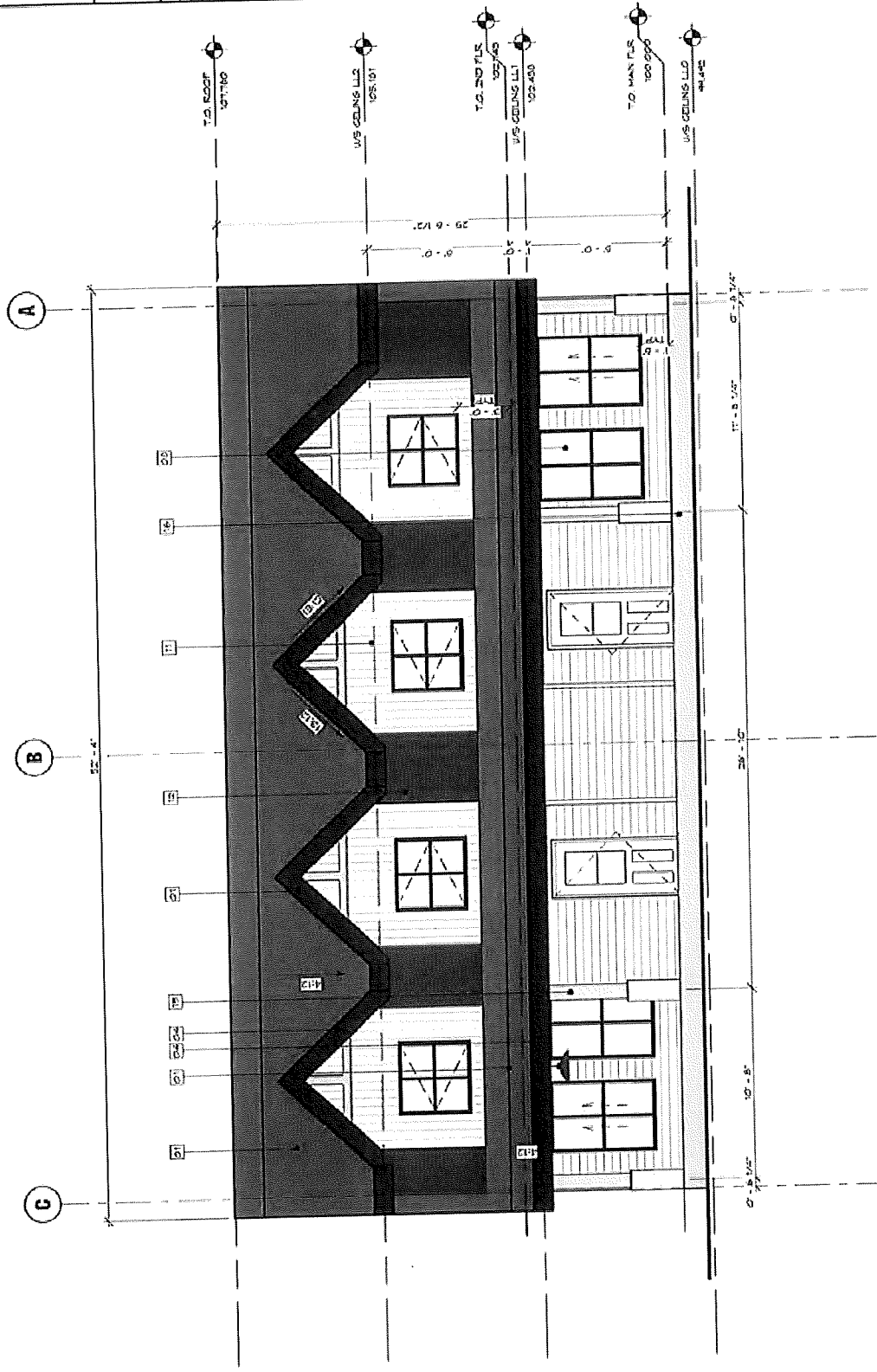
CHECKED BY: IM/RR

OCT 21 21-070

**A4.3**

**KEYNOTE LEGEND**

01	ASPHALT SHINGLE
04	CHARCOAL FASZIA
05	WHITE HORIZONTAL 1.25" WOOD LAM
11	WHITE HORIZONTAL 1.25" WOOD LAM
12	WHITE HORIZONTAL 1.25" WOOD LAM
13	WHITE HORIZONTAL 1.25" WOOD LAM
14	WHITE HORIZONTAL 1.25" WOOD LAM
15	CONCRETE PARTIEN WALL/FLOOR FASZIA AS SHED



**ELEVATION C**  
SCALE: 1" = 1/4"

1 2 3 4 5



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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION
1	10/21/21	ISSUED FOR PERMITS
2	10/21/21	ISSUED FOR PERMITS
3	10/21/21	ISSUED FOR PERMITS
4	10/21/21	ISSUED FOR PERMITS
5	10/21/21	ISSUED FOR PERMITS

Pinetree Meadows  
Phase 1, Lots 1,3,5  
Generation Homes BC  
15 Ave Invermere BC

PROJECT TITLE

EXTERIOR  
BUILDING  
ELEVATIONS

SCALE: 1" = 1/4"

DRAWN: RMD/JE

CHECKED: IM/RR

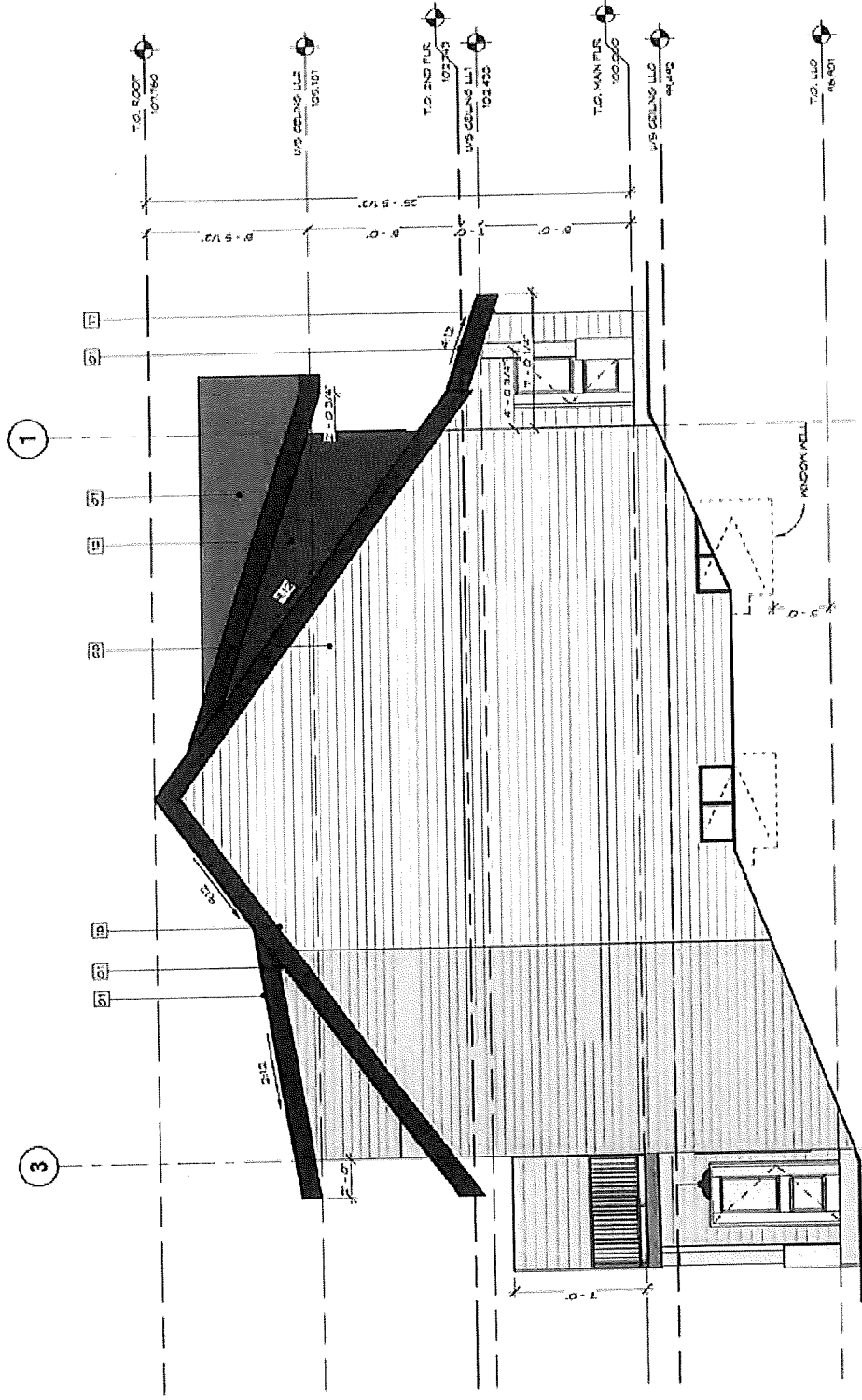
OCT 21

21-070

A4.4

KEYNOTE LEGEND

01	ASPHALT SHINGLE
02	WHITE HORIZONTAL 7.5" HORIZONTAL LAP
03	DARK TOLE HORIZONTAL BOARD AND BATTEN
04	PINE OR PINK CASCADIA (CONVARIANT) SOFFIT
05	STANDARD WHITE ALUMINUM SOFFIT



ELEVATION D

SCALE 1/4" = 1'



1 2 3 4 5



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REVISIONS + ISSUES

2022 05 02	BUILDING PERMIT	ISSUED FOR
2023 04 05	RE-SUBMITTED FOR BUILDING	
2023 08 21	CONSTRUCTION	

# Pinetree Meadows Phase 1, Lots 1,3,5 15 Ave Invermere BC

PROJECT TITLE

## BUILDING SECTIONS

SCALE: 1" = 1/4"

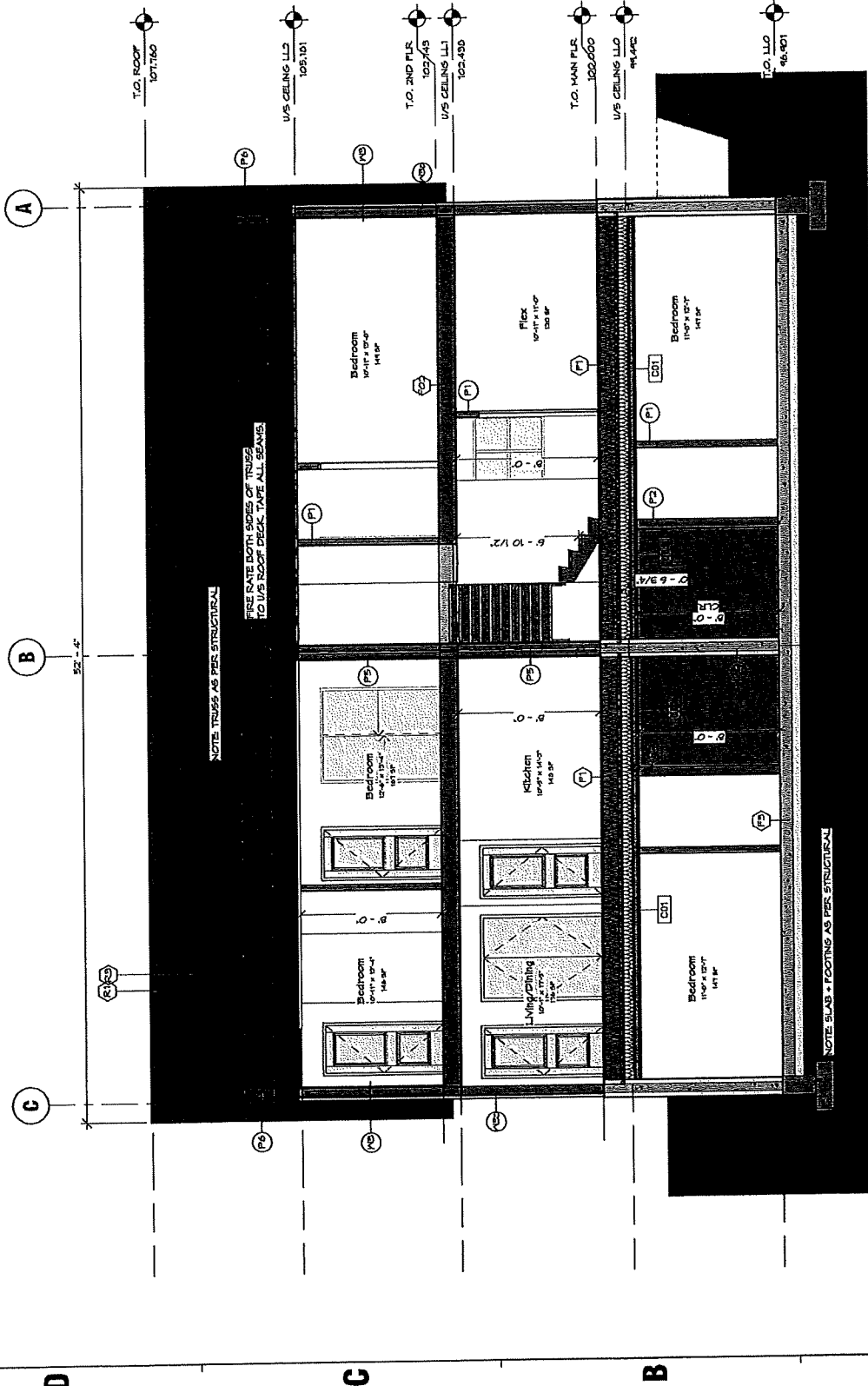
DRAWN: RMD

CHECKED: BM/RR

OCT 21

21-070

### A5.0



**SECTION A**  
SCALE: 1" = 1/4"

1 2 3 4 5



**SEALS**

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**REVISIONS + ISSUES**

NO.	DATE	DESCRIPTION
1	10/21/21	ISSUED FOR PERMITS
2	10/21/21	ISSUED FOR PERMITS
3	10/21/21	ISSUED FOR PERMITS
4	10/21/21	ISSUED FOR PERMITS
5	10/21/21	ISSUED FOR PERMITS
6	10/21/21	ISSUED FOR PERMITS
7	10/21/21	ISSUED FOR PERMITS
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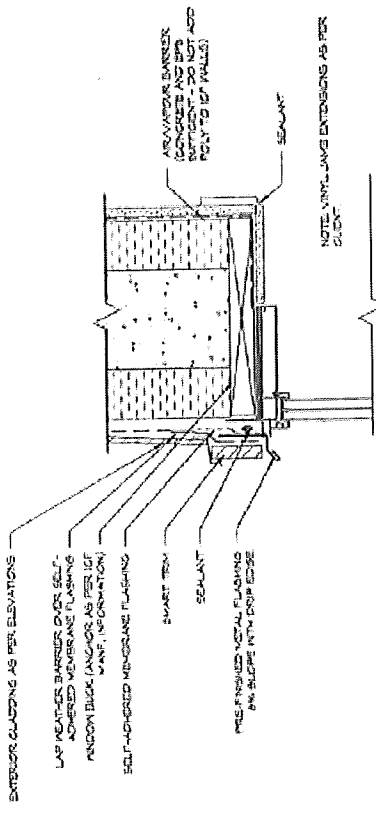
**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES  
15th Ave, Invermere BC**

**CONSTRUCTION DETAILS**

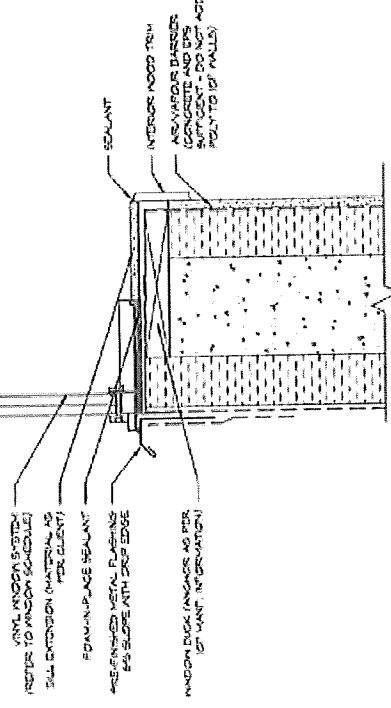
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PROJECT TITLE

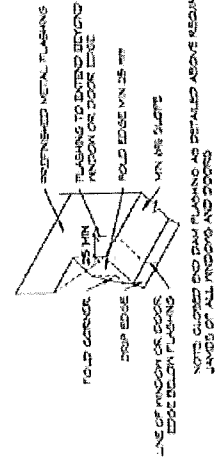
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DRAWN:	RKD
CHECKED:	PER
OCT '21	
21-070	
<b>A6.0</b>	



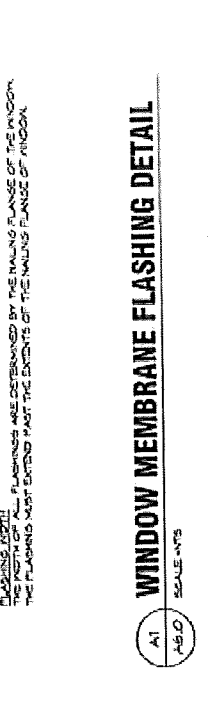
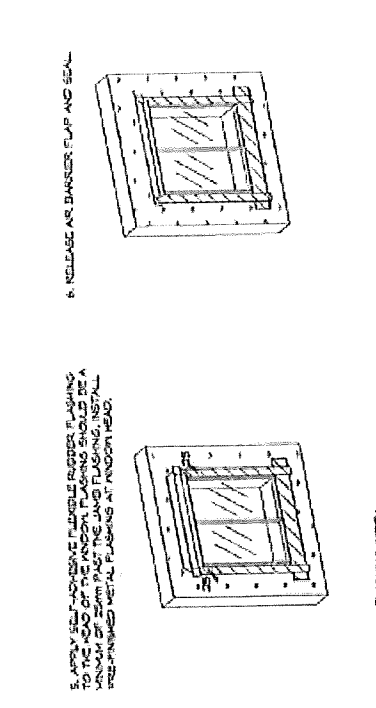
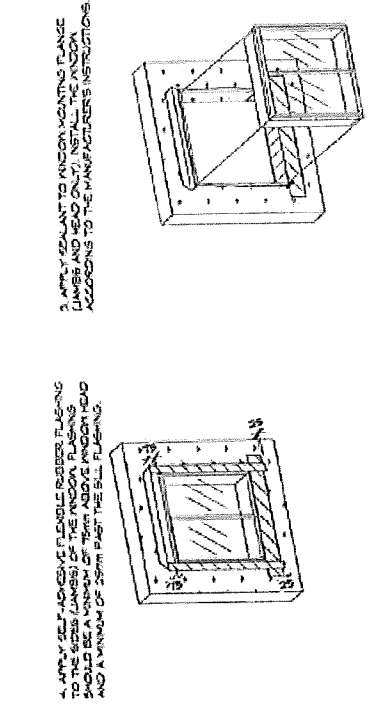
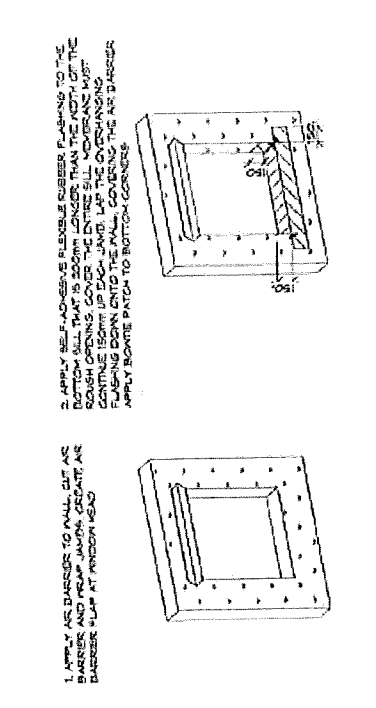
**D4 ICF WALL WINDOW HEADER**  
SCALE: 1:1.5  
AS.D



**E4 ICF WALL WINDOW SILL**  
SCALE: 1:1.5  
AS.D



**F4 CLOSED END DAM FLASHING**  
SCALE: 1:1.5  
AS.D



**A1 WINDOW MEMBRANE FLASHING DETAIL**  
SCALE: 1:1.5  
AS.D

**B1 RELEASE AIR BARRIER FLAP AND SEAL**

EXTERIOR GLAZING AS PER ELEVATIONS

LAP WEATHER BARRIER OVER SELF-ADHERED MEMBRANE FLASHING

ANCONOM BUCK (ANCONOM AS PER CUT SHEET, INFORMATION)

SELF-ANCHORED MEMBRANE FLASHING

SMART TRIM

SEALANT

PRE-FINISHED METAL FLASHING 8% SLOPE WITH DROP EDGE

ACRYLIC BARRIER (CONCRETE AND SIPR SUPPORT - DO NOT ADD POLY TO SIP WALLS)

SEALANT

INTERIOR WOOD TRIM

ACRYLIC BARRIER (SUPPORT - DO NOT ADD POLY TO SIP WALLS)

VINYL WINDOW SYSTEM (REFER TO ANCON (SEPARATE) SILL EXTENSION (MATERIAL AS PER CLIENT))

FOAM IN PLACE SEALANT

PRE-FINISHED METAL FLASHING 8% SLOPE WITH DROP EDGE

WINDOW BUCK (ANCONOM AS PER CUT SHEET, INFORMATION)

INTERIOR WOOD TRIM

ACRYLIC BARRIER (SUPPORT - DO NOT ADD POLY TO SIP WALLS)

SEALANT

PRE-FINISHED METAL FLASHING

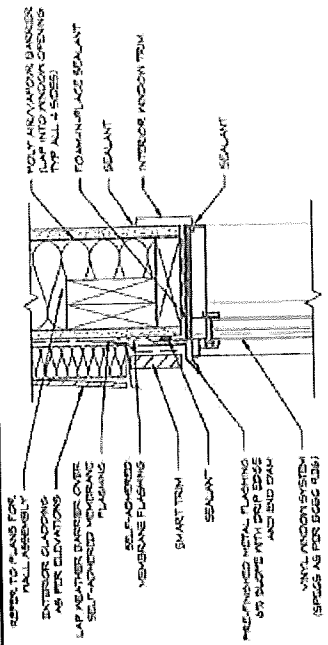
FLASHING TO EXTEND BEYOND ANCONOM OR DOOR EDGE

DROP EDGE WITH 2% SLOPE

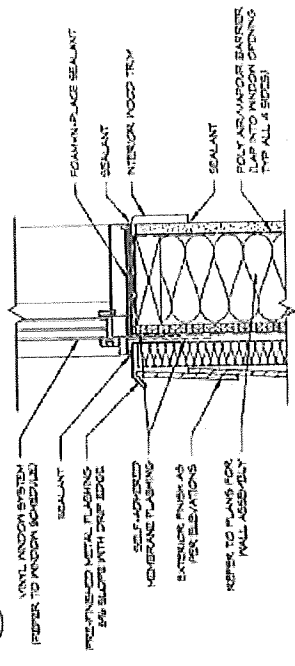
VINYL WEATHER BARRIER

-1% OF WINDOW OR DOOR EDGE BEYOND FLASHING

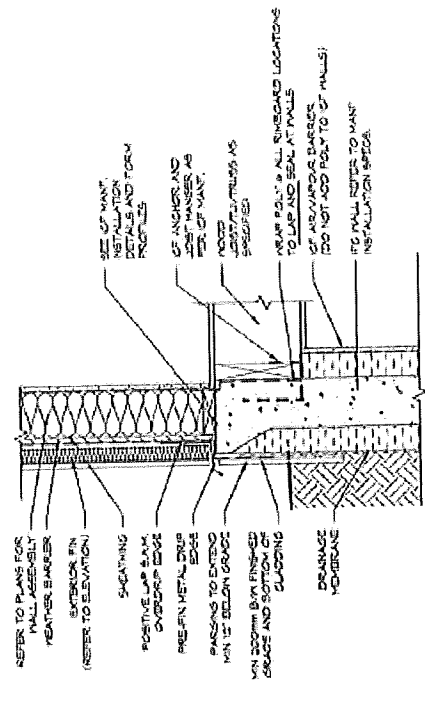




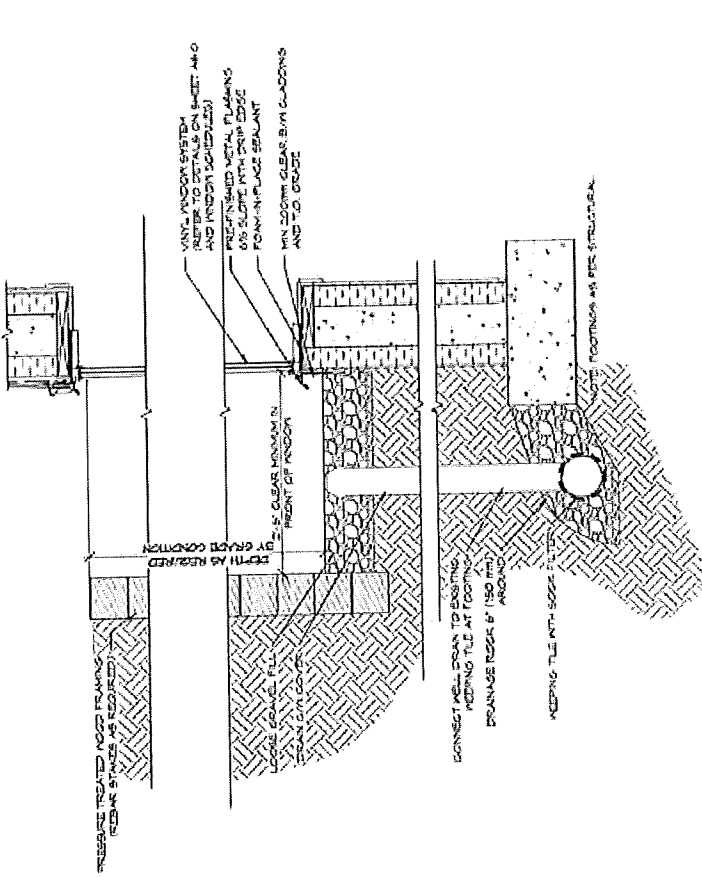
**D1 WINDOW HEADER DETAIL**  
SCALE: 1:1.5



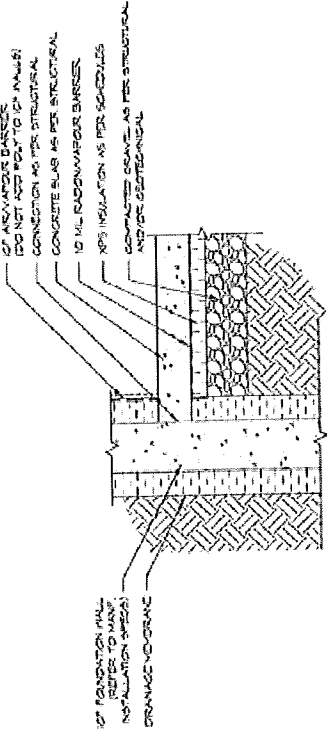
**C1 WINDOW SILL DETAIL**  
SCALE: 1:1.5



**A1 ICF TO WOOD FRAME EXT. WALL**  
SCALE: 1:1.5



**C2 ICF WINDOW WELL DETAIL**  
SCALE: 1:1.5



**A5 SLAB TO FOUNDATION WALL**  
SCALE: 1:1.5



SEALS

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**REVISITS & ISSUES**

NOV 14 2018	ISSUED FOR
NOV 27 2018	CONSTRUCTION
MAR 26 2019	ISSUED FOR
NOV 14 2017	REVISED FOR

**PINETREE MEADOWS**  
**PHASE 1, LOTS 1-8**  
**GENERATION HOMES**  
**15th Ave, Invermere BC**

PROJECT TITLE

**CONSTRUCTION**  
**DETAILS**  
**CONT.**

SCALE: AS INDICATED  
DATE: RND  
DESIGNED: PER

OCT 21  
21-070

**A6.1**

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**REVISIONS + ISSUES**

NO.	DATE	DESCRIPTION
1	10/15/20	ISSUED FOR PERMITS
2	10/15/20	ISSUED FOR PERMITS
3	10/15/20	ISSUED FOR PERMITS
4	10/15/20	ISSUED FOR PERMITS

**PINETREE MEADOWS**  
**PHASE 1, LOTS 1-8**  
15th Ave, Invermere BC

**CONSTRUCTION DETAILS**  
CONT.

SCALE: AS INDICATED

DRAWING TITLE

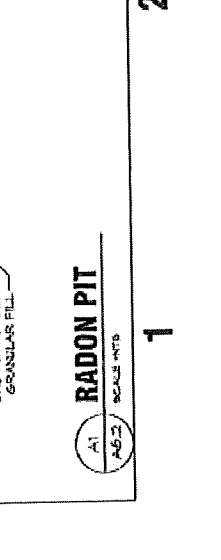
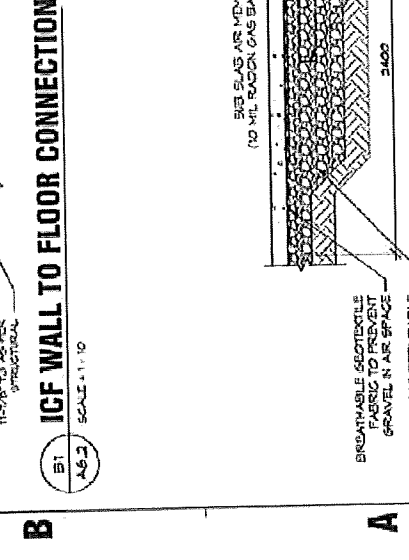
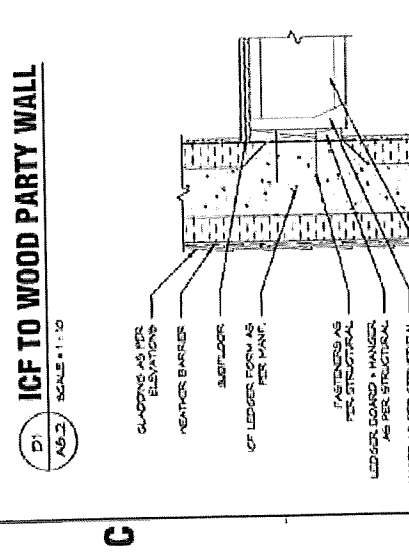
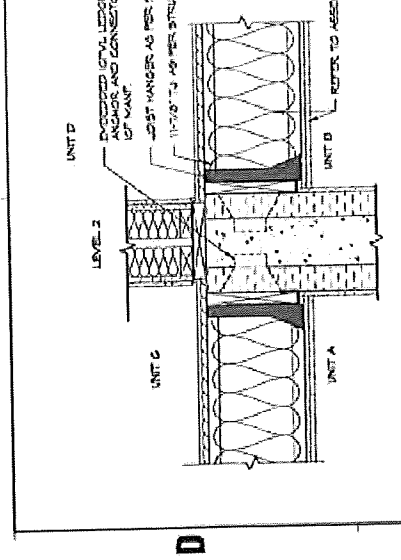
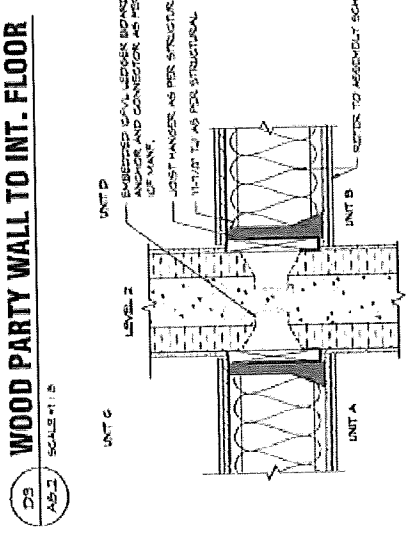
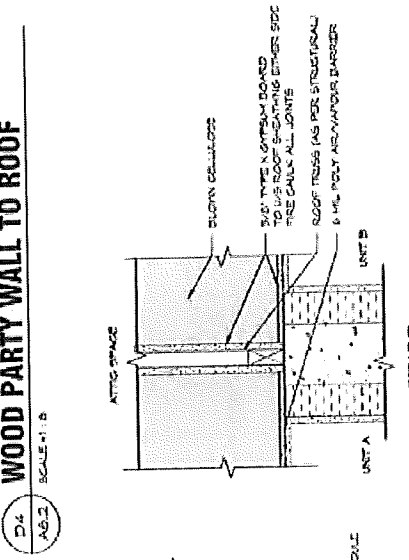
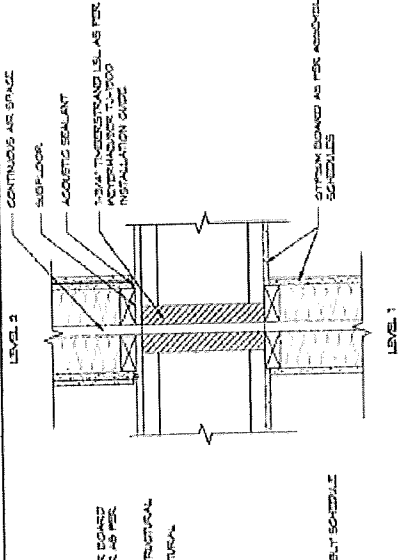
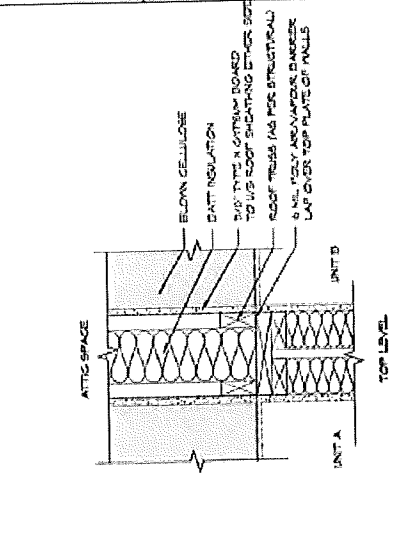
DATE: RFD

DRAWN: RR

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**A6.2**



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**REVISIONS + ISSUES**

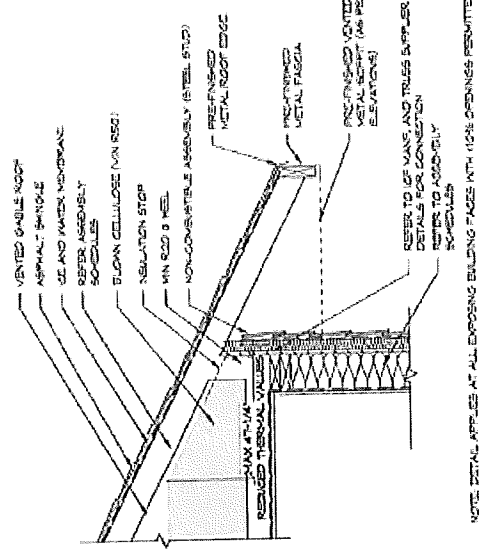
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002	02/07/17	ISSUED FOR PERMIT
003	02/07/17	ISSUED FOR PERMIT
004	02/07/17	ISSUED FOR PERMIT

**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES BC**

PROJECT TITLE

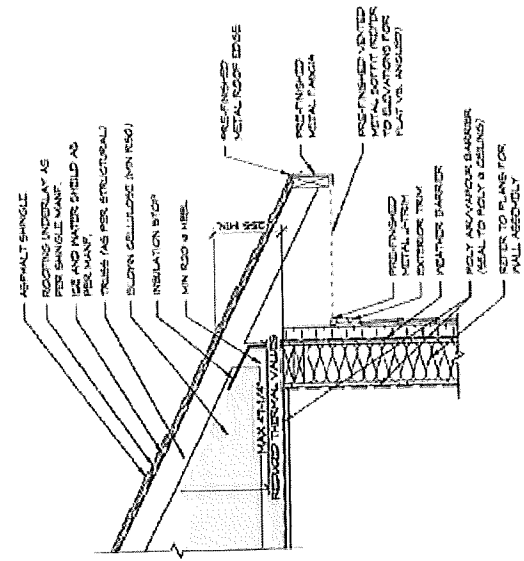
**CONSTRUCTION  
DETAILS  
CONT.**

SCALE: 1"=1'  
DATE: R/C/D  
CHECKED: RR/JM  
DWT: 21  
21-070  
**A6.3**



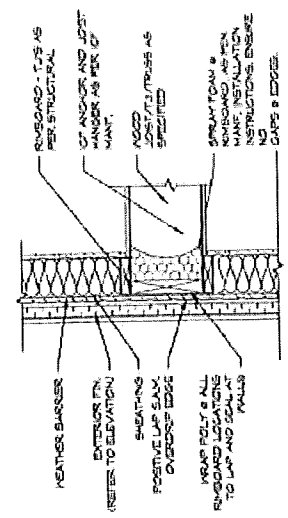
**C1 WOOD WALL TO ROOF CONNECTION**  
SCALE: 1/2"=1'-0"

CB A6.3



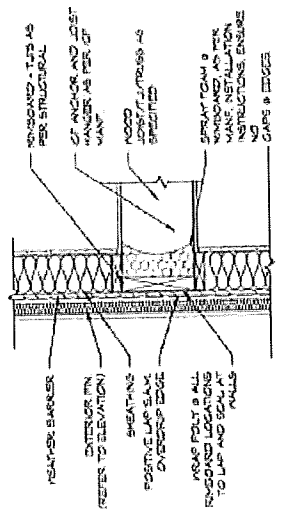
**C2 WALL/ROOF CONNECTION FIRE RATED WALL**  
SCALE: 1/2"=1'-0"

CB A6.3



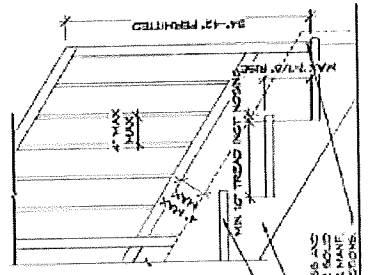
**A1 INT. FLOOR/WALL CONNECTION**  
SCALE: 1/2"=1'-0"

A3 A6.3



**A2 INT. FLOOR/WALL CONNECTION FIRE RATED**  
SCALE: 1/2"=1'-0"

A3 A6.3



**A3 TYPICAL STAIR DETAIL**  
SCALE: 1/2"=1'-0"

NOTE: STYLE OF RAILING SUBJECT TO CHANGE. COORDINATE W/ CLIENT. MUST VERIFY ALL REQUIREMENTS OF THIS SECTION R.G.T. AND R.P.T. 25 TO ALL INTERIOR STAIRS HAVING MORE THAN 2 RISERS.

PLEASE SUPPLIER TO VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. DO NOT STOP DRAWINGS TO CONTRACTOR FOR APPROVAL.

# Phase 7

SEALS

PROJECT TITLE

15 Ave Invermere BC

Pinetree Meadows  
Phase 1, Lots 6,8

COVER SHEET

SCALE: As Indicated

DRAWN: RMD

CHECKED: JMYR

OCT 21

21-070

A0.0

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS. CONFORM ALL DIMENSIONS ON SITE AND REPORT DISCREPANCIES TO OWNER AND ARCHITECT.
- CONTRACTOR TO COMPARE DRAWINGS TO SITE. ALL WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE - 2018 BECBC EDITION AND LOCAL ORDINANCES.
- COORDINATE ALL INFORMATION FROM ALL ELECTRICAL, ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND OTHER TRADES TO THE FITTING OF ALL DIMENSIONS REQUIRED FOR THE FITTING OF ALL COMPONENTS AS NECESSARY TO ENSURE THEIR SOUND OPERATION UPON COMPLETION.
- ALL WALL, FLOOR, AND ROOF ASSEMBLIES SHOWN ON THE DRAWINGS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND SPECIFICATIONS FOR ADDITIONAL ASSEMBLY INFORMATION. THESE ASSEMBLIES SUPERSEDE ALL COMPLETED DETAILS AND DRAWINGS COMPLETED ON THE FOLLOWING TRADES. TRADES TO BE COMPLETED ON ALL LOCATIONS.
- ALL EXTERIOR WALLS IN BATHROOMS AND COMMERCIAL KITCHENS SHALL BE MOISTURE RESISTANT TYPE. ALL EXPOSED CONCRETE WALL CORNERS SHALL BE FINISHED WITH AN ANCHORED FLASHING EXPOSED TO VIEW SHALL BE PRE-FINISHED.
- MAINTAIN CONTINUOUS FREE RATED SEPARATION AROUND EXTERIOR WALLS TO STORE ROOMS, AND MECHANICAL ROOMS; CARRY WALLS TO INTERIOR WALLS WITH SOLES OF ALUMINUM AND WINDOW FRAMES.
- IN ALL LOCATIONS WHERE GYPSUM BOARD ABUTS DISSIMILAR MATERIAL, USE A HILLOCK AND/OR J-TURN AT EDGE SURFACES. ALLOW 3mm (1/8") GAP EX. POOR. MINOR GAPS SHALL BE FILLED WITH AN ANCHORED FLASHING TO SUIT ARCHITECTURAL, REFLECTED CEILING PLANS AND BOARD CORNERS.
- ALL MOOD COMPONENTS DIRECTLY ATTACHED TO EXTERIOR WALLS SHALL BE PRESSURE TREATED ALUMINUM SILLS SHALL BE PRESSURE TREATED.
- PARAN ALL EXPOSED MECHANICAL AND ELECTRICAL COMPONENTS IN FINISH AREAS SHALL BE PROTECTED BY A MINIMUM OF TWO COATS OF PAINT.
- EQUIPMENT, CO-ORDINATE SIZES AND EXACT LOCATIONS TO SUIT ARCHITECTURAL, REFLECTED CEILING PLANS AND/OR DETAILS.
- CAULK AND SEAL AROUND ALL DUCTS AND PIPES PASSING THROUGH EXTERIOR WALLS AND FLOOR.
- ASSEMBLIES WITH APPROVED (M.C.) MASTIC CAULKING, PROVIDE ACoustICAL SEALANT AT JUNCTIONS OF SOUND RATED PARTITIONS.
- WHERE ELECTRICAL OR OTHER OUTLETS OCCUR IN SOUND RATED PARTITION STUDIES, PROVIDE ACoustICAL SEALANT ALL AROUND SPACES. PROVIDE ACoustICAL SEALANT ALL AROUND.

**DRAWING SYMBOLS LEGEND**

- DOOR TAG REFER TO SCHEDULE
- WINDOW TYPE TAG, REFER TO SCHEDULE
- ROOM NAME
- DETAIL INDICATOR
- PAGE CROSS REFERENCE
- MALL SECTION INDICATOR
- SECTION #
- VIEW DIRECTION OF SECTION
- PAGE CROSS REFERENCE
- BUILDING SECTION # ELEVATION INDICATOR
- SECTION #
- VIEW DIRECTION OF ELEVATION
- PAGE CROSS REFERENCE
- ELEVATION INDICATOR
- CEILING HEIGHT INDICATOR
- KEYNOTE INDICATOR
- MILLMORKE KEYNOTE INDICATOR
- MALL TYPE SYMBOL
- ROOF TYPE SYMBOL
- FLOOR TYPE SYMBOL
- MALL FINISH TAG

**INTERIOR PARTITIONS**

- P1-2x4 INTERIOR PARTITION**  
-1/2" GYPSUM MALL BOARD  
-2x4 MOOD STUDS @ 16" O.C.  
-1/2" GYPSUM MALL BOARD
- P2-2x6 PLUMBING/BEARING PARTITION**  
-1/2" GYPSUM MALL BOARD  
-2x6 MOOD STUDS @ 16" O.C.  
-1/2" GYPSUM MALL BOARD  
NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES
- P3-2x6 PLUMBING PARTITION**  
-2x6 MOOD STUDS @ 16" O.C.  
-1/2" GYPSUM MALL BOARD  
NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES
- P4-2x4 EXTERIOR SHEED PARTITION**  
-1/2" PLYWOOD  
-2x4 MOOD STUDS @ 16" O.C.  
-1/2" PLYWOOD
- P5-PARTY WALL (AS PER SEE E1)**  
-2 LAYERS 5/8" TYPE X GYPSUM MALL BOARD  
-2x4 MOOD STUDS @ 16" O.C.  
-ACoustIC BATT INSULATION  
-1/2" PLYWOOD SHEATHING  
-2 LAYERS 5/8" TYPE X GYPSUM MALL BOARD
- P6-2x6 STEEL STUD MALL**  
-CLADDING (AS PER ELEVATIONS)  
-WEATHER BARRIER  
-2x6 MOOD STUDS @ 16" O.C.  
-1/2" PLYWOOD SHEATHING

**ASSEMBLY SCHEDULES**

- NOTE: INSTALL FULL HEIGHT MOISTURE RESISTANT BOARD BEHIND ALL PLUMBING FIXTURES.  
ALL PARTY WALLS TO BE BLD., TAPERED (OR BARY.) ALL THE WAY TO THE ROOF SHEATHING.
- E1-6" ICE EXTERIOR WALL**  
-CLADDING AS PER ELEVATIONS  
-1/2" RIGID INSULATION  
-5" CONCRETE  
-2 1/2" RIGID INSULATION  
-1/2" GYPSUM MALL BOARD
  - E2-6" ICE GROUNDWALL (AS PER SEE E1)**  
-1/2" GYPSUM MALL BOARD  
-2 1/2" RIGID INSULATION  
-5" CONCRETE  
-2 1/2" RIGID INSULATION  
-1/2" GYPSUM MALL BOARD
  - E3-EXTERIOR ABOVE GRADE WALL**  
-1/2" CLADDING (AS PER ELEVATIONS)  
-1/2" WEATHER BARRIER  
-1/2" PLYWOOD SHEATHING  
-2x6 MOOD STUDS @ 16" O.C.  
-CAVITY FILLED BATT INSULATION  
-LIQUID APPLIED VAPOUR BARRIER
  - E4-EXTERIOR ABOVE GRADE WALL**  
-1/2" CLADDING (AS PER ELEVATIONS)  
-1/2" 5/8" RIGID MINERAL WOOL INSULATION  
-1/2" PLYWOOD SHEATHING  
-2x6 MOOD STUDS @ 16" O.C.  
-CAVITY FILLED MINERAL WOOL INSULATION  
-1/2" GYPSUM MALL BOARD  
-LIQUID APPLIED VAPOUR BARRIER
  - E5-EXTERIOR SHEED WALL**  
-CLADDING AS PER ELEVATIONS  
-1/2" WEATHER BARRIER  
-1/2" PLYWOOD  
-2x4 MOOD STUDS @ 16" O.C.  
-BATT INSULATION  
-1/2" PLYWOOD

**FLOORS**

- F1-1 1/4" SOUND INSULATED, INS. FRS**  
-VINYL PLANK FLOORING  
-5/8" OSB T&G SUBFLOOR  
-ACoustIC BATT FILLED JOIST CAVITY  
-2 LAYERS 5/8" GYPSUM MALL BOARD, TYPE X
- F2-1 1/4" FLOOR FRS**  
-VINYL PLANK FLOORING  
-1 1/8" T&G SUBFLOOR  
-ACoustIC BATT FILLED JOIST CAVITY  
-5/8" GYPSUM MALL BOARD, TYPE X
- F3-INSULATED SUBGRADE SLAB**  
-VINYL PLANK FLOORING  
-5/8" FLOORING UNDERLAY  
-VAPOUR BARRIER  
-4" RIGID CONCRETE SLAB (AS PER BEARING)  
-2" RIGID INSULATION (HIGH DENSITY, BEARING)  
-COMPACTED GRAVEL (AS PER STRUCTURAL)

**CEILINGS**

- C1-FINISHED CEILING**  
-DIMENSIONAL LUMBER FRAMING/MURRES  
-ACoustIC BATT INSULATION  
-SOUND PANNELING (ON LOWER LEVEL)  
-1/2" 5/8" RESISTANT GYPSUM BOARD  
-LOW PROFILE TEXTURED FINISH
- C2-INSULATED TRUSS ROOF**  
-ASPHALT SHINGLES  
-UNDERLAY  
-1/2" PLYWOOD SHEATHING (AS PER STRUCTURAL)  
-OPEN WEB TRUSSES (AS PER STRUCTURAL)  
-BLOOM CELLULOSE R50 CFM REEL STOPS  
-1/2" GYPSUM BOARD (FINISH AS PER CLIENT)
- C3-INSULATED GABLET ROOF**  
-ASPHALT SHINGLES  
-UNDERLAY  
-AIR BARRIER  
-DIMENSIONAL FRAMING (AS PER STRUCTURAL)  
-DIMENSIONAL FRAMING (AS PER STRUCTURAL)  
-SCOTTS AND PASCIA (AS PER ELEVATIONS)

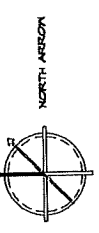
**ROOFS**

- R1-INSULATED TRUSS ROOF**  
-ASPHALT SHINGLES  
-UNDERLAY  
-1/2" PLYWOOD SHEATHING (AS PER STRUCTURAL)  
-OPEN WEB TRUSSES (AS PER STRUCTURAL)  
-BLOOM CELLULOSE R50 CFM REEL STOPS  
-1/2" GYPSUM BOARD (FINISH AS PER CLIENT)
- R2-INSULATED GABLET ROOF**  
-ASPHALT SHINGLES  
-UNDERLAY  
-AIR BARRIER  
-DIMENSIONAL FRAMING (AS PER STRUCTURAL)  
-DIMENSIONAL FRAMING (AS PER STRUCTURAL)  
-SCOTTS AND PASCIA (AS PER ELEVATIONS)

**ARCHITECTURAL SHEET**

Sheet Number	Sheet Name
A0.0	COVER SHEET
A1.0	COSE REVIEW
A2.0	SITE PLAN + BYLAW REVIEW
A3.0	BASEMENT FLOOR PLAN
A3.1	MAIN FLOOR PLAN
A3.2	SECOND FLOOR PLAN
A3.3	ROOF PLAN
A4.0	EXTERIOR BUILDING ELEVATIONS
A4.1	EXTERIOR BUILDING ELEVATIONS
A4.2	EXTERIOR BUILDING ELEVATIONS
A4.3	EXTERIOR BUILDING ELEVATIONS
A4.4	EXTERIOR BUILDING ELEVATIONS
A5.0	BUILDING SECTIONS
A6.0	CONSTRUCTION DETAILS
A6.1	CONSTRUCTION DETAILS CONT.
A6.2	CONSTRUCTION DETAILS CONT.
A6.3	CONSTRUCTION SCHEDULES
A6.4	SPECIFICATION

Berry Architecture + Associates  
Suite 200, 5218-50 Avenue  
Red Deer, TN 4B5  
Phone: 403-314-4461  
Fax: 403-314-4461





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REVISIONS + ISSUES	DATE	BY	FOR
1. REVISED PER CITY PERMITS	02/22/21	PKD	REVISED FOR
2. REVISED PER CITY PERMITS	02/23/21	PKD	BUILDING PERMIT
3. REVISED PER CITY PERMITS	02/23/21	PKD	CONSTRUCTION
4. REVISED PER CITY PERMITS	02/24/21	PKD	NSD WALL ASSURANCE

**Pinetree Meadows**  
**Phase 1, Lots 6, 8**  
**15 Ave Invermere BC**

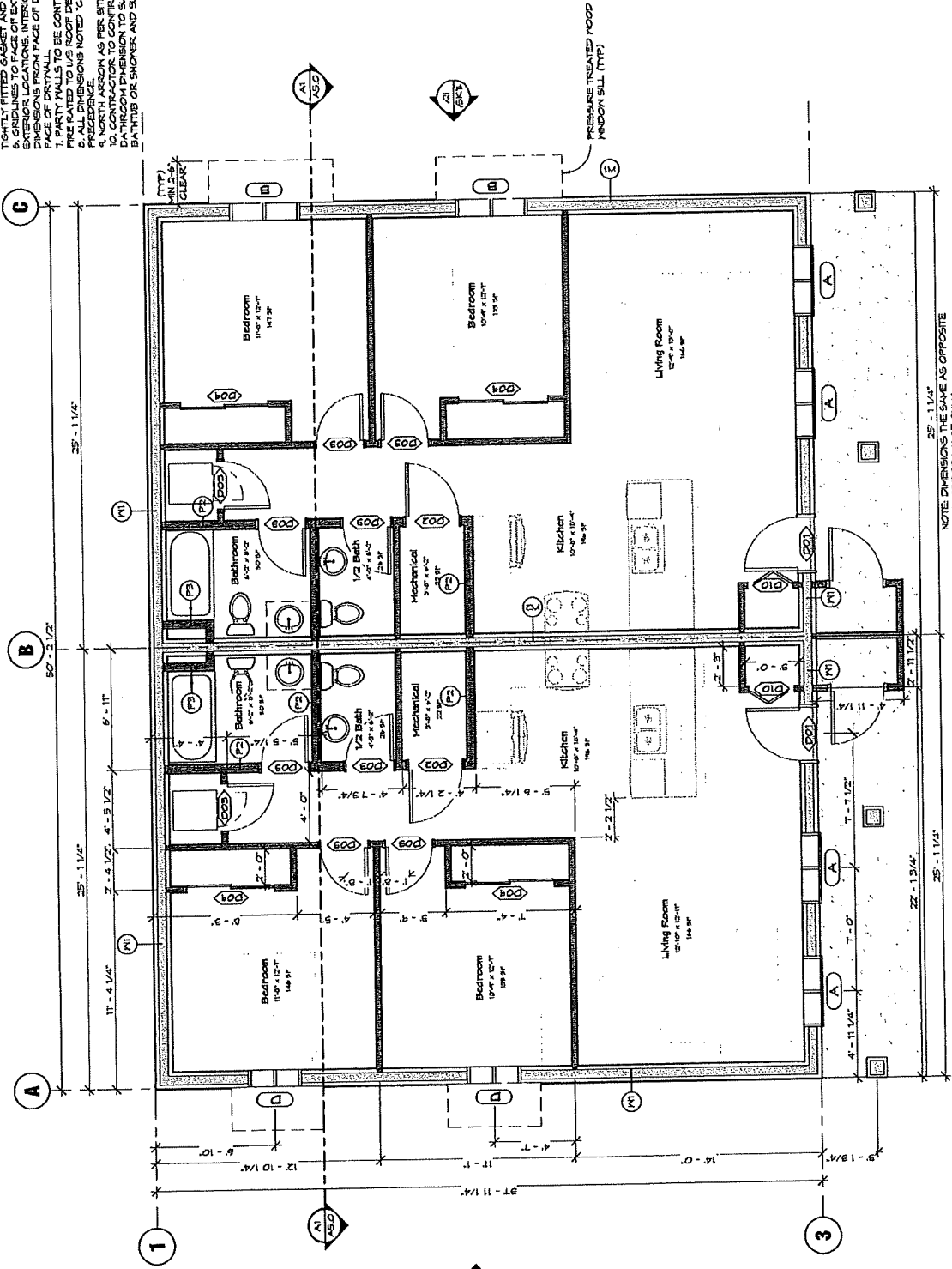
**FLOOR PLAN**  
**BASEMENT**

PROJECT TITLE

DRAWING TITLE

SCALE	As Indicated
DRAWN	RKD
CHECKED	IM/RR
DATE	OCT 21 21-010
PROJECT	A3.0

- GENERAL NOTES**
1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE.
  2. ALL DOORS TO BE CENTRED IN OPENING UNLESS NOTED OTHERWISE.
  3. ALL DOORS TO HAVE MIN. 10" CLEARANCE BELOW.
  4. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEAR WIDTH UNLESS NOTED OTHERWISE.
  5. ALL PARTITIONS TO BE FINISHED TO BE NOT LESS THAN 0.25 IN WITH TIGHTLY FITTED GASKET AND COVERS.
  6. GRIDLINES TO FACE OF EXTERIOR, AT EXTERIOR LOCATIONS, INTERIOR AT INTERIOR LOCATIONS.
  7. PARTY WALLS TO BE CONTINUOUS AND FIRE RATED TO 1/2" ROOF DECK.
  8. ALL DIMENSIONS NOTED "CLR" TO TAKE NORTH ARROW AS PER SITE PLAN.
  9. CONTRACTOR TO CONFIRM BATHROOM DIMENSION TO SUIT SUPPLIED BATHING OR SHOWER AND BURNING.



**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION
1	03.22.14	ISSUE FOR PERMITS
2	03.22.14	ISSUE FOR PERMITS
3	03.22.14	ISSUE FOR PERMITS
4	03.22.14	ISSUE FOR PERMITS
5	03.22.14	ISSUE FOR PERMITS
6	03.22.14	ISSUE FOR PERMITS
7	03.22.14	ISSUE FOR PERMITS
8	03.22.14	ISSUE FOR PERMITS
9	03.22.14	ISSUE FOR PERMITS
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11	03.22.14	ISSUE FOR PERMITS
12	03.22.14	ISSUE FOR PERMITS
13	03.22.14	ISSUE FOR PERMITS
14	03.22.14	ISSUE FOR PERMITS
15	03.22.14	ISSUE FOR PERMITS
16	03.22.14	ISSUE FOR PERMITS
17	03.22.14	ISSUE FOR PERMITS
18	03.22.14	ISSUE FOR PERMITS
19	03.22.14	ISSUE FOR PERMITS
20	03.22.14	ISSUE FOR PERMITS

# Pinetree Meadows Phase 1, Lots 6, 8 15 Ave Invermere BC

PROJECT TITLE

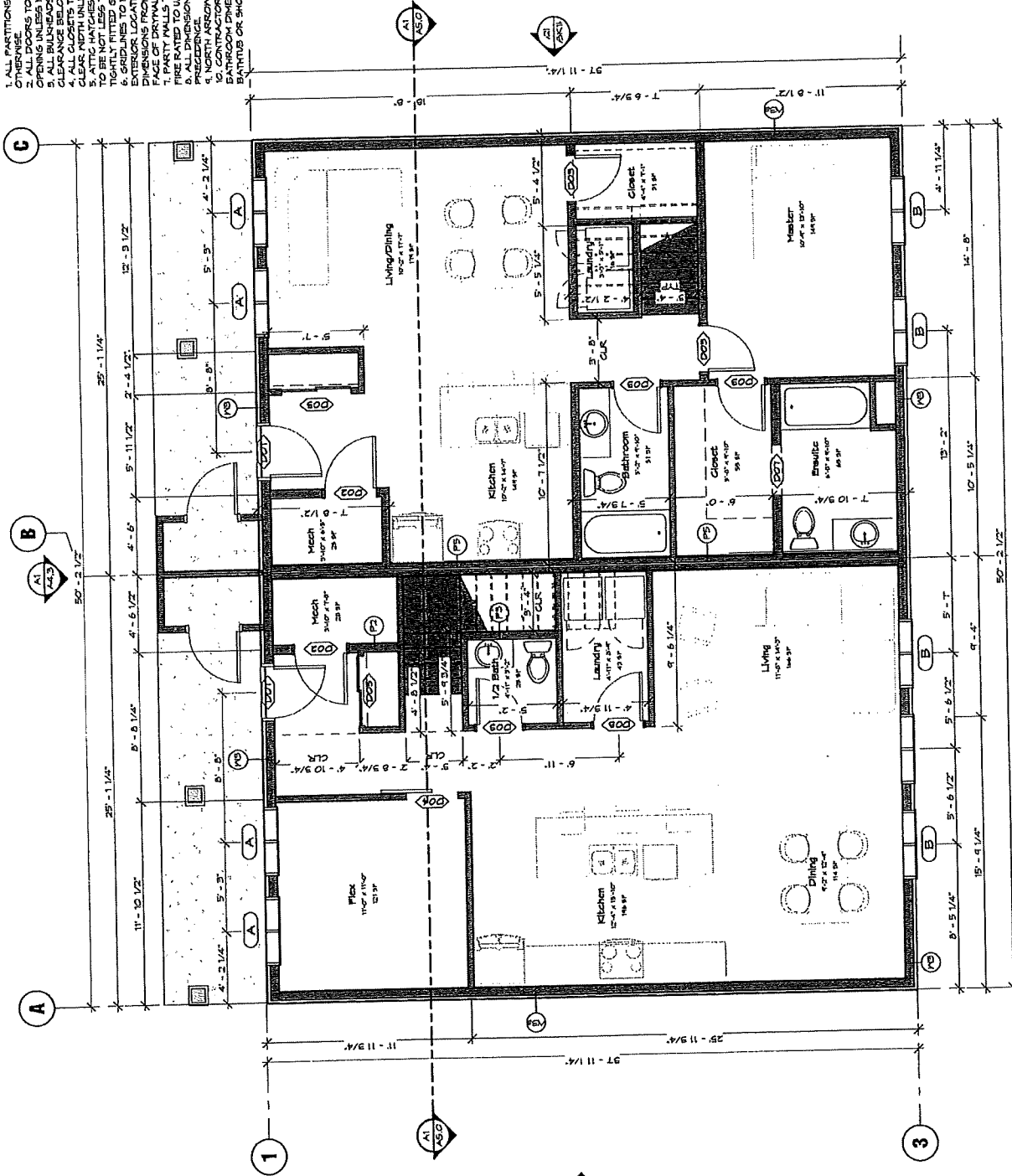
## MAIN FLOOR PLAN

DRAWING TITLE

SCALE: AS INDICATED  
DRAWN: R/KD  
CHECKED: IM/RJR  
DATE: OCT 21  
PROJECT: A3.1  
DRAWING NO: 21-070

### GENERAL NOTES

1. ALL PARTITIONS TYPE P1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CONSIDERED IN OPENING POSITION UNLESS OTHERWISE NOTED.
3. ALL BALANCE HEADS TO HAVE MIN. 10" CLEARANCE BELOW.
4. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEARANCE BELOW.
5. ALL PARTITIONS TO BE PROVIDED WITH TIGHTLY FITTED GASKET AND COVERS, AT EXTENSIONS FROM FACE OF DRYWALL TO FACE OF DRYWALL.
6. SPLICING TO FACE OF EXTERIOR, AT EXTENSIONS FROM FACE OF DRYWALL TO FACE OF DRYWALL.
7. PARTY WALLS TO BE CONTINUOUS AND FIRE RATED TO US ROOF DECK.
8. ALL PARTITIONS TO BE CONSIDERED IN OPENING POSITION UNLESS OTHERWISE NOTED.
9. CONTRACTOR TO CONFIRM BATHROOM DIMENSIONS TO SUPPLIED PARTS OR SHOWER AND SURROUND.



### MAIN FLOOR PLAN

SCALE: 1" = 1/4"

5

4

3

2

1





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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION
001	08/22/14	ISSUED FOR PERMIT
002	08/27/14	CONSTRUCTION
003	03/14/15	ISSUED FOR PERMIT

Pinetree Meadows  
Phase 1, Lots 6, 8  
15 Ave Invermere BC

PROJECT TITLE

SECOND  
FLOOR PLAN

DRAWING TITLE

SCALE: As Indicated

DRAWN: RNSD

CHECKED: M/RR

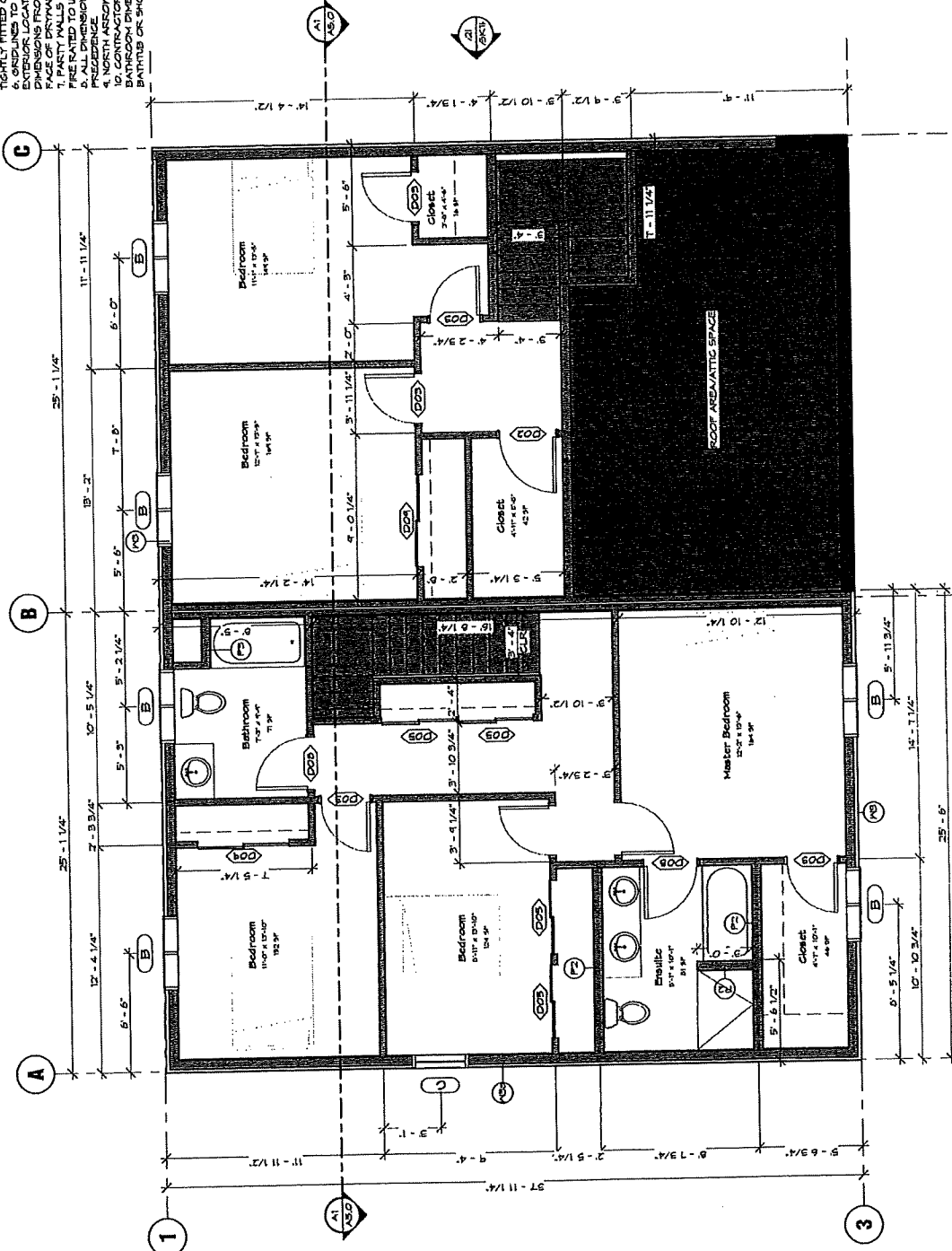
OCT 21

21-070

A3.2

GENERAL NOTES

1. ALL PARTITIONS TYPE F1 UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE CENTERED IN OPENING UNLESS NOTED OTHERWISE.
3. ALL BULKHEADS TO HAVE MIN. TO CLEARANCE BELOW.
4. ALL CLOSETS TO HAVE 2'-0" INTERIOR CLEARANCE UNLESS NOTED OTHERWISE.
5. ALL PARTITIONS SHALL BE PROVIDED TIGHTLY FITTED GASKET AND COVERS.
6. SKIDINGS TO FACE OF EXTERIOR. AT EXTERIOR CORNERS TO FACE OF EXTERIOR.
7. PARTY WALLS TO BE CONTIGUOUS AND FIRE RATED TO US ROOF DECK.
8. ALL DIMENSIONS NOTED "OUR" TO TAKE OFF DRAWING.
9. NORTH ARROW AS PER SITE PLAN.
10. CONTRACTOR TO CONFIRM BATHROOM DIMENSION TO SUIT SUPPLIED BATHING OR SHOWER AND SURROUNDING.



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION
01	03/21/14	ISSUED FOR PERMIT
02	03/21/14	CONSTRUCTION
03	03/21/14	REVISED ASSEMBLY

**Pinetree Meadows**  
**Phase 1, Lots 6,8**  
**15 Ave Invermere BC**

PROJECT TITLE

**ROOF PLAN**

DRAWING TITLE

SCALE: 1" = 1/4"

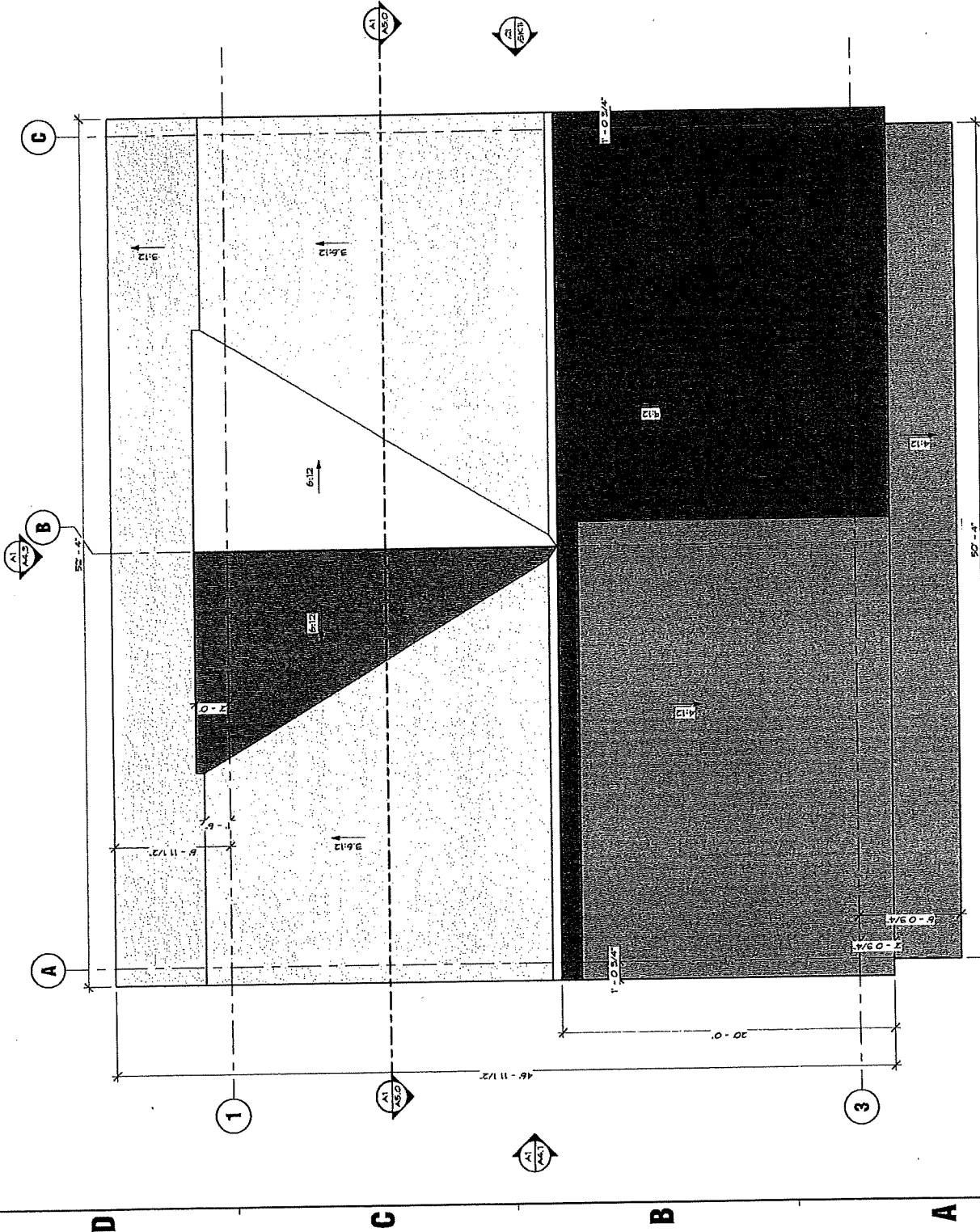
DRAWN: RND

CHECKED: M/RR

OCT 21

21-070

**A3.4**



**T.O. ROOF**

SCALE: 1" = 1/4"

5

4

3

2

1



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NO. 01	DATE	DESCRIPTION
01	03/22/20	ISSUED FOR PERMIT
02	05/22/20	CONSTRUCTION
03	07/24/20	REV WALL ASSEMBLY

**Pinetree Meadows  
Phase 1, Lots 6,8  
15 Ave Invermere BC**

PROJECT TITLE

**EXTERIOR  
BUILDING  
ELEVATIONS**

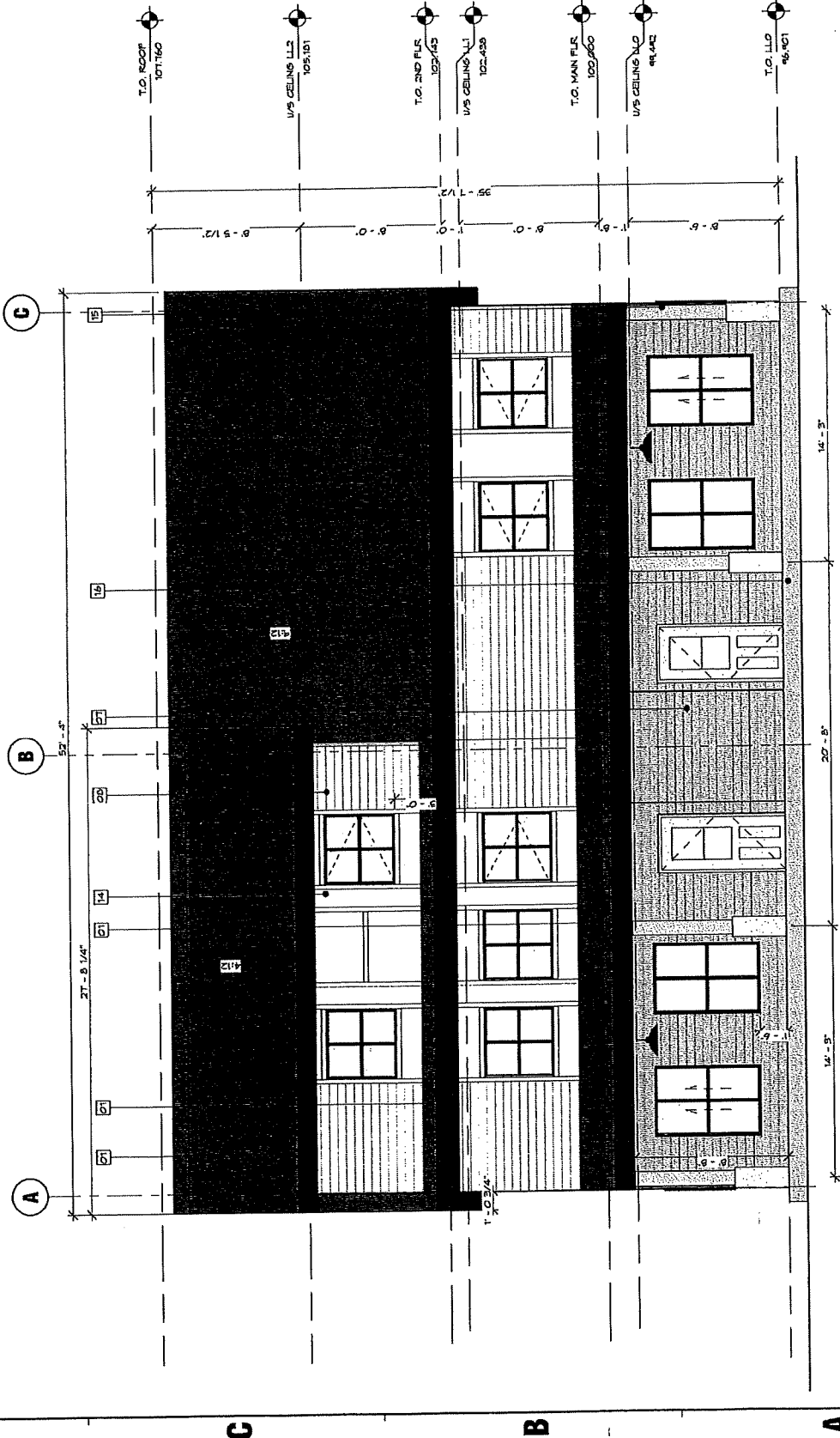
DRAWING TITLE

SCALE:	1" = 1/4"
DRAWN:	RKD/JE
CHECKED:	IM/RR
OCT 21	
21-070	

**A4.0**

**KEYNOTE LEGEND**

01	ASPHALT SHINGLE
07	MID TONE HORIZONTAL 1.25" WARDIE LAF
08	WHITE HORIZONTAL 1.25" WARDIE LAF
14	WHITE WARDIE BOARD AND BATTEN
15	SOLID WOOD COLUMN WITH PURFED WARDIE BASE
16	CONCRETE PATIO WITH PAIR WOOD TASSA AS RIGID



**ELEVATION A**

SCALE 1" = 1/4"

A1  
A4.0

5

4

3

2

1



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NO. 01	DATE	ISSUES
01	10/21/21	CONSTRUCTION
02	10/21/21	CONSTRUCTION
03	10/21/21	CONSTRUCTION

**Pinetree Meadows  
Phase 1, Lots 6, 8  
Generation Homes BC  
15 Ave Invermere BC**

**EXTERIOR BUILDING ELEVATIONS**

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RSD/JE

CHECKED: M/R/S

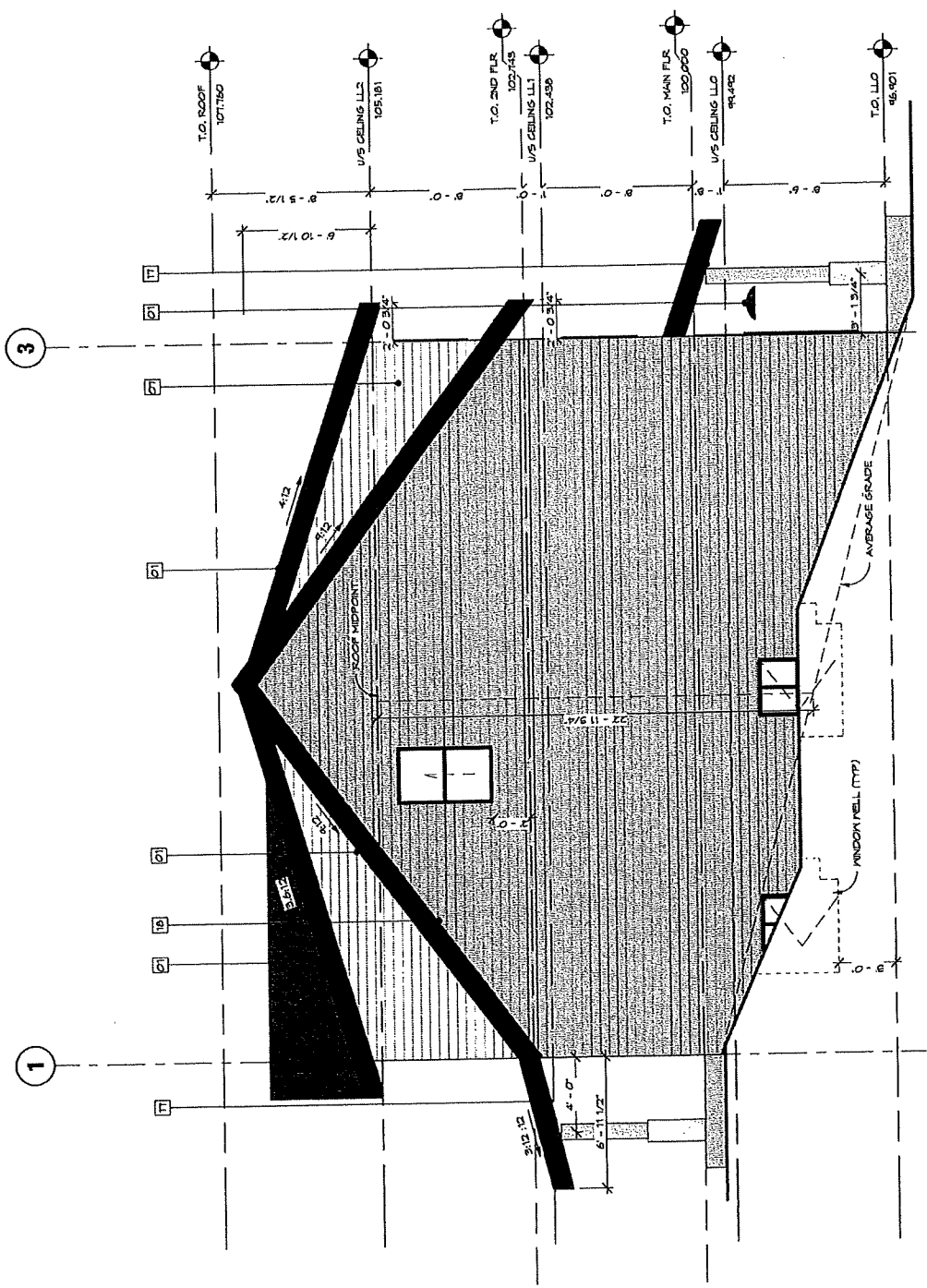
OCT 21

21-010

**A4.1**

**KEYNOTE LEGEND**

- |    |                                    |
|----|------------------------------------|
| 01 | ASPHALT SINGLE                     |
| 02 | MID TONE HORIZONTAL 7/8" HARDE LAF |
| 03 | FIN (OR FAUX ALUMINUM) SOFFIT      |
| 04 | STANDARD WHITE ALUMINUM SOFFIT     |



**ELEVATION B**  
SCALE: 1/4" = 1"



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02/28/21	IM/RJR	ISSUE FOR PERMIT
02/28/21	IM/RJR	ISSUE FOR PERMIT
02/28/21	IM/RJR	ISSUE FOR PERMIT
02/28/21	IM/RJR	ISSUE FOR PERMIT

Pinetree Meadows  
Phase 1, Lots 6,8  
Generation Homes BC  
15 Ave Invermere BC

PROJECT TITLE

EXTERIOR  
BUILDING  
ELEVATIONS

DRAWING TITLE

SCALE: 1" = 1/4"

DRAWN: RKD/JE

CHECKED: IM/RJR

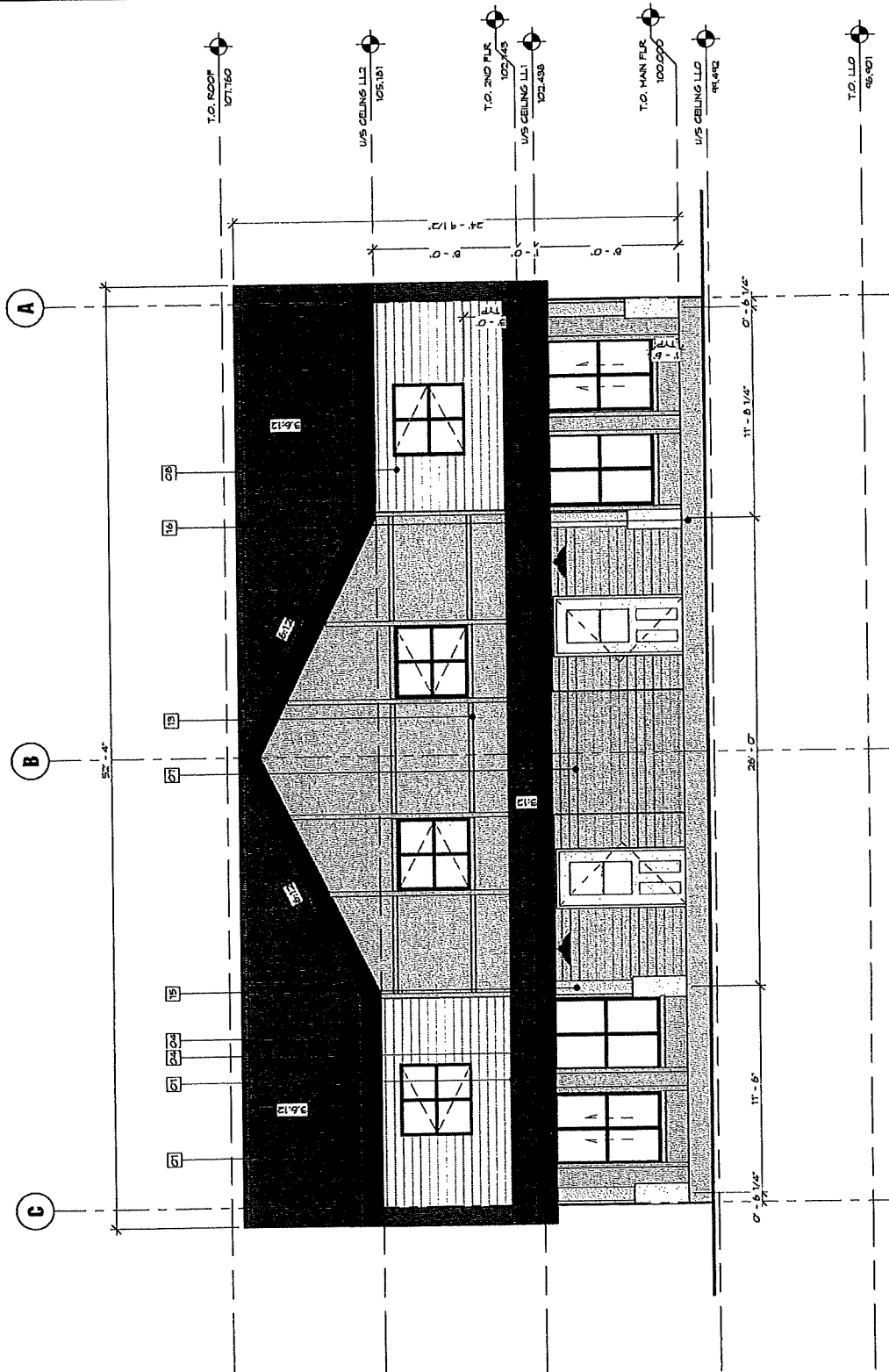
OCT 21

21-0710

A4.3

KEYNOTE LEGEND

01	ASPHALT SHINGLE
02	CHARCOAL FASCIA
03	MID TONE HORIZONTAL 1/2" HARDIE LAP
04	MID TONE HORIZONTAL 1/2" HARDIE LAP
05	WHITE HORIZONTAL 1/2" HARDIE LAP
06	MID TONE HORIZONTAL 1/2" HARDIE LAP
07	MID TONE HORIZONTAL 1/2" HARDIE LAP
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82	MID TONE HORIZONTAL 1/2" HARDIE LAP
83	MID TONE HORIZONTAL 1/2" HARDIE LAP
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97	MID TONE HORIZONTAL 1/2" HARDIE LAP
98	MID TONE HORIZONTAL 1/2" HARDIE LAP
99	MID TONE HORIZONTAL 1/2" HARDIE LAP
100	MID TONE HORIZONTAL 1/2" HARDIE LAP



A1  
A4.3  
ELEVATION C  
SCALE: 1/4" = 1"



berry architecture  
ASSOCIATES

SEALS

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**REVISIONS + ISSUES**

2307 04 21	ISSUED FOR
2307 04 21	BUILDING PERMIT
2308 04 21	CONSTRUCTION
2304 02 14	ISSUE WALL ASSEMBLY

**Pinetree Meadows  
Phase 1, Lots 6, 8  
Generation Homes BC  
15 Ave Invermere BC**

PROJECT TITLE

**EXTERIOR  
BUILDING  
ELEVATIONS**

SCALE: 1" = 1/4"

DRAWN: RKD/JE

CHECKED: MARR

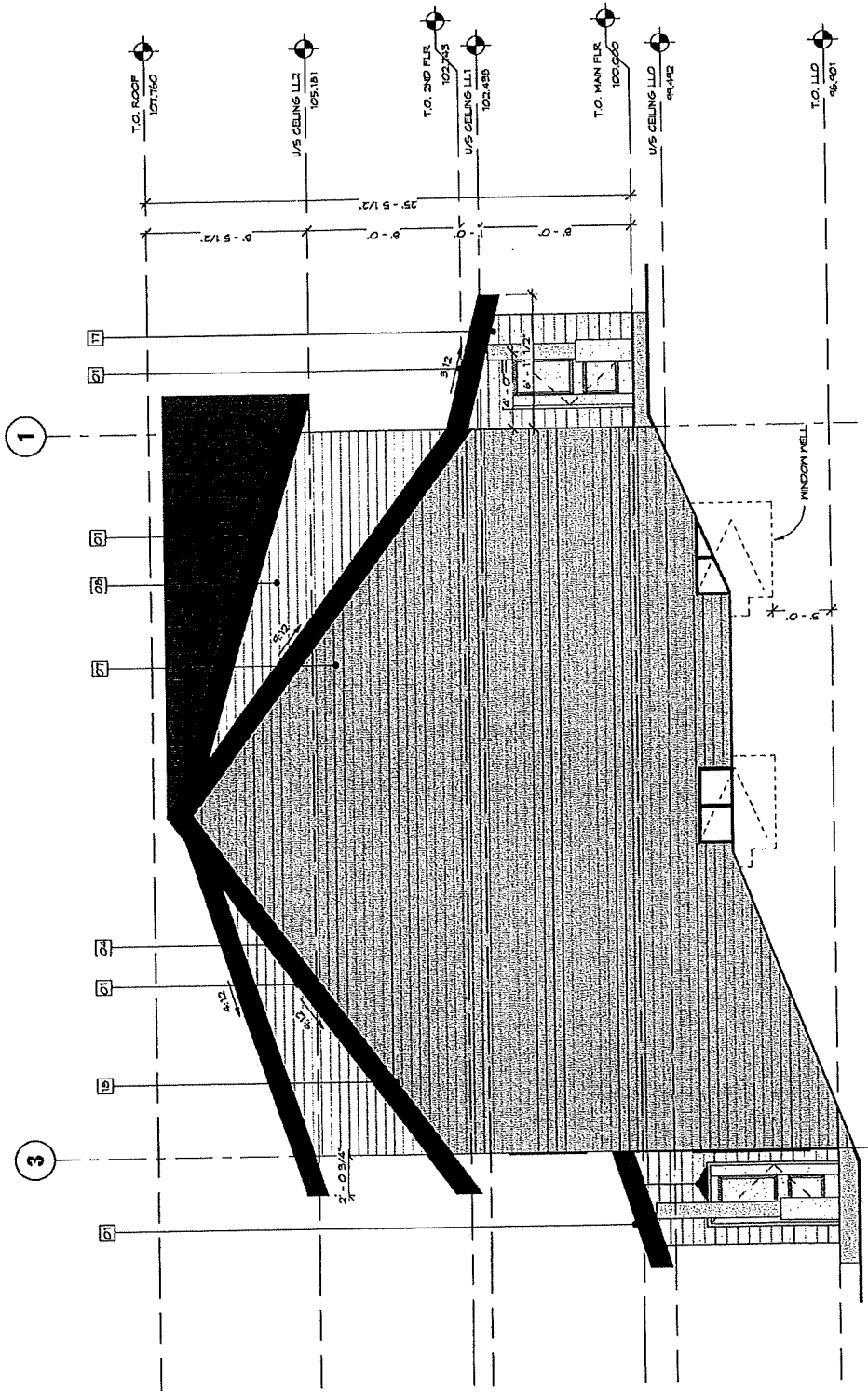
OCT 21

21-010

**A4.4**

**KEYNOTE LEGEND**

01	ASPHALT SHINGLE
04	CHARCOAL FASCIA
07	MID TONE HORIZONTAL 1"55" HARDE LAF
08	WHITE HORIZONTAL 1"55" HARDE LAF
11	PINE (OR PAUX ALUM/PRO.) EQUIVALENT) SCOFFIT
15	STANDARD WHITE ALUMINUM SCOFFIT



**ELEVATION D**  
SCALE: 1" = 1/4"



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associates

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OF BERRY ARCHITECTURE

REVISIONS + ISSUES  
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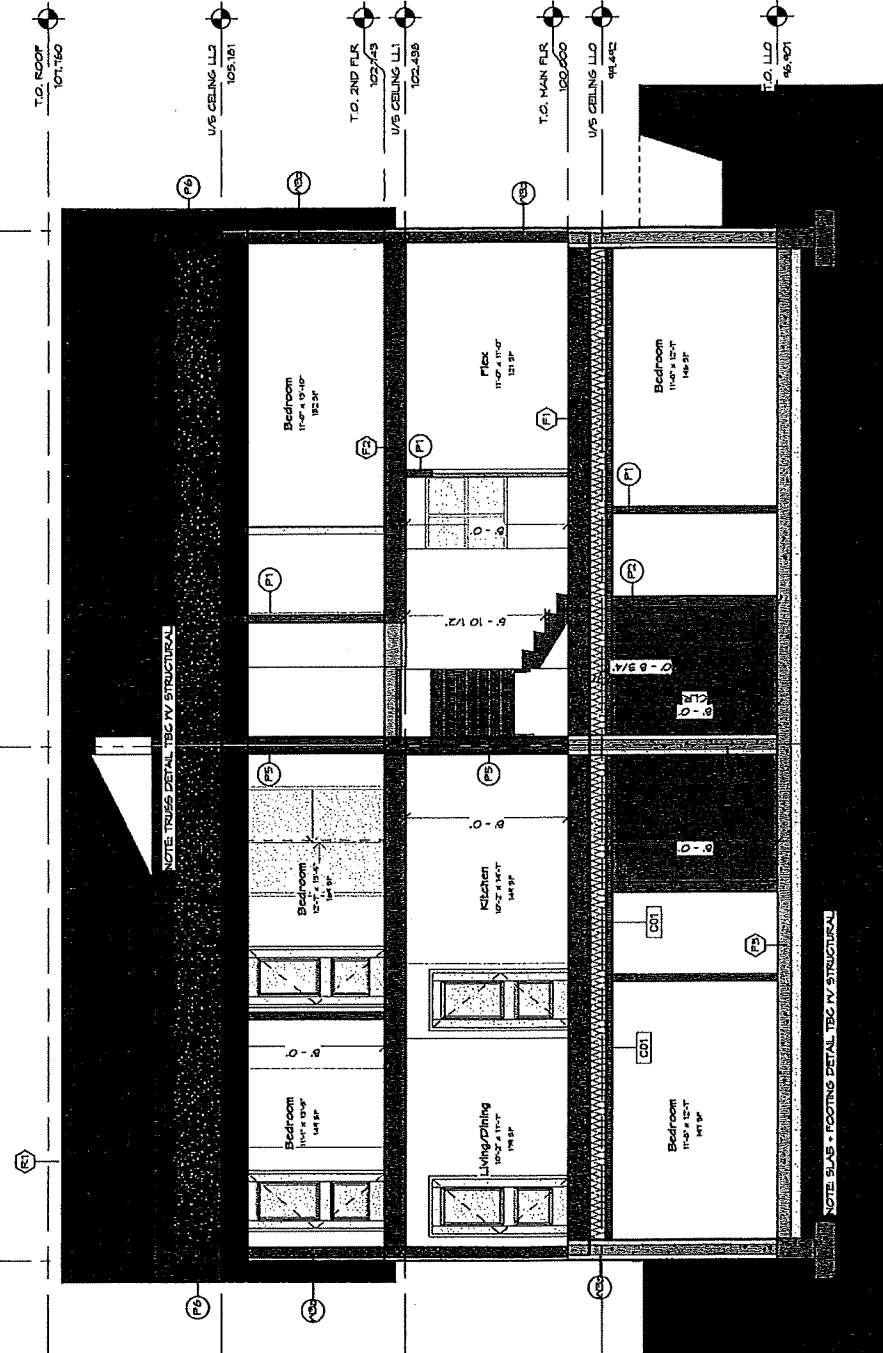
# Pinetree Meadows Phase 1, Lots 6,8 Generation Homes 15 Ave Invermere BC

PROJECT TITLE

## BUILDING SECTIONS

DRAWING TITLE

SCALE:	1" = 1/4"
DRAWN:	RKD
CHECKED:	IM/RR
DATE:	OCT 21
PROJECT NO.:	21-070
VERSION:	A5.0



**SECTION A**  
SCALE: 1/4" = 1'-0"

1 2 3 4 5

D C B A



SEALS

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REVISIONS + ISSUES	
10/11/18	ISSUED FOR
20/02/18	CONSTRUCTION
20/02/18	CONSTRUCTION
20/02/18	ISSUED WALL ASSEMBLY

**PINETREE MEADOWS**  
**PHASE 1, LOTS 1-8**  
15th Ave, Invermere BC

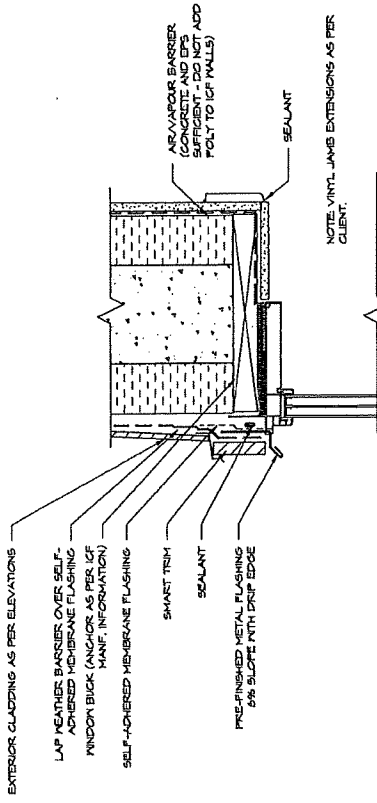
PROJECT TITLE

**CONSTRUCTION**  
**DETAILS**

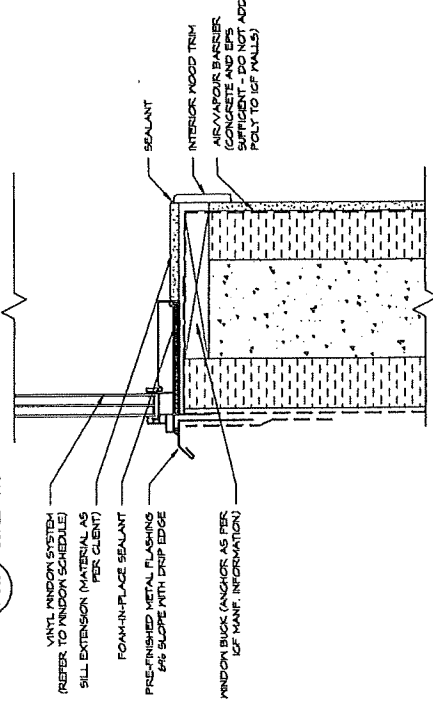
DRAWING TITLE

SCALE:	As Indicated
DRAWN:	RKD
CHECKED:	FR

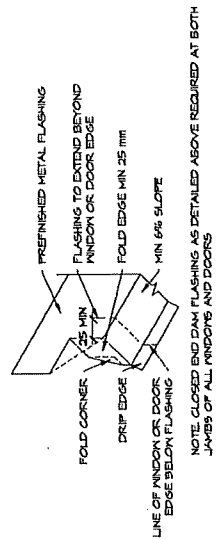
OCT '21  
21-010  
**A6.0**



**ICF WALL WINDOW HEADER**  
SCALE = 1:5



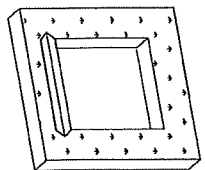
**ICF WALL WINDOW SILL**  
SCALE = 1:5



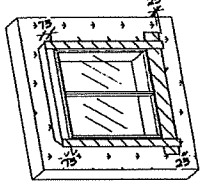
**CLOSED END DAM FLASHING**  
SCALE = 1:4

NOTE CLOSED END DAM FLASHING AS DETAILED ABOVE REQUIRED AT BOTH JAMBS OF ALL WINDOWS AND DOORS

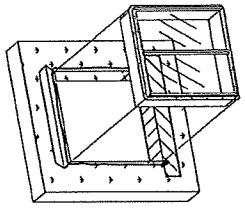
1. APPLY AIR BARRIER TO WALL, CUT AIR BARRIER AND WRAP JAMBS, CREATE AIR BARRIER FLAP AT WINDOW HEAD



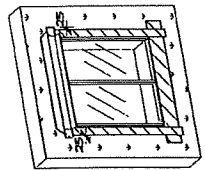
2. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE SIDES (JAMBS) OF THE WINDOW. FLASHING SHOULD BE A MINIMUM OF 15mm ABOVE WINDOW HEAD AND A MINIMUM OF 25mm PAST THE SILL FLASHING.



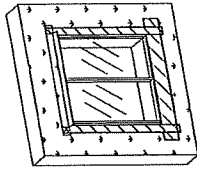
3. APPLY SEALANT TO WINDOW MOUNTING FLANGE AND SEALANT TO THE MANUFACTURER'S INSTRUCTIONS.



5. APPLY SELF-ADHESIVE FLEXIBLE RUBBER FLASHING TO THE WINDOW HEAD AND SILL. FLASHING SHOULD BE A MINIMUM OF 25mm PAST THE JAMB FLASHING. INSTALL PRE-FINISHED METAL FLASHING AT WINDOW HEAD.

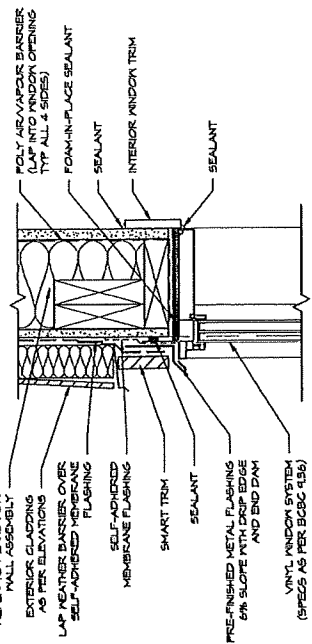


6. RELEASE AIR BARRIER FLAP AND SEAL.

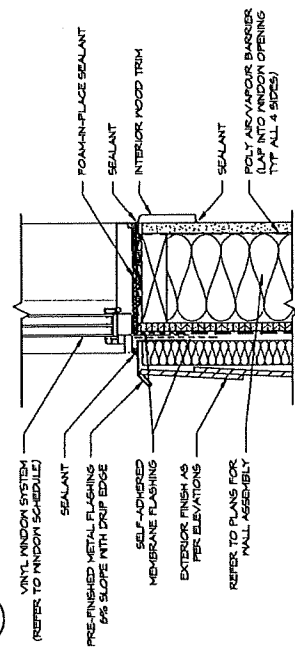


FLASHING WIDTH: THE NORTH OF ALL FLASHINGS ARE DETERMINED BY THE NAILING FLANGE OF THE WINDOW. THE FLASHING MUST EXTEND PAST THE EXTENTS OF THE NAILING FLANGE OF WINDOW.

**WINDOW MEMBRANE FLASHING DETAIL**  
SCALE = 1:4

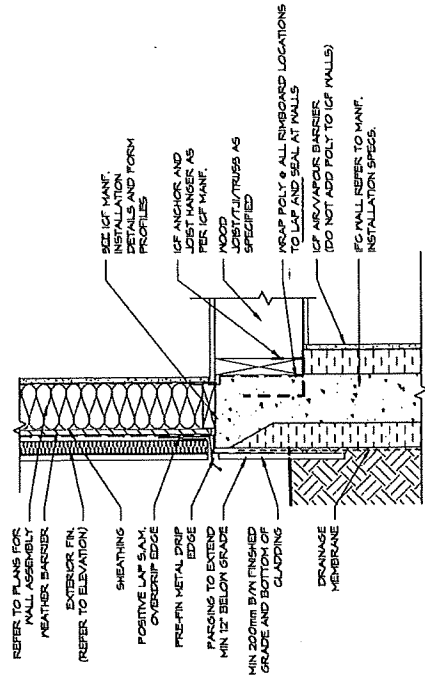


**D1 WINDOW HEADER DETAIL**  
SCALE 1:1.5

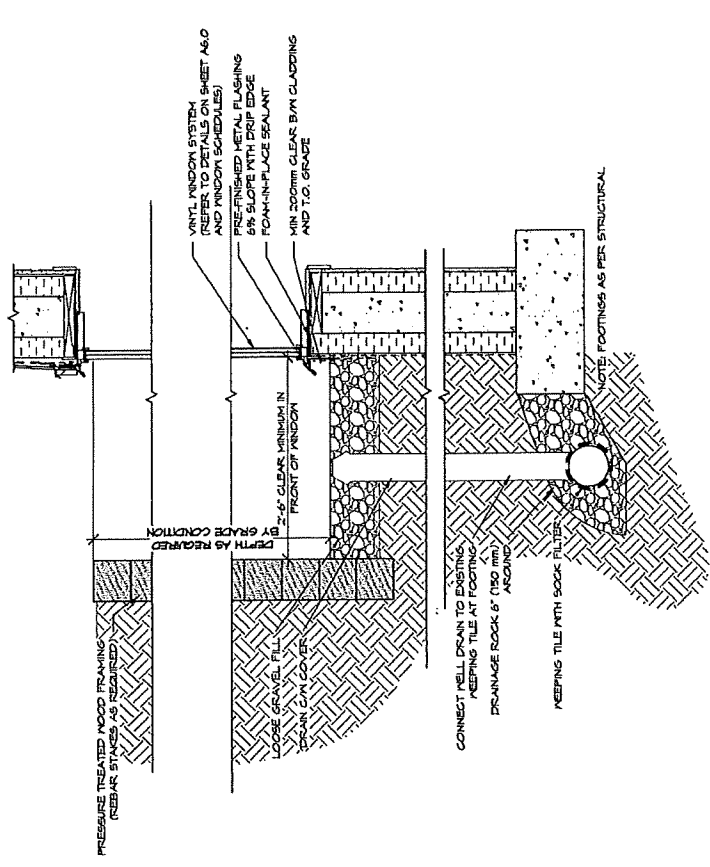


**C1 WINDOW SILL DETAIL**  
SCALE 1:1.5

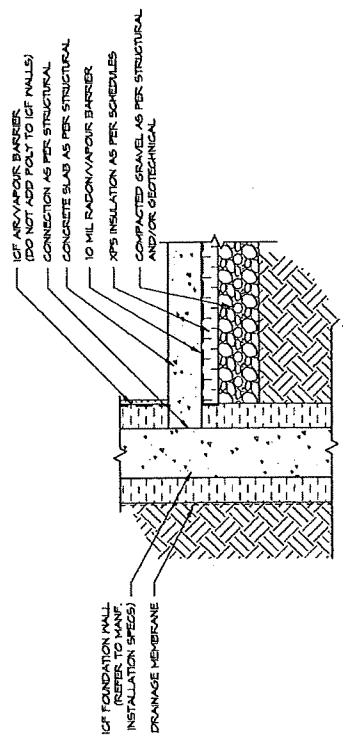
NOTE: MOOD SILL OR DRYWALL RETURNS AS PER CLIENT.



**A1 ICF TO WOOD FRAME EXT. WALL**  
SCALE 1:1.0



**B3 ICF WINDOW WELL DETAIL**  
SCALE 1:1.5



**AS SLAB TO FOUNDATION WALL**  
SCALE 1:1.0



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**REVISIONS + ISSUES**

22.02.02.24	CONSTRUCTION
22.02.02.24	CONSTRUCTION
22.02.02.27	REVISED WALL ASSEMBLY
22.02.02.27	REVISED WALL ASSEMBLY

**PIN TREE MEADOWS**  
**PHASE 1, LOTS 1-8**  
15th Ave, Invermere BC

**CONSTRUCTION**  
**DETAILS**  
**CONT.**

DRAWING TITLE

SCALE: AS INDICATED

DRAWN: RAKD

CHECKED: FRK

OCT '21

21-070

**A6.1**



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REVISIONS + ISSUES

NO.	DATE	DESCRIPTION
01	02-24	CONSTRUCTION
02	02-24	CONSTRUCTION
03	02-27	REVERSE WALL ASSEMBLY

# PINETREE MEADOWS PHASE 1, LOTS 1-8 15th Ave, Invermere BC

PROJECT TITLE

# CONSTRUCTION DETAILS CONT.

DRAWING TITLE

SCALE: AS INDICATED

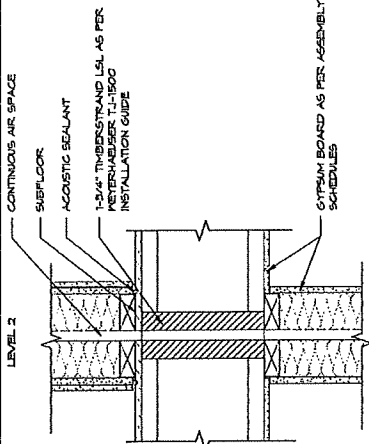
DRAWN: RKD

CHECKED: RR

OCT 21

21-070

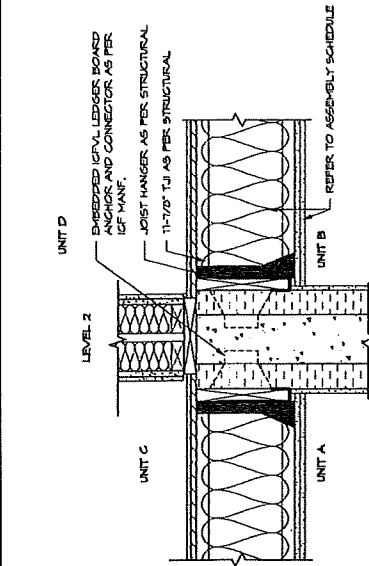
## A6.2



### WOOD PARTY WALL TO INT. FLOOR

SCALE 1:1.0

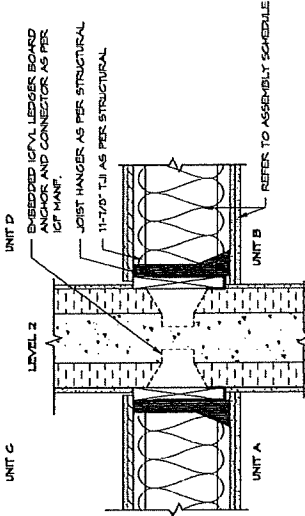
D3  
A6.2



### ICF TO WOOD PARTY WALL

SCALE 1:1.0

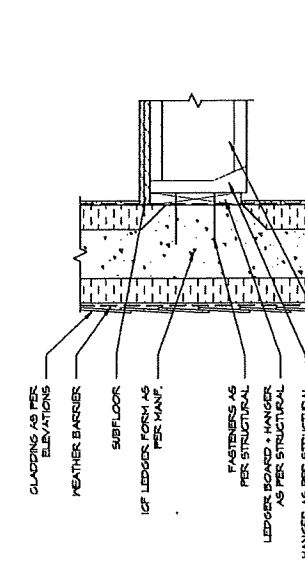
D1  
A6.2



### WOOD PARTY WALL TO ROOF

SCALE 1:1.0

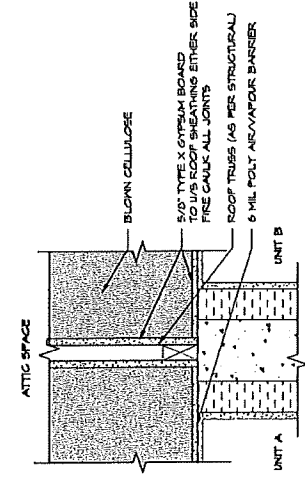
D4  
A6.2



### ICF WALL TO FLOOR CONNECTION

SCALE 1:1.0

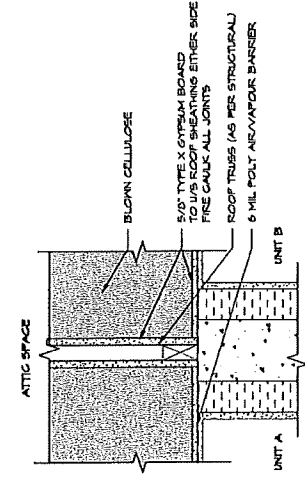
B1  
A6.2



### ICF PARTY WALL TO FLOOR

SCALE 1:1.0

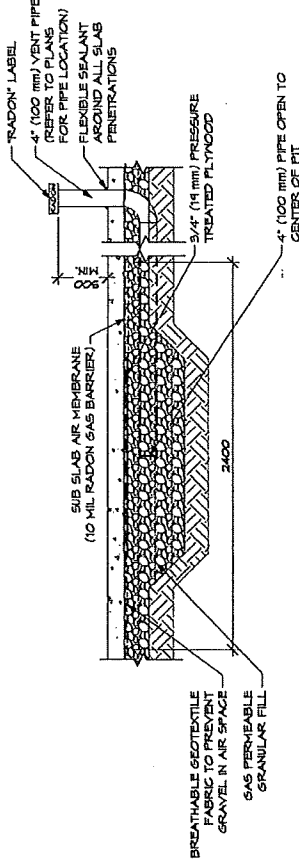
B2  
A6.2



### ICF PARTY WALL TO ROOF

SCALE 1:1.0

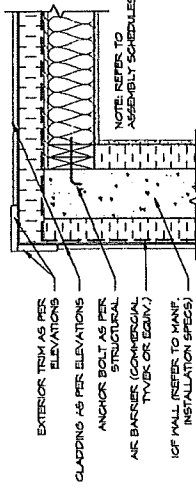
B4  
A6.2



### RADON PIT

SCALE INTS

A1  
A6.2



### ICF TO WOOD WALL CORNER PLAN DETAIL

SCALE 1:1.0

A4  
A6.2



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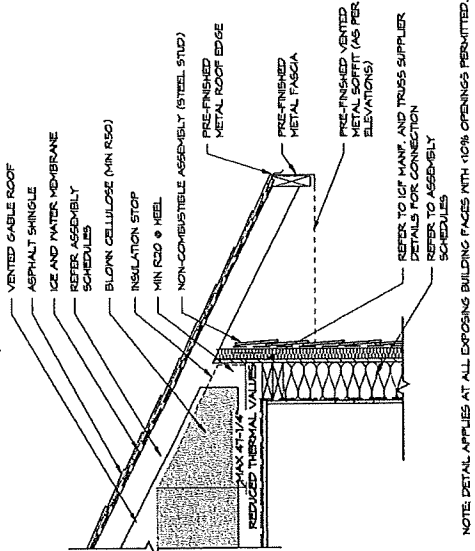
**REVISIONS + ISSUES**

10/11/11	MM	ED	ISSUED FOR
2/22/12	04	24	CONSTRUCTION
2/28/12	05	21	CONSTRUCTION
2/28/12	05	27	INSPECT WALL ASSEMBLY

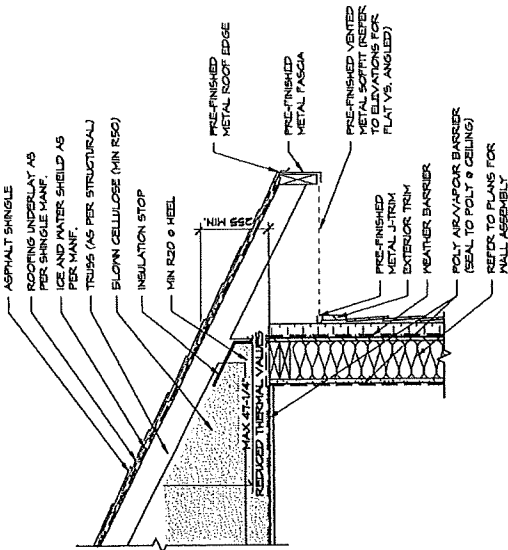
**PINETREE MEADOWS  
PHASE 1, LOTS 1-8  
GENERATION HOMES  
15th Ave, Invermere BC**

**CONSTRUCTION  
DETAILS  
CONT.**

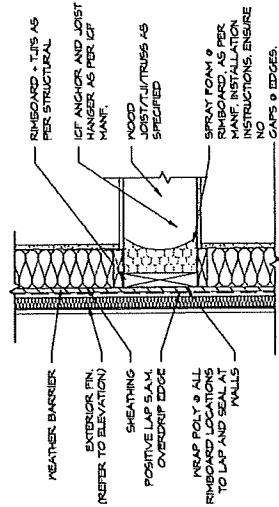
SCALE: 1/4" = 1'-0"  
DRAWN: RCD  
CHECKED: RZ/M  
DATE: OCT '11  
PROJECT: A6.3  
SHEET: 21-070



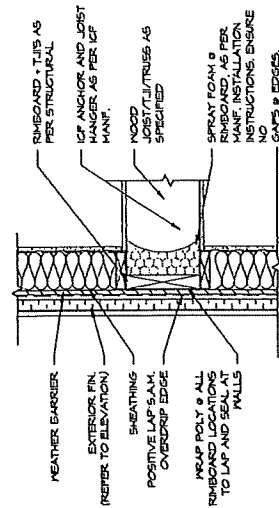
**WALL/ROOF CONNECTION FIRE RATED WALL**  
SCALE 1/4" = 1'-0"  
A6.3



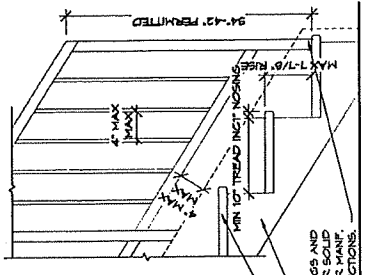
**WOOD WALL TO ROOF CONNECTION**  
SCALE 1/4" = 1'-0"  
A6.3



**INT. FLOOR/WALL CONNECTION FIRE RATED WALL**  
SCALE 1/4" = 1'-0"  
A6.3



**INT. FLOOR/WALL CONNECTION**  
SCALE 1/4" = 1'-0"  
A6.3



**TYPICAL STAIR DETAIL**  
SCALE 1/4" = 1'-0"  
A6.3

# Exhibit D4

1. Contact

Document Fees: \$32.51

**Columbia Valley Law Corporation**  
**Barristers & Solicitors**  
**1309 - 7th Ave., PO Box 639**  
**Invermere BC V0A 1K0**  
**250-342-6904**

F: 13395

2. Identification of Attached Strata Property Act Form or Other Supporting Document

Application Type

LTO Document Reference

**Form-PA Amended Phased Strata Plan Declaration**

**CB936755**

3. Description of Land

PID/Plan Number

Legal Description

**032-005-121**

**LOT A DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN EPP120443 EXCEPT PHASE 1-2 STRATA PLAN EPS8541**

**EPS8541**

**STRATA LOTS 1 TO 8 DISTRICT LOT 1092 KOOTENAY DISTRICT STRATA PLAN EPS8541**

**Electronic Signature**

Your electronic signature is a representation that you are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.43(3) and that the supporting document is in your possession.

**Katelynn Marie**  
**O'Neill EQ3CQF**

Digitally signed by  
**Katelynn Marie O'Neill**  
**EQ3CQF**  
**Date: 2024-06-20**  
**09:47:52 -07:00**

*Strata Property Act*

**AMENDED FORM P**

**PHASED STRATA PLAN DECLARATION**

*(Sections 221, 222)*

I, 1345408 B.C. LTD., Inc. No. 1345408 declare

- 1 That I intend to create a strata plan by way of phased development of the following land which I own or on which I hold a right to purchase:

*PID: 032-005-121 LOT A DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN  
EPP120443 EXCEPT PHASE 1-2 STRATA PLAN  
EPS8541*

- 2 That the plan of development is as follows:

- (a) *The development will consist of 8 phases – phases will be developed in the following order; Phase 1, Phase 2, Phase 3, Phase 4, Phase 5, Phase 6, Phase 7, and Phase 8*
- (b) *Attached hereto as Schedule "A" is a sketch plan showing*
- (i) *all the land to be included in the phased strata plan,*
- (ii) *the present parcel boundaries,*
- (iii) *the approximate boundaries of each phase, and*
- (iv) *the approximate location of the common facilities;*
- (c) *a schedule setting out the estimated date for the beginning of construction and completion of construction of each phase;*

<i>PHASE</i>	<i>COMMENCEMENT*</i>	<i>COMPLETION</i>
<i>1</i>	<i>September 1<sup>st</sup> 2023</i>	<i>December 31<sup>st</sup> 2023</i>
<i>2</i>	<i>September 1<sup>st</sup> 2023</i>	<i>August 31<sup>st</sup> 2024</i>
<i>3</i>	<i>May 31<sup>st</sup> 2024</i>	<i>September 30<sup>th</sup> 2024</i>
<i>4</i>	<i>November 30<sup>th</sup> 2023</i>	<i>September 30<sup>th</sup> 2024</i>
<i>5</i>	<i>June 30<sup>th</sup> 2024</i>	<i>January 31<sup>st</sup> 2025</i>
<i>6</i>	<i>July 31<sup>st</sup> 2024</i>	<i>March 31<sup>st</sup> 2025</i>
<i>7</i>	<i>August 31<sup>st</sup> 2024</i>	<i>July 31<sup>st</sup> 2025</i>
<i>8</i>	<i>August 31<sup>st</sup> 2024</i>	<i>September 30<sup>th</sup> 2025</i>

*\*the developer may commence any phase of the development earlier than indicated.*



- (d) a statement of the unit entitlement of each phase and the total unit entitlement of the completed development;

<i>Phase</i>	<i>Unit Entitlement</i>
<i>1</i>	<i>340</i>
<i>2</i>	<i>480</i>
<i>3</i>	<i>368</i>
<i>4</i>	<i>480</i>
<i>5</i>	<i>340</i>
<i>6</i>	<i>480</i>
<i>7</i>	<i>480</i>
<i>8</i>	<i>340</i>
<b>Total Unit Entitlement:</b>	<b>3308</b>


- (e) a statement of the maximum number of units and general type of residence or other structure to be built in each phase.

Phase	Number of Strata Lots	Description of Structure
1	4	4 Plex
2	4	4 Plex
3	4	4 Plex
4	4	4 Plex
5	4	4 Plex
6	4	4 Plex
7	4	4 Plex
8	4	4 Plex

- 3 I will elect to proceed with each phase on or by the following dates:

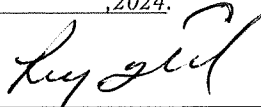
Phase Number	Date
Phase 1	Elected to Proceed
Phase 2	Elected to Proceed
Phase 3	Elected to Proceed
Phase 4	Elected to Proceed
Phase 5	Elected to Proceed
Phase 6	Elected to Proceed
Phase 7	Elected to Proceed
Phase 8	Elected to Proceed

Signed,  
1345408 B.C. LTD., Inc. No. 1345408

  
\_\_\_\_\_  
Signature of Applicant

Print Name: Christine Scott

Date of approval: June 19, 2024.\*

Signature of Approving Officer:   
\_\_\_\_\_  
*DISTRICT OF INVERMERE: RORY HROMADNIK*

Name of Municipality: DISTRICT OF INVERMERE

\* Section 222(2) of the Act provides that approval expires after one year unless the first phase is deposited before that time.

**SKETCH PLAN TO ACCOMPANY FORM P OF THE STRATA PROPERTY ACT FOR A PHASED STRATA DEVELOPMENT OF LOT A DISTRICT LOT 1092 KOOTENAY DISTRICT PLAN EPP120433**

BCGS : 82K.050



The intended plot size of this plan is 580 mm in width by 432 mm in height (C size) when plotted at a scale of 1:300.

NOTE:  
All areas and building dimensions are from drawings supplied to Global Raymac Surveys on July 6th, 2023. Site Plan drawing.  
2022.07.05 - Site.dwg



This plan lies within the Regional District of East Kootenay

**NOTES:**

- PHASE 1: 4 Strata Lots and 4 LCP areas
- PHASE 2: 4 Strata Lots and 4 LCP areas
- PHASE 3: 4 Strata Lots and 4 LCP areas
- PHASE 4: 4 Strata Lots and 4 LCP areas
- PHASE 5: 4 Strata Lots and 4 LCP areas
- PHASE 6: 4 Strata Lots and 4 LCP areas
- PHASE 7: 4 Strata Lots and 4 LCP areas
- PHASE 8: 4 Strata Lots and 4 LCP areas

**PROJECT NAME:**

Pinetree Meadows  
2121 15th Avenue  
Invermere, BC

**LEGEND**

- denotes phase boundary
- SL denotes Strata Lot
- LCP denotes Limited Common Property
- (C) denotes Common Property
- (p) denotes Parking

**GLOBAL RAYMAC LAND SURVEYING LTD.**

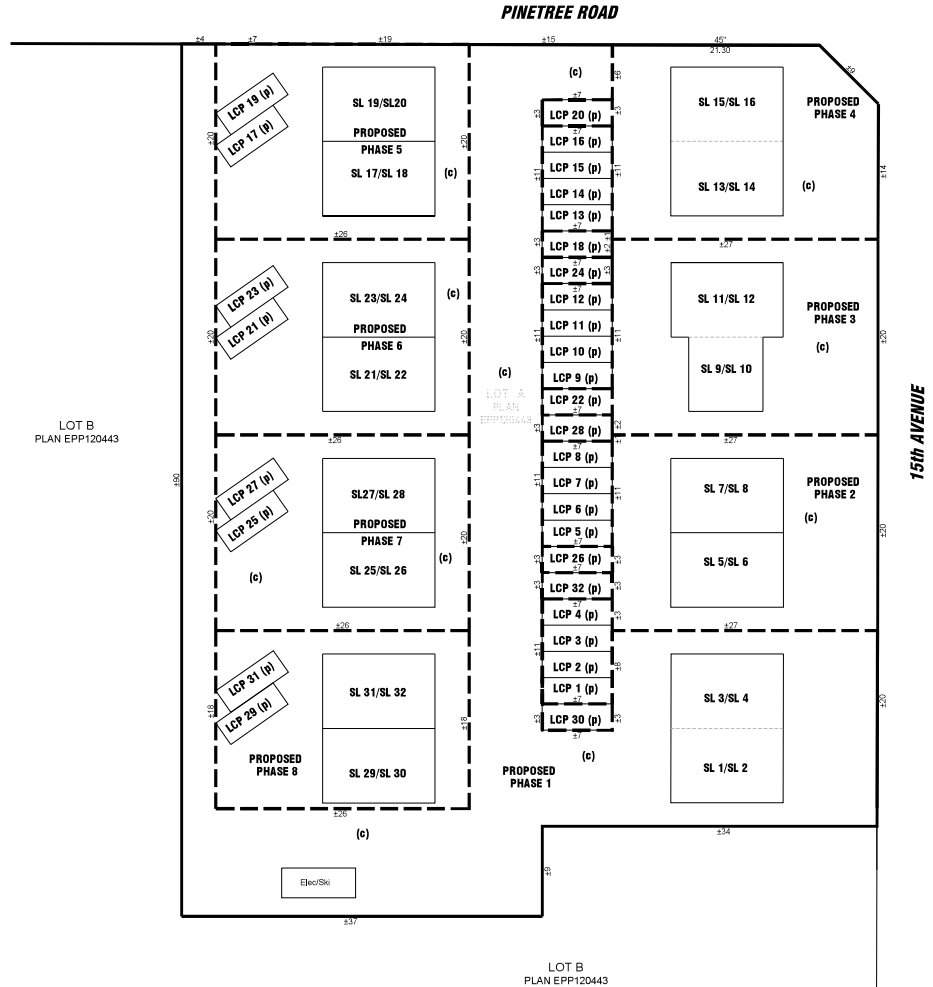
1022B 7th Avenue, Invermere, BC V0A 1K0  
Ph: 250.409.5157 www.globalraymac.ca

Job No.: 22X0025

CAD FILE: 22X0025\_ST\_1\_PH.OWG

Date: May 28th, 2024

Surveyed: \_\_\_\_\_ Drawn: NDW Checked: EG/AB



PINETREE ROAD

15th AVENUE

LOT B  
PLAN EPP120443

LOT A  
PLAN EPP120433

LOT B  
PLAN EPP120443

# Exhibit E6

Form V - Schedule of Unit Entitlement  
Phase 1, Phase 2, Phase 3, and Phase 4



1. Contact

Document Fees: \$31.27

**Columbia Valley Law Corporation  
Barristers & Solicitors  
PO Box 639, 1309 - 7th Ave.  
Invermere BC V0A 1K0  
250-342-6904**

F: 13006

2. Identification of Attached Strata Property Act Form or Other Supporting Document

Application Type

LTO Document Reference

**Form-V Schedule of Unit Entitlement**

3. Description of Land

PID/Plan Number

Legal Description

**EPS8541**

**STRATA PLAN EPS8541**

**Electronic Signature**

Your electronic signature is a representation that you are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.43(3) and that the supporting document is in your possession.

**Katelynn Marie  
O'Neill EQ3CQF**

**Digitally signed by  
Katelynn Marie O'Neill  
EQ3CQF  
Date: 2023-09-29  
17:07:25 -07:00**

Strata Property Regulation

Form V

SCHEDULE OF UNIT ENTITLEMENT

(Sections 245(a), 246, 264)

[am. B.C. Reg. 203/2003, s. 5.]

Re: Preliminary Strata Plan EPS8541, being Phase 1 of a Phased Strata Plan of

PID: 032-005-121

---

**STRATA PLAN CONSISTING ENTIRELY OF RESIDENTIAL STRATA LOTS**

The unit entitlement for each residential strata lot is one of the following [check appropriate box], as set out in the following table:

- (a) the habitable area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246(3)(a)(i) of the *Strata Property Act*.

**Certificate of British Columbia Land Surveyor**

I, *Adam Brash*, a British Columbia land surveyor, certify that the following table reflects the habitable area of each residential strata lot.

Date: 09/14/2023



---

Signature

**OR**

- (b) a whole number that is the same for all of the residential strata lots as set out in section 246(3)(a)(ii) of the *Strata Property Act*.

**OR**



[ ] (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246(3)(a)(iii) of the *Strata Property Act*.

\_\_\_\_\_  
Signature of Superintendent of Real Estate

Strata Lot No.	Sheet No.	Habitable Area in m <sup>2</sup>	Unit Entitlement	%* of Total Unit Entitlement**
1	4	85.2	85	2.5%
2	3	84.7	85	2.5%
3	4	85.1	85	2.5%
4	3	84.6	85	2.5%
Total number of lots: 4			Total unit entitlement: 340	

\* expression of percentage is for informational purposes only and has no legal effect

\*\* not required for a phase of a phased strata plan

Date: Sept 15, 2023

Chott

\_\_\_\_\_  
Signature of Owner Developer

\_\_\_\_\_  
Signature of Superintendent of Real Estate  
(if submitted under section 264 of the Act)



**Strata Property Act Filing**

**KAMLOOPS LAND TITLE OFFICE**  
FEB 12 2024 12:49:14.003  
**CB1159388**

1. Contact

Document Fees: \$31.27

**Columbia Valley Law Corporation  
Barristers & Solicitors  
PO Box 639, 1309 - 7th Ave.  
Invermere BC V0A 1K0  
250-342-6904**

F: 13075

2. Identification of Attached Strata Property Act Form or Other Supporting Document

Application Type

LTO Document Reference

**Form-V Schedule of Unit Entitlement**

3. Description of Land

PID/Plan Number

Legal Description

**EPS8541**

**STRATA PLAN EPS8541**

**Electronic Signature**

Your electronic signature is a representation that you are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.43(3) and that the supporting document is in your possession.

**Katelynn Marie  
O'Neill EQ3CQF**

Digitally signed by  
**Katelynn Marie O'Neill  
EQ3CQF**  
Date: 2024-02-12  
12:45:30 -08:00

CORRECTED THIS 16th DAY OF APRIL, 2024. SEE CB1263950  
SEE AMENDED FORM V (APPENDED PAGE(S) 4-5)

Strata Property Regulation

Form V

**SCHEDULE OF UNIT ENTITLEMENT**

*(Sections 245(a), 246, 264)*

[am. B.C. Reg. 203/2003, s. 5.]

Re: Preliminary Strata Plan EPS8541, being Phase 2 of a Phased Strata Plan of

*PID: 032-005-121*

---

**STRATA PLAN CONSISTING ENTIRELY OF RESIDENTIAL STRATA LOTS**

The unit entitlement for each residential strata lot is one of the following *[check appropriate box]*, as set out in the following table:

- (a) the habitable area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246(3)(a)(i) of the *Strata Property Act*.

**Certificate of British Columbia Land Surveyor**

I, *Adam Brash*, a British Columbia land surveyor, certify that the following table reflects the habitable area of each residential strata lot.

Date: *01/31/2024*



---

Signature

**OR**

- (b) a whole number that is the same for all of the residential strata lots as set out in section 246(3)(a)(ii) of the *Strata Property Act*.

**OR**

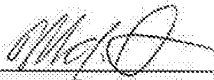
[ ] (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246(3)(a)(iii) of the *Strata Property Act*.

\_\_\_\_\_  
Signature of Superintendent of Real Estate

Strata Lot No.	Sheet No.	Habitable Area in m <sup>2</sup>	Unit Entitlement	%* of Total Unit Entitlement**
5	4	171.2	171	5.0%
6	3	84.7	85	2.5%
7	4	138.6	139	4.0%
8	3	84.7	85	2.5%
Total number of lots: 4			Total unit entitlement: 480	

\* expression of percentage is for informational purposes only and has no legal effect  
\*\* not required for a phase of a phased strata plan

Date: Feb 12, 2024



\_\_\_\_\_  
Signature of Owner Developer

\_\_\_\_\_  
Signature of Superintendent of Real Estate  
(if submitted under section 264 of the Act)

AMENDED FORM V  
SEE CB1263950

Strata Property Regulation

Form V

SCHEDULE OF UNIT ENTITLEMENT

(Sections 245(a), 246, 264)

[am. B.C. Reg. 203/2003, s. 5.]

Re: Preliminary Strata Plan EPS8541, being Phase 2 of a Phased Strata Plan of

PID: 032-005-121

---

**STRATA PLAN CONSISTING ENTIRELY OF RESIDENTIAL STRATA LOTS**

The unit entitlement for each residential strata lot is one of the following [check appropriate box], as set out in the following table:

- (a) the habitable area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246(3)(a)(i) of the *Strata Property Act*.

**Certificate of British Columbia Land Surveyor**

I, *Adam Brash*, a British Columbia land surveyor, certify that the following table reflects the habitable area of each residential strata lot.

Date: 01/31/2024



---

Signature

**OR**

- (b) a whole number that is the same for all of the residential strata lots as set out in section 246(3)(a)(ii) of the *Strata Property Act*.

**OR**

[ ] (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246(3)(a)(iii) of the *Strata Property Act*.

\_\_\_\_\_  
Signature of Superintendent of Real Estate

Strata Lot No.	Sheet No.	Habitable Area in m <sup>2</sup>	Unit Entitlement	%* of Total Unit Entitlement**
5	4A,5A,6A	138.6	139	4.0%
6	3	84.7	85	2.5%
7	4A,5A,6A	171.2	171	5.0%
8	3	84.7	85	2.5%
Total number of lots: 4			Total unit entitlement: 480	

\* expression of percentage is for informational purposes only and has no legal effect

\*\* not required for a phase of a phased strata plan

Date: April 16, 2024

  
\_\_\_\_\_  
Signature of Owner Developer

\_\_\_\_\_  
Signature of Superintendent of Real Estate  
(if submitted under section 264 of the Act)

1. Contact

Document Fees: \$32.51

**Columbia Valley Law Corporation  
Barristers & Solicitors  
1309 - 7th Ave., PO Box 639  
Invermere BC V0A 1K0  
250-342-6904**

F:13395

2. Identification of Attached Strata Property Act Form or Other Supporting Document

Application Type

LTO Document Reference

**Form-V Schedule of Unit Entitlement**

3. Description of Land

PID/Plan Number

Legal Description

**EPS8541**

**STRATA PLAN EPS8541**

**Electronic Signature**

Your electronic signature is a representation that you are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.43(3) and that the supporting document is in your possession.

**Katelynn Marie  
O'Neill EQ3CQF**

**Digitally signed by  
Katelynn Marie O'Neill  
EQ3CQF  
Date: 2024-06-20  
10:17:06 -07:00**

Strata Property Regulation

Form V

SCHEDULE OF UNIT ENTITLEMENT

(Sections 245(a), 246, 264)

[am. B.C. Reg. 203/2003, s. 5.]

Re: Preliminary Strata Plan EPS8541, being Phase 3 of a Phased Strata Plan of

PID: 032-005-121

---

**STRATA PLAN CONSISTING ENTIRELY OF RESIDENTIAL STRATA LOTS**

The unit entitlement for each residential strata lot is one of the following [check appropriate box], as set out in the following table:

- (a) the habitable area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246(3)(a)(i) of the *Strata Property Act*.

**Certificate of British Columbia Land Surveyor**

I, *Adam Brash*, a British Columbia land surveyor, certify that the following table reflects the habitable area of each residential strata lot.

Date: 01/31/2024



---

Signature

OR

- (b) a whole number that is the same for all of the residential strata lots as set out in section 246(3)(a)(ii) of the *Strata Property Act*.

OR



[ ] (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246(3)(a)(iii) of the *Strata Property Act*.

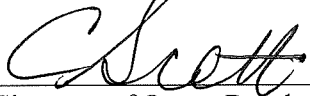
\_\_\_\_\_  
Signature of Superintendent of Real Estate

Strata Lot No.	Sheet No.	Habitable Area in m <sup>2</sup>	Unit Entitlement	%* of Total Unit Entitlement**
9	4	55.7	56	1.6%
10	3	55.3	55	1.6%
11	4,5	171.6	172	5.0%
12	3,4	84.7	85	2.5%
Total number of lots: 4		Total unit entitlement: 368		

\* expression of percentage is for informational purposes only and has no legal effect

\*\* not required for a phase of a phased strata plan

Date: June 18, 2024



\_\_\_\_\_  
Signature of Owner Developer

\_\_\_\_\_  
Signature of Superintendent of Real Estate  
(if submitted under section 264 of the Act)

1. Contact

Document Fees: \$32.51

**Columbia Valley Law Corporation**  
**Barristers & Solicitors**  
**1309 - 7th Ave., PO Box 639**  
**Invermere BC V0A 1K0**  
**250-342-6904**

F:13395

2. Identification of Attached Strata Property Act Form or Other Supporting Document

Application Type

LTO Document Reference

**Form-V Schedule of Unit Entitlement**

3. Description of Land

PID/Plan Number

Legal Description

**EPS8541**

**STRATA PLAN EPS8541**

**Electronic Signature**

Your electronic signature is a representation that you are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.43(3) and that the supporting document is in your possession.

**Katelynn Marie**  
**O'Neill EQ3CQF**

Digitally signed by  
**Katelynn Marie O'Neill**  
**EQ3CQF**  
**Date: 2024-06-20**  
**10:24:37 -07:00**

Strata Property Regulation

Form V

SCHEDULE OF UNIT ENTITLEMENT

(Sections 245(a), 246, 264)

[am. B.C. Reg. 203/2003, s. 5.]

Re: Preliminary Strata Plan EPS8541, being Phase 4 of a Phased Strata Plan of

PID: 032-005-121

---

**STRATA PLAN CONSISTING ENTIRELY OF RESIDENTIAL STRATA LOTS**

The unit entitlement for each residential strata lot is one of the following [check appropriate box], as set out in the following table:

- (a) the habitable area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246(3)(a)(i) of the *Strata Property Act*.

**Certificate of British Columbia Land Surveyor**

I, *Adam Brash*, a British Columbia land surveyor, certify that the following table reflects the habitable area of each residential strata lot.

Date: 01/31/2024



---

Signature

OR

- (b) a whole number that is the same for all of the residential strata lots as set out in section 246(3)(a)(ii) of the *Strata Property Act*.

OR

[ ] (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246(3)(a)(iii) of the *Strata Property Act*.

\_\_\_\_\_  
Signature of Superintendent of Real Estate

Strata Lot No.	Sheet No.	Habitable Area in m <sup>2</sup>	Unit Entitlement	%* of Total Unit Entitlement**
13	4,5	138.6	139	4.0%
14	3	84.7	85	2.5%
15	4,5	171.2	171	5.0%
16	3	84.7	85	2.5%
Total number of lots: 4			Total unit entitlement: 480	

\* expression of percentage is for informational purposes only and has no legal effect

\*\* not required for a phase of a phased strata plan

Date: June 18, 2024



\_\_\_\_\_  
Signature of Owner Developer

\_\_\_\_\_  
Signature of Superintendent of Real Estate  
(if submitted under section 264 of the Act)

Draft Form V - Schedule of Unit Entitlement  
Phases 1-8

Strata Property Regulation

Form V

SCHEDULE OF UNIT ENTITLEMENT

(Sections 245(a), 246, 264)

[am. B.C. Reg. 203/2003, s. 5.]

Re: Preliminary Strata Plan EPS8541, being Phase 1 of a Phased Strata Plan of

PID:032-005-121

---

**STRATA PLAN CONSISTING ENTIRELY OF RESIDENTIAL STRATA LOTS**

The unit entitlement for each residential strata lot is one of the following [check appropriate box], as set out in the following table:

- (a) the habitable area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246(3)(a)(i) of the *Strata Property Act*.

**Certificate of British Columbia Land Surveyor**

I, *Adam Brash*, a British Columbia land surveyor, certify that the following table reflects the habitable area of each residential strata lot.

Date: [month, day, year].

\_\_\_\_\_  
Signature

**OR**

- (b) a whole number that is the same for all of the residential strata lots as set out in section 246(3)(a)(ii) of the *Strata Property Act*.

**OR**

[ ] (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246(3)(a)(iii) of the *Strata Property Act*.

\_\_\_\_\_  
Signature of Superintendent of Real Estate

Strata Lot No.	Sheet No.	Habitable Area in m <sup>2</sup>	Unit Entitlement	%* of Total Unit Entitlement**
1	4	85.2	85	<b>2.5%</b>
2	3	84.7	85	<b>2.5%</b>
3	4	85.1	85	<b>2.5%</b>
4	3	84.6	85	<b>2.5%</b>
5	TBD	138.6	139	<b>4.0%</b>
6	TBD	84.7	85	<b>2.5%</b>
7	TBD	171.2	171	<b>5.0%</b>
8	TBD	84.7	85	<b>2.5%</b>
9	TBD	55.7	56	<b>1.6%</b>
10	TBD	55.3	55	<b>1.6%</b>
11	TBD	171.6	172	<b>5.0%</b>
12	TBD	84.7	85	<b>2.5%</b>
13	TBD	138.6	139	<b>4.0%</b>
14	TBD	84.7	85	<b>2.5%</b>
15	TBD	171.2	171	<b>5.0%</b>
16	TBD	84.7	85	<b>2.5%</b>
17	TBD	85.2	85	<b>2.5%</b>
18	TBD	84.7	85	<b>2.5%</b>
19	TBD	85.1	85	<b>2.5%</b>
20	TBD	84.6	85	<b>2.5%</b>

21	TBD	171.4	171	<b>5.0%</b>
22	TBD	84.7	85	<b>2.5%</b>
23	TBD	139	139	<b>4.0%</b>
24	TBD	84.7	85	<b>2.5%</b>
25	TBD	171.4	171	<b>5.0%</b>
26	TBD	84.7	85	<b>2.5%</b>
27	TBD	139	139	<b>4.0%</b>
28	TBD	84.7	85	<b>2.5%</b>
29	TBD	85.2	85	<b>2.5%</b>
30	TBD	84.7	85	<b>2.5%</b>
31	TBD	85.1	85	<b>2.5%</b>
32	TBD	84.6	85	<b>2.5%</b>
<b>Total number of lots: 32</b>			<b>Total unit entitlement: 3308</b>	

\* expression of percentage is for informational purposes only and has no legal effect

\*\* not required for a phase of a phased strata plan

Date: \_\_\_\_\_.

\_\_\_\_\_  
Signature of Owner Developer

\_\_\_\_\_  
Signature of Superintendent of Real Estate  
(if submitted under section 264 of the Act)



# Exhibit F1

1. Contact

Document Fees: \$31.27

**Columbia Valley Law Corporation  
Barristers & Solicitors  
PO Box 639, 1309 - 7th Ave.  
Invermere BC V0A 1K0  
250-342-6904**

F: 13006

2. Identification of Attached Strata Property Act Form or Other Supporting Document

Application Type

LTO Document Reference

**Form-Y Owners Developers' Notice of Different Bylaws**

3. Description of Land

PID/Plan Number

Legal Description

**EPS8541**

**STRATA PLAN EPS8541**

**Electronic Signature**

Your electronic signature is a representation that you are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.43(3) and that the supporting document is in your possession.

**Katelynn Marie  
O'Neill EQ3CQF**

**Digitally signed by  
Katelynn Marie O'Neill  
EQ3CQF  
Date: 2023-10-06  
15:50:52 -07:00**

*Strata Property Act*

**Form Y**

**OWNER DEVELOPERS' NOTICE OF DIFFERENT BYLAWS**

*(Section 245 (d), Regulation section 14.6 (2))*

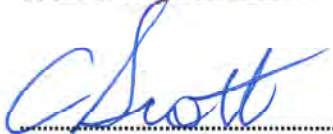
Re: Strata Plan EPS8541, being a strata plan of

*PID: 032-005-121 Lot A District Lot 1092 Kootenay District Strata Plan  
EPP120443*

The following or attached bylaws differ from the Standard Bylaws to the *Strata Property Act*, as permitted by section 120 of the Act:

See attached.

Date: October 06, 2023.



Signature of Owner Developer

**SCHEDULE OF BYLAWS**  
**The Owners, Strata Plan EPS8541**

**Definitions**

**"Storm Drainage Covenant"** means the Section 219 Covenant registered against the common property and the strata lots in favour of the District of Invermere under registration number CB924745.

**Division 1 – Duties of Owners, Tenants, Occupants, and Visitors**

**Payment of strata fees**

- 1 An owner must pay strata fees on or before the first day of the month to which the strata fees relate.

**Repair and maintenance of property by owner**

- 2 (1) An owner must repair and maintain the owner's strata lot, except for repair and maintenance that is the responsibility of the strata corporation under these bylaws.  
  
(2) An owner who has the use of limited common property must repair and maintain it, except for repair and maintenance that is the responsibility of the strata corporation under these bylaws.

**Use of property**

- 3 (1) An owner, tenant, occupant, or visitor must not use a strata lot, the common property or common assets in a way that:
  - (a) causes a nuisance or hazard to another person;
  - (b) causes unreasonable noise;
  - (c) unreasonably interferes with the rights of other persons to use and enjoy the common property, common assets or another strata lot;
  - (d) is illegal; or
  - (e) is contrary to a purpose for which the strata lot or common property is intended as shown expressly or by necessary implication on or by the strata plan.

(2) An owner, tenant, occupant, or visitor must not cause damage, other than reasonable wear and tear, to the common property, common assets, or those parts of a strata lot which the strata corporation must repair and maintain under these bylaws or insure under section 149 of the Act.

(3) An owner, tenant, occupant, or visitor must ensure that all animals are leashed or otherwise secured when on the common property or on land that is a common asset.

(4) An owner, tenant or occupant must not keep any pets on a strata lot other than one or more of the following:

(a) a reasonable number of fish or other small aquarium animals;

(b) a reasonable number of small caged mammals;

(c) up to 2 caged birds;

(d) up to 2 dogs;

(e) up to 2 cats.

#### **Inform strata corporation**

4 (1) Within 2 weeks of becoming an owner, an owner must inform the strata corporation of the owner's name, strata lot number and mailing address outside the strata plan, if any.

(2) On request by the strata corporation, a tenant must inform the strata corporation of his or her name.

#### **Obtain approval before altering a strata lot**

5 (1) An owner must obtain the written approval of the strata corporation before making an alteration to a strata lot that involves any of the following:

(a) the structure of a building;

(b) the exterior of a building;

(c) chimneys, stairs, balconies or other things attached to the exterior of a building;

(d) doors, windows or skylights on the exterior of a building, or that front on the common property;

(e) fences, railings or similar structures that enclose a patio, balcony or yard;

(f) common property located within the boundaries of a strata lot;

(g) those parts of the strata lot which the strata corporation must insure under section 149 of the Act.

(2) The strata corporation must not unreasonably withhold its approval under subsection (1), but may require as a condition of its approval that the owner agree, in writing, to take responsibility for any expenses relating to the alteration.

(3) This section does not apply to a strata lot in a bare land strata plan.

### **Obtain approval before altering common property**

6 (1) An owner must obtain the written approval of the strata corporation before making an alteration to common property, including limited common property, or common assets.

(2) The strata corporation may require as a condition of its approval that the owner agree, in writing, to take responsibility for any expenses relating to the alteration.

### **Permit entry to strata lot**

7 (1) An owner, tenant, occupant or visitor must allow a person authorized by the strata corporation to enter the strata lot:

(a) in an emergency, without notice, to ensure safety or prevent significant loss or damage; and

(b) at a reasonable time, on 48 hours' written notice, to inspect, repair or maintain common property, common assets and any portions of a strata lot that are the responsibility of the strata corporation to repair and maintain under these bylaws or insure under section 149 of the Act.

(2) The notice referred to in subsection (1) (b) must include the date and approximate time of entry, and the reason for entry.

## **Division 2 — Powers and Duties of Strata Corporation**

### **Repair and maintenance of property by strata corporation**

8 The strata corporation must repair and maintain all of the following:

- (a) common assets of the strata corporation;
- (b) common property that has not been designated as limited common property;
- (c) limited common property, but the duty to repair and maintain it is restricted to:
  - (i) repair and maintenance that in the ordinary course of events occurs less often than once a year; and
  - (ii) the following, no matter how often the repair or maintenance ordinarily occurs:
    - (A) the structure of a building;
    - (B) the exterior of a building;
    - (C) chimneys, stairs, balconies and other things attached to the exterior of a building;
    - (D) doors, windows and skylights on the exterior of a building or that front on the common property; and
    - (E) fences, railings and similar structures that enclose patios, balconies and yards;
- (d) a strata lot in a strata plan that is not a bare land strata plan, but the duty to repair and maintain it is restricted to:
  - (i) the structure of a building;
  - (ii) the exterior of a building;
  - (iii) chimneys, stairs, balconies and other things attached to the exterior of a building;
  - (iv) doors, windows and skylights on the exterior of a building or that front on the common property; and
  - (v) fences, railings and similar structures that enclose patios, balconies and yards.

## **Division 3 — Council**

### **Council size**

- 9 (1) Subject to subsection (2), the council must have at least 3 and not more than 7 members.
- (2) If the strata plan has fewer than 4 strata lots or the strata corporation has fewer than 4 owners, all the owners are on the council.

### **Council members' terms**

- 10 (1) The term of office of a council member ends at the end of the annual general meeting at which the new council is elected.
- (2) A person whose term as council member is ending is eligible for reelection.

### **Removing council member**

- 11 (1) Unless all the owners are on the council, the strata corporation may, by a resolution passed by a majority vote at an annual or special general meeting, remove one or more council members.
- (2) After removing a council member, the strata corporation must hold an election at the same annual or special general meeting to replace the council member for the remainder of the term.

### **Replacing council member**

- 12 (1) If a council member resigns or is unwilling or unable to act for a period of 2 or more months, the remaining members of the council may appoint a replacement council member for the remainder of the term.
- (2) A replacement council member may be appointed from any person eligible to sit on the council.
- (3) The council may appoint a council member under this section even if the absence of the member being replaced leaves the council without a quorum.
- (4) If all the members of the council resign or are unwilling or unable to act for a period of 2 or more months, persons holding at least 25% of the strata corporation's votes may hold a special general meeting to elect a new council by complying with the provisions of the Act, the regulations and the bylaws respecting the calling and holding of meetings.



## **Officers**

- 13** (1) At the first meeting of the council held after each annual general meeting of the strata corporation, the council must elect, from among its members, a president, a vice president, a secretary and a treasurer.
- (2) A person may hold more than one office at a time, other than the offices of president and vice president.
- (3) The vice president has the powers and duties of the president:
- (a) while the president is absent or is unwilling or unable to act; or
  - (b) for the remainder of the president's term if the president ceases to hold office.
- (4) If an officer other than the president is unwilling or unable to act for a period of 2 or more months, the council members may appoint a replacement officer from among themselves for the remainder of the term.

## **Calling council meetings**

- 14** (1) Any council member may call a council meeting by giving the other council members at least one week's notice of the meeting, specifying the reason for calling the meeting.
- (2) The notice does not have to be in writing.
- (3) A council meeting may be held on less than one week's notice if:
- (a) all council members consent in advance of the meeting; or
  - (b) the meeting is required to deal with an emergency situation, and all council members either:
    - (i) consent in advance of the meeting; or
    - (ii) are unavailable to provide consent after reasonable attempts to contact them.
- (4) The council must inform owners about a council meeting as soon as feasible after the meeting has been called.

### **Quorum of council**

15 (1) A quorum of the council is:

- (a) 1, if the council consists of one member;
- (b) 2, if the council consists of 2, 3 or 4 members;
- (c) 3, if the council consists of 5 or 6 members; and
- (d) 4, if the council consists of 7 members.

(2) Council members must be present in person at the council meeting to be counted in establishing quorum.

### **Council meetings**

16 (1) At the option of the council, council meetings may be held by electronic means, so long as all council members and other participants can communicate with each other.

(2) If a council meeting is held by electronic means, council members are deemed to be present in person.

(3) Owners may attend council meetings as observers.

(4) Despite subsection (3), no observers may attend those portions of council meetings that deal with any of the following:

- (a) bylaw contravention hearings under section 135 of the Act;
- (b) rental restriction bylaw exemption hearings under section 144 of the Act;
- (c) any other matters if the presence of observers would, in the council's opinion, unreasonably interfere with an individual's privacy.

### **Voting at council meetings**

17 (1) At council meetings, decisions must be made by a majority of council members present in person at the meeting.

(2) Unless there are only 2 strata lots in the strata plan, if there is a tie vote at a council meeting, the president may break the tie by casting a second, deciding vote.

(3) The results of all votes at a council meeting must be recorded in the council meeting minutes.

### **Council to inform owners of minutes**

**18** The council must inform owners of the minutes of all council meetings within 2 weeks of the meeting, whether or not the minutes have been approved.

### **Delegation of council's powers and duties**

**19** (1) Subject to subsections (2) to (4), the council may delegate some or all of its powers and duties to one or more council members or persons who are not members of the council, and may revoke the delegation.

(2) The council may delegate its spending powers or duties, but only by a resolution that:

(a) delegates the authority to make an expenditure of a specific amount for a specific purpose; or

(b) delegates the general authority to make expenditures in accordance with subsection (3).

(3) A delegation of a general authority to make expenditures must:

(a) set a maximum amount that may be spent; and

(b) indicate the purposes for which, or the conditions under which, the money may be spent.

(4) The council may not delegate its powers to determine, based on the facts of a particular case:

(a) whether a person has contravened a bylaw or rule;

(b) whether a person should be fined, and the amount of the fine; or

(c) whether a person should be denied access to a recreational facility.

### **Spending restrictions**

**20** (1) A person may not spend the strata corporation's money unless the person has been delegated the power to do so in accordance with these bylaws.

(2) Despite subsection (1), a council member may spend the strata corporation's money to repair or replace common property or common assets if the repair or replacement is immediately required to ensure safety or prevent significant loss or damage.

#### **Limitation on liability of council member**

**21** (1) A council member who acts honestly and in good faith is not personally liable because of anything done or omitted in the exercise or intended exercise of any power or the performance or intended performance of any duty of the council.

(2) Subsection (1) does not affect a council member's liability, as an owner, for a judgment against the strata corporation.

#### **Division 4 — Enforcement of Bylaws and Rules**

##### **Maximum fine**

**22** The strata corporation may fine an owner or tenant a maximum of:

(a) \$50 for each contravention of a bylaw; and

(b) \$10 for each contravention of a rule.

##### **Continuing contravention**

**23** If an activity or lack of activity that constitutes a contravention of a bylaw or rule continues, without interruption, for longer than 7 days, a fine may be imposed every 7 days.

#### **Division 5 — Annual and Special General Meetings**

##### **Person to chair meeting**

**24** (1) Annual and special general meetings must be chaired by the president of the council.

(2) If the president of the council is unwilling or unable to act, the meeting must be chaired by the vice president of the council.

(3) If neither the president nor the vice president of the council chairs the meeting, a chair must be elected by the eligible voters present in person or by proxy from among those persons who are present at the meeting.

### **Participation by other than eligible voters**

- 25 (1) Tenants and occupants may attend annual and special general meetings, whether or not they are eligible to vote.
- (2) Persons who are not eligible to vote, including tenants and occupants, may participate in the discussion at the meeting, but only if permitted to do so by the chair of the meeting.
- (3) Persons who are not eligible to vote, including tenants and occupants, must leave the meeting if requested to do so by a resolution passed by a majority vote at the meeting.

### **Voting**

- 26 (1) At an annual or special general meeting, voting cards must be issued to eligible voters.
- (2) At an annual or special general meeting a vote is decided on a show of voting cards, unless an eligible voter requests a precise count.
- (3) If a precise count is requested, the chair must decide whether it will be by show of voting cards or by roll call, secret ballot or some other method.
- (4) The outcome of each vote, including the number of votes for and against the resolution if a precise count is requested, must be announced by the chair and recorded in the minutes of the meeting.
- (5) If there is a tie vote at an annual or special general meeting, the president, or, if the president is absent or unable or unwilling to vote, the vice president, may break the tie by casting a second, deciding vote.
- (6) If there are only 2 strata lots in the strata plan, subsection (5) does not apply.
- (7) Despite anything in this section, an election of council or any other vote must be held by secret ballot, if the secret ballot is requested by an eligible voter.

### **Order of business**

- 27 The order of business at annual and special general meetings is as follows:

- (a) certify proxies and corporate representatives and issue voting cards;
- (b) determine that there is a quorum;
- (c) elect a person to chair the meeting, if necessary;
- (d) present to the meeting proof of notice of meeting or waiver of notice;
- (e) approve the agenda;
- (f) approve minutes from the last annual or special general meeting;
- (g) deal with unfinished business;
- (h) receive reports of council activities and decisions since the previous annual general meeting, including reports of committees, if the meeting is an annual general meeting;
- (i) ratify any new rules made by the strata corporation under section 125 of the Act;
- (j) report on insurance coverage in accordance with section 154 of the Act, if the meeting is an annual general meeting;
- (k) approve the budget for the coming year in accordance with section 103 of the Act, if the meeting is an annual general meeting;
- (l) deal with new business, including any matters about which notice has been given under section 45 of the Act;
- (m) elect a council, if the meeting is an annual general meeting;
- (n) terminate the meeting.

### **Division 6 — Voluntary Dispute Resolution**

#### **Voluntary dispute resolution**

- 28** (1) A dispute among owners, tenants, the strata corporation or any combination of them may be referred to a dispute resolution committee by a party to the dispute if:
- (a) all the parties to the dispute consent; and
  - (b) the dispute involves the Act, the regulations, the bylaws or the rules.